



CAMPBELLTOWN
CITY COUNCIL

LOCAL PLANNING PANEL

22 FEBRUARY 2023

MEETING NOTICE

Campbelltown City Council Local Planning Panel

The meeting of the Campbelltown City Council Local Planning Panel will be via Teams on Wednesday, 22 February 2023 at 3.00pm.

MEETING AGENDA

1. ACKNOWLEDGEMENT OF COUNTRY

I would like to acknowledge the Traditional Custodians, the Dharawal people, whose Lands we are now meeting on. I would like to pay my respects to the Dharawal Elders, past and present and all other Aboriginal people who are here today.

2. APOLOGIES

3. DECLARATIONS OF INTEREST

4. REPORTS

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- 4.1 Development Application for restoration of heritage-listed former CBC Bank, demolition of commercial building and construction of eight storey commercial building with basement parking

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5. CONFIDENTIAL ITEMS

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- 5.1 Planning Proposal - Varroville

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General Information

The role of the Local Planning Panel is to determine development applications and provide advice on planning proposals.

When the panel is considering a report relating to a development application, the panel will receive and consider verbal submissions from the applicant and from any person that made a written submission in regard to that development application (during the notification or exhibition period).

As required by the Minister's Local Planning Panels Direction, when considering a planning proposal, the role of the panel is to provide advice to Council. The panel is the first step in the evaluation process before Council and the State Government (through the Gateway process) to decide whether to support a formal public exhibition or consultation period on the proposal. It is possible that the proposal will be modified before or as part of the consideration by Council and/or through the Gateway process. The panel will consider verbal submissions made in relation to the matter from the applicant, if there is one, and from any other person. The panel will not consider written submissions tabled at the meeting, however they will be accepted and passed on to Council officers for consideration in their report to Council.

Any person who makes a verbal submission to the panel must identify themselves and must also accept that their presentation will include their images and sounds and will be webcast and stored on Council's website for future viewing. Any person who makes a verbal submission to the panel must also declare before their submission any political contributions or donations they have made over the last four years exceeding \$1,000 to any political party or candidate who contested the last Ordinary Election of Council.

If you would like to make a verbal submission to the panel, it is necessary to submit the "request to address – community access to meetings" form available on Council's website by midday the day prior to the meeting. The panel chair will invite the registered speakers to the table at the appropriate time in the agenda. Verbal submissions to the panel will be limited to 5 minutes each. The chairperson has the discretion to extend the period if considered appropriate. Panel members will have the opportunity to ask your questions at the end of your submission.

Recommendations of the Panel

The reports are presented to the Local Planning Panel for its consideration and recommendation.

After the panel has considered submissions made by interested parties, the panel will make recommendations to the Council. The Panel's recommendations become public the day following the Local Planning Panel meeting.

Information

Should you require information about the panel or any item listed on the agenda, please contact Council's City Development Division on 4645 4575 between 8.30 am and 4.30pm.

The following report is referred to the Local Planning Panel for its consideration and recommendation.

Lindy Deitz
General Manager

4. REPORTS

4.1 Development Application for restoration of heritage-listed former CBC Bank, demolition of commercial building and construction of eight storey commercial building with basement parking

Community Strategic Plan

Objective	Strategy
1 Community and Belonging	1.3.1 Acknowledge and protect our local cultural heritage

Delivery Program

Principal Activity
2.3.1.1 Protect the City's heritage through sound planning decisions

Referral Criteria

In accordance with section 4.8 of *Environmental Planning and Assessment Act, 1979* (EP&A Act) and the Minister's for Planning and Public Spaces Local Planning Panels Direction, this application is to be determined by the Campbelltown Local Planning Panel (the Panel) as it involves the demolition of buildings on land that is listed on the State Heritage Register.

Executive Summary

- The land on which this development application relates to, is known as the former CBC Bank land.
- The CBC Bank is a listed item of heritage on the State Heritage Register.
- The proposal comprises two main components, being the restoration of the former CBC Bank building to its original condition (reason for the lands heritage listing), the demolition of more recent buildings that exist on the rear of the land, and the construction of an eight storey commercial building at the rear of the land.
- Under Section 57 of the *Heritage Act*, when a listing on the State Heritage Register applies to a building, place or land, a person must not carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct except in pursuance of an approval granted by the Heritage Council of New South Wales.
- The development is deemed to be Integrated Development, as it requires approval of the Heritage Council of New South Wales.

- The application has been submitted to the Heritage Council of NSW, and it has granted its General Terms of Approval to the development application.
- As the proposed development is on land that is listed as an item of heritage, the Campbelltown Local Planning Panel (the Panel) is the determination authority.
- The new building proposed to be built at the rear of the land, exceeds the lands maximum building height by 8 per cent. A Clause 4.6 objection has been submitted in support of this non-compliance. Given that the magnitude of the proposed variation is less than 10 per cent, this is not a reason why the application has been referred to the Panel and the variation could have (but for the heritage matter) been determined under delegation at Council officer level.
- The proposed development application does not comply with the numerical car parking requirements of the Campbelltown (Sustainable City) Development Control Plan 2015 (SCDCP). An alternative car parking rate has been used to calculate car parking demand, and a letter of offer has been submitted by the applicant to enter into a Voluntary Planning Agreement with Council.
- Apart from the proposed variations to maximum building height and car parking, the proposed development is fully compliant with the provisions of the State Environmental Planning Policy (Resilience and Hazards) 2021 (Resilience and Hazards SEPP), Campbelltown Local Environmental Plan, 2015 (CLEP 2015) and the SCDCP.
- The application was publicly exhibited and notified to nearby and adjoining residents for a period of 31 days. Two submissions were received, which are addressed later in this report. The submissions raise important matters however do not prevent the approval of the application.
- Based on an assessment of the application against section 4.15 of the *Environmental Planning and Assessment Act 1979* (EP&A Act), the application has been found to be satisfactory and is recommended for approval.

Officer's Recommendation

That Development Application 3263/2021/DA-C for the Restoration of the existing heritage-listed former CBC Bank building, demolition of the existing commercial building at the rear of the land, and construction of an eight storey commercial building with basement car parking at Lots 1 and 2 SP 41598, 263 Queen Street, Campbelltown be approved subject to the conditions in attachment 1.

Purpose

To assist the Panel in its determination of the subject application in accordance with the provisions of the EP&A Act.

Property Description	Lots 1 and 2 SP 41598, 263 Queen Street, Campbelltown
Application No	3263/2021/DA-C

Applicant	Urbis
Owner	Auchenflower Investments Pty Ltd
Provisions	Heritage Act 1977 State Environmental Planning Policy (Resilience and Hazards) 2021 Campbelltown Local Environmental Plan 2015 Campbelltown (Sustainable City) Development Control Plan 2015
Date Received	1 November 2021

History

A new premises for the Commercial Banking Company of Sydney was tendered for in 1879 and constructed on the subject land in 1880. Coinciding with the construction of the bank, the CBC transferred part of their land to the Government for a post and telegraph office. This former post office building now adjoins the subject building to the northeast of the land.



The CBC Bank building in 1881

In 1958 a single-storey addition was built and the interior of the building was extensively remodelled to provide a modern banking chamber, additional working space and staff amenities. In the 1960s, a newer commercial building was built at the rear of the land, which was demolished when the existing commercial development at the rear of the land was constructed.

In 1985, the Commercial Banking Company merged with National Australia Bank, and the bank vacated the building. A permanent conservation order was imposed on the land in May 1987.

In 1992 the rear of the land was redeveloped, which involved the demolition (and archival recording) of the stables/coach house, and construction of a single storey commercial building with basement car parking. The land was strata subdivided into its current configuration in

1992. The land's permanent conservation order was converted to a State Heritage Register listing in April 1999. The CBC Bank building has had a variety of office uses since the CBC Bank vacated the land, and is currently vacant.

In 2016, a development application (493/2016/DA-RA) (2016 DA) was lodged, proposing the restoration of the CBC Bank building, demolition of the existing commercial building at the rear of the land, and construction of a 21-storey mixed use building at the rear of the land. This application was refused by the Sydney Western City Planning Panel in 2018. The applicant appealed this decision in the NSW Land and Environment Court, however the appeal was dismissed.

In May 2021, a revised development concept for the land was referred Council's Design Excellence Panel, and the advice provided by the Panel was provided to the applicant. The concept reported to the Panel was largely the same proposal as that which has been lodged under this application, however some minor changes and additions of detail have been made to the proposal in response to the Panel's advice.

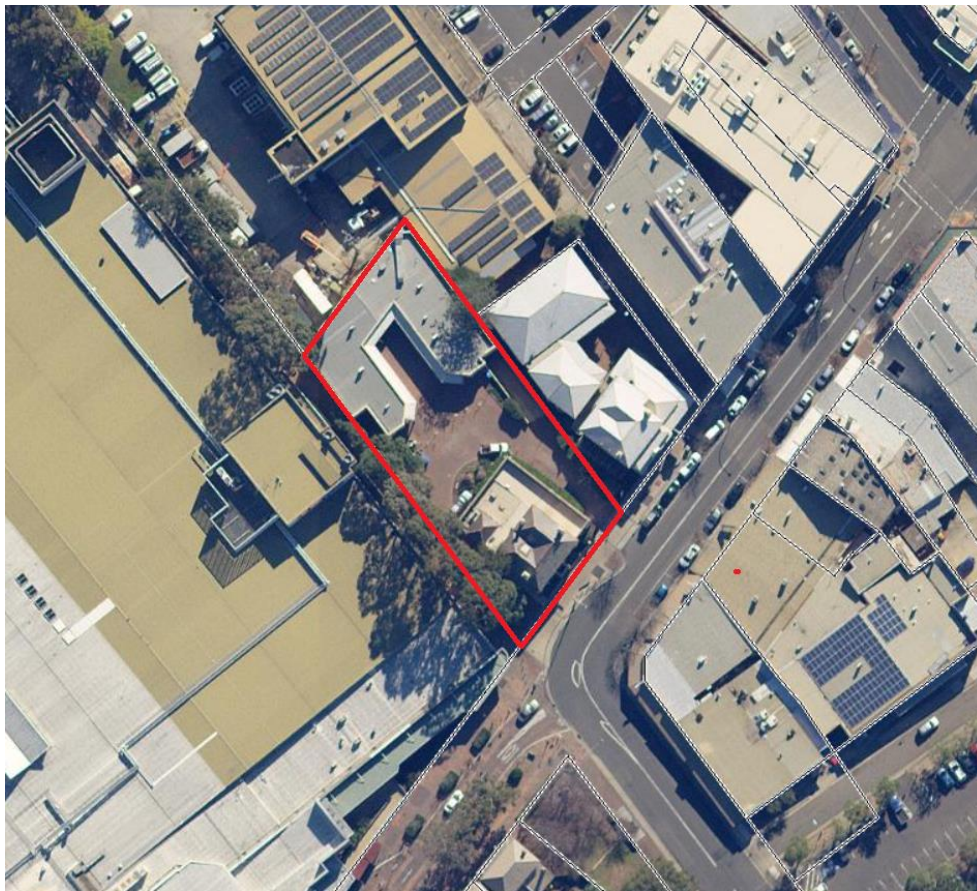
In July 2021, the revised development concept referred to above was considered by the Heritage NSW Approvals Committee. The resolutions of the Heritage NSW Approvals Committee were generally supportive of the concept, and provided guidance in relation to design and required documentation.

The Site

The subject land (the Site) is located within the commercial core of the Campbelltown City Centre, on the north-western side of Queen Street adjacent to its intersection with Allman Street. The Site has an area of 2216 m² with a frontage to Queen Street of 32.055 m. It contains a state heritage listed 2 storey sandstone building at the front of the Site known as the former CBC Bank building, and a single storey commercial building with basement car parking at the rear of the Site. The Site contains 2 driveways, with the southern driveway functioning as the Site's vehicular entry point and the northern driveway functioning as the Site's vehicular exit point.

The Site is the subject of a two-lot strata scheme, whereby the former CBC Bank building is contained within lot 1 whilst the single storey commercial building at the rear of the Site is contained within lot 2. There is common property between the 2 buildings.

The Site is surrounded by other commercial buildings within Campbelltown's commercial core. It is adjoined to the southwest by Campbelltown Mall, to the northwest by a Telstra Exchange building, to the southeast across Queen Street by commercial buildings and to the northeast by a state heritage listed building (Old Campbelltown Post Office). The Site is located in close proximity to the Queen Street conservation area.



Locality Plan with site boundaries in red

Proposal

This application proposes the following works at the subject land:

- Restoration of existing heritage-listed former CBC Bank building, including removal of non-original additions to the building and reinstatement of the building to its original form
- Demolition of the existing commercial building at the rear of the land
- Construction of an 8 storey commercial building at the rear of the land, setback 18-20 m from the main section of the bank building, incorporating ground level retail/commercial tenancies and 7 levels of office space, as well as 2 basement levels, one of which would contain car parking and one of which would contain plant and equipment, end-of-trip facilities and staff areas.
- Removal of two trees; one pine tree that is located immediately adjacent to the existing CBC Bank building on its southern side, and one tree near the vehicular entrance to the Site.
- Use of the existing heritage-listed building is not proposed under this application, however the architectural plans indicate that it is intended that two separate tenancies would occupy the building; one commercial tenancy and one retail tenancy.

Report

1. Vision

Campbelltown 2032 is the Community Strategic Plan (CSP) for the City of Campbelltown. The CSP addresses five key strategic outcomes that Council and other stakeholders will work to achieve over the next 10 years:

- Outcome 1: Community and Belonging
- Outcome 2: Places for People
- Outcome 3: Enriched Natural Environment
- Outcome 4: Economic Prosperity
- Outcome 5: Strong Leadership

The proposal is generally consistent with the long term vision for Campbelltown.

2. Planning Provisions

2.1 Heritage Act 1977

Under Section 57 of the *Heritage Act 1977*, when a listing on the State Heritage Register applies to a building, place or land, a person must not carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct except in pursuance of an approval granted by the Heritage Council of New South Wales.

As the application seeks consent for works to the heritage building and development upon the land on which the building is located, the application is deemed to be Integrated Development and as such, was referred to the Heritage Council pursuant to the relevant provisions of the EP&A Act. The Heritage Council reviewed the application and issued its General Terms of Approval (GTA). These GTA have been included within the recommended conditions of development consent.

2.2 State Environmental Planning Policy (Resilience and Hazards) 2021

Clause 4.6(1) of the Resilience and Hazards SEPP requires that a consent authority must not consent to the carrying out of any development on land unless:

- (a) it has considered whether the land is contaminated, and
- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

A Detailed Site Investigation report has been submitted with the application, which concluded that the Site is suitable for the proposed development. The report recommends that certain actions are undertaken, relating to unexpected finds protocol, inspection of the Site following

demolition, and preparation of a hazardous building materials survey. A recommended condition of consent requires compliance with these recommendations. In this regard, subject to the imposition of and compliance with these recommendations, the Site is considered to be suitable for the proposed development pursuant to clause 4.6(1) of the Resilience and Hazards SEPP.

2.3 Campbelltown Local Environmental Plan 2015

Permissibility

The subject Site is zoned B3 Commercial Core under the provisions of CLEP 2015. The proposed development is defined as 'commercial premises' and is permissible with Council's development consent within the zone.

Commercial premises means any of the following—

- (a) business premises,
- (b) office premises,
- (c) retail premises.

Zone objectives

Clause 2.3 of CLEP 2015 provides that the consent authority must have regard for the zone objectives in determining a development application. The proposal is consistent with the objectives of the B3 Commercial Core zone, which are listed below:

- To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.
- To encourage appropriate employment opportunities in accessible locations.
- To maximise public transport patronage and encourage walking and cycling.
- To accommodate the redevelopment, enhancement and vitality of centres by facilitating mixed use development.

Building height

The subject Site has a maximum building height of 32 m under the CLEP 2015. The proposed development has a height of 34.5 m and therefore fails to comply with this standard by a margin of 8 per cent. The applicant has made a written request pursuant to clause 4.6(3) of the CLEP 2015 seeking to justify the proposed contravention of the maximum building height standard, and this is discussed below.

Clause 4.6 - Exceptions to development standards

Clause 4.6 of the CLEP 2015 states that development consent may be granted for development even though the development would contravene a development standard imposed by the CLEP 2015 or any other environmental planning instrument.

Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

A written request from the applicant that seeks to justify the contravention of the development standard was provided with the application, which is attached to this report. The applicant's first argument in support of the proposed building height variation is that compliance is unreasonable or unnecessary in the circumstances of the case, because the underlying objectives of the control and the objectives of the zone are achieved despite the non-compliance with the numerical development standard.

The objectives of the maximum building height standard are as follows:

- (a) to nominate a range of building heights that will provide a transition in built form and land use intensity across all zones,
- (b) to ensure that the heights of buildings reflect the intended scale of development appropriate to the locality and the proximity to business centres and transport facilities,
- (c) to provide for built form that is compatible with the hierarchy and role of centres,
- (d) to assist in the minimisation of opportunities for undesirable visual impact, disruption to views, loss of privacy and loss of solar access to existing and future development and to the public domain

The applicant contends that the proposed development, despite the numerical non-compliance, remains consistent with the objectives, based on the following:

- The Site is subject to a maximum building height control of 32 m, which is consistent with all land surrounding the Site. The Site is not located adjacent to a transitional maximum building height boundary, and land zoning on the 4 property boundaries is consistent with the Site's B3 designation. The Site does abut B4 zoned land to the south, however is not required to transition to this land from a building height perspective.
- The Site is located within the Campbelltown City Centre, which is characterised with a range of existing and future potential taller building forms compared with the residential areas located outside the city centre. As such, the proposed building height is considered reflective of the intended scale of development of the Site, being centrally located within an 800 m catchment of the Campbelltown railway station. An 8 storey commercial building known as the 'Campbelltown City Centre Building' is within close proximity of the Site is considered to be of a similar height and scale to the proposal, while forming an important landmark within the city centre.
- The proposed built form allows for the creation of high quality employment floor space, that reinforces the role and function of the centre as an employment hub. The building height acts to reinforce the visual delineation of the Site within the city centre, separate from the lower density areas outside of the city core. Optimising density in centres within walking distance of existing high frequency public transport serves not only the workers from surrounding regions but ensures that additional land is not required to facilitate

these transport needs. The proposal reinforces the role and function of Campbelltown as a Strategic Centre as acknowledged in the Greater Sydney Regional Plan.

- The proposed additional building height is considered to result in inconsequential environmental impacts, namely that of additional overshadowing, overlooking, visual impact, or view loss. As confirmed in the additional overshadowing impacts drawings, the predominant additional height is located centrally within the building therefore resulting in little additional overshadowing. The proposal does not result in view loss as part of any key view corridors, nor result in additional overlooking or amenity impacts. Predominant overshadowing resulting from the proposal is confined to the Site boundaries, namely from 1 pm onwards.

The applicant's second argument in support of the proposed building height variation is that there are sufficient environmental planning grounds to justify contravening the development standard. In this regard, the applicant contends that there is an absence of environmental harm arising from the contravention and positive planning benefits arising from the proposed development. The applicant contends that the proposed additional building height is considered to result in inconsequential adverse impacts, namely that of additional overshadowing, overlooking, visual impact, or view loss. As confirmed in the additional overshadowing impacts drawings, the predominant additional height is located centrally within the building therefore resulting in little additional overshadowing. Further, the proposal does not result in view loss as part of any key view corridors, nor result in additional overlooking or amenity impacts.

Development consent must not be granted for development that contravenes a development standard unless:

- (a) the consent authority is satisfied that:
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
 - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and
- (b) the concurrence of the Secretary has been obtained

With regard to subclause (a)(i), the Panel must be satisfied that the applicant's written request has adequately addressed how the development standard is unreasonable and unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. In this regard, in the opinion of Council staff, the applicant's written request does correctly identify that the proposed development does satisfy the objectives of the maximum building height standard and the objectives of the B3 Commercial Core zone, and would have a notably distinct absence of adverse planning impacts upon surrounding properties and the public domain. In this regard, the applicant's written request has adequately addressed how the development standard is unreasonable and unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard.

With regard to subclause (a)(ii), the proposed development is consistent with the objectives of the maximum building height standard and the objectives of the B3 Commercial Core zone, and is considered to be in the public interest.

With regard to subclause (b), in deciding whether to grant concurrence, the Secretary must consider:

- a. whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and
- b. the public benefit of maintaining the development standard, and
- c. any other matters required to be taken into consideration by the Secretary before granting concurrence.

In May 2020, Planning Circular 20-002 (Variations to development standards) advised consent authorities that all consent authorities may assume the Secretary's concurrence under clause 4.6 of a local environmental plan that adopts the Standard Instrument. Accordingly, the Panel must consider points (a), (b) and (c) above. In this regard, the following is noted:

- Contravention of the development standard raises no matters of significance for State or regional environmental planning.
- Given the absence of adverse planning outcomes arising from the proposed variation, a greater public benefit would be achieved by varying the development standard in question. This is because the additional building height would facilitate the positive planning outcome of the orderly construction of a high-quality building without compromising its roof form which performs the important function of concealing the building's roof-mounted plant and equipment.
- No other matters requiring consideration have been identified.

Clause 7.9 - Mixed use development in zone B3 and zone B4

- (1) The objective of this clause is to promote employment opportunities and mixed use development in Zone B3 Commercial Core and Zone B4 Mixed Use.

The proposed building is a mixed use building, as it would contain multiple land uses (retail and offices), and would promote significant employment opportunities, as the entire building would consist of employment-based floor space.

- (2) This clause applies to land in Zone B3 Commercial Core and Zone B4 Mixed Use.

The subject Site has a zoning of B3 Commercial Core under the CLEP 2015.

- (3) Development consent must not be granted to the erection of a building that will contain a residential component, or a change of use of a building, on land to which this clause applies unless the consent authority is satisfied that:

- (a) the building will have an active street frontage after its erection or change of use, and

The proposed building would not contain a residential component, so this clause is not applicable. Notwithstanding this, it is noted that the existing heritage-listed building at the front of the Site would give the development an active street frontage.

- (b) the ground floor will only accommodate non-residential land uses, and

Whilst this clause is not applicable as the proposed building would not contain a residential component, it is noted that the ground floor will only accommodate non-residential land uses.

- (c) if the land is in Zone B3 Commercial Core—the building will have at least one additional level of floor space, immediately above the required non-residential ground floor, that is also set aside for non-residential land uses.

Whilst this clause is not applicable as the proposed building would not contain a residential component, it is noted that the Site is within the B3 Commercial Core zone and the first two levels of the building would consist of commercial land uses.

- (4) Despite subclause (3), an active street frontage is not required for any part of a building that is used for any of the following:
 - (a) entrances and lobbies (including as part of mixed use development),
 - (b) access for fire services,
 - (c) vehicular access.

Whilst this clause is not applicable as the proposed building would not contain a residential component, it is noted that vehicular access would be located at the front of the Site, and that this would not prevent the Site having an active street frontage.

- (5) In this clause:

active street frontage, of a building, means that all premises on the ground floor of the building facing the street are used for the purposes of business premises or retail premises.

non-residential land uses includes uses for the purposes of commercial premises, medical centres, recreation facilities (indoor) and other similar uses but does not include car parking.

Clause 7.13 - Design Excellence

Development consent must not be granted to development to which this clause applies (a new building in the B3 Commercial Core zone) unless the consent authority considers that the development exhibits design excellence. In considering whether development to which this clause applies exhibits design excellence, the consent authority must have regard to the following matters:

- (a) whether a high standard of architectural design, materials and detailing appropriate to the building type and location will be achieved,

- (b) whether the form and external appearance of the development will improve the quality and amenity of the public domain,
- (c) whether the development detrimentally impacts on view corridors,
- (d) how the development addresses the following matters
 - (i) the suitability of the land for development,
 - (ii) existing and proposed uses,
 - (iii) heritage issues and streetscape constraints,
 - (iv) bulk, massing and modulation of buildings,
 - (v) street frontage heights,
 - (vi) environmental impacts such as sustainable design, overshadowing, wind and reflectivity,
 - (vii) the achievement of the principles of ecologically sustainable development,
 - (viii) pedestrian, cycle, vehicular and service access, circulation and requirements,
 - (ix) the impact on, and any proposed improvements to, the public domain,
 - (x) the interface with the public domain,
 - (xi) the quality and integration of landscape design.

The proposal was considered by the Campbelltown Design Excellence Panel (DEP) in April 2021, prior to the lodgment of the application, while the proposal was in its pre-lodgment phase. The DEP was broadly supportive of the proposed development, raising only minor issues requiring a resolution or response, which are outlined below:

- The blades coming to ground in front of the lobby/café were creating visual obstruction due to their close spacing and divided the outdoor space into 2 disconnected spaces that were too small to accommodate meaningful use. It was suggested there be fewer blades, thus opening up better visual connection from the street. This would open up sightlines to the entry and to retail.
- A more detailed landscape concept is required for both public domain and upper level terraces. The panel suggested that the courtyard be socialised and landscaped for use – e.g. a single feature tree, or smaller group of trees, in preference to the ornamental grid of trees proposed. Consideration is also noted in relation to the location of the trees to the northern boundary to ensure that Crime Prevention Through Environmental Design

(CPTED) guidelines are satisfied with clear sight lines from Queen Street to the forecourt to the proposed building.

- Response to the heritage building is considered satisfactory. Amendments to the rear of the heritage building to engage with the forecourt space needs to be further considered.
- Wind - Not addressed
- Sustainable Design - Not addressed but needs a statement covering same"

The actions taken by the applicant in response to the issues raised by the DEP are outlined below:

- The number of blade elements in front of the lobby/café has been reduced from seven to five and therefore there is much less of a visual obstruction within the outdoor dining space.
- The landscape concept for the development has been developed further since the pre-lodgement phase of the development, and an appropriate level of landscaping is proposed within both the ground level public domain and upper level terraces that would provide users of the Site with a high level of amenity. A single feature tree has been proposed within the courtyard, and the trees proposed along the northern boundary would not obscure sight lines from Queen Street to the forecourt of the proposed building.
- Amendments to the rear of the heritage building have been proposed under this application so as to engage with the forecourt space. These amendments involve the conversion of the rear portion of the heritage building into a small retail tenancy with indoor and outdoor seating.
- A Pedestrian Wind Assessment was submitted with the application, which concludes that "The proposed building features several positive design measures that are likely to improve the overall wind conditions around the subject Site. These include the extensive use of vegetation around the Site, the incorporation of sunshade elements that will likely baffle winds redirected towards the ground plane, and use of inset terraces. However, the north-easterly sector winds are expected to impact the amenity of ground level seating areas at the northeast corner of the development. Therefore, it is recommended to include additional trees above the proposed seating areas. These are expected to baffle the downwashed winds and create comfortable amenity for patrons within this space." Accordingly, a recommended condition of consent requires the inclusion of additional trees that will rise above the proposed outdoor seating areas, so as to baffle winds in this location and enhance patron amenity.
- An Ecologically Sustainable Design report was submitted with the application, and forms part of the documentation to be approved, should the Panel approve the application.

Clause 5.10 - Heritage conservation

1) Objectives

The objectives of this clause are as follows—

- (a) to conserve the environmental heritage of Campbelltown,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance

The proposed development would satisfy these objectives as the application involves the conservation and restoration of one of Campbelltown's important state heritage-listed buildings. Its heritage fabric would be largely restored to its original condition, and whilst the building's setting and views of it would change as a result of the proposed development, such a change is anticipated by the prevailing planning controls and would not compromise the heritage values of the building.

2) Requirement for consent

Development consent is required for any of the following

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)
 - (i) a heritage item,
 - (ii) an Aboriginal object,
 - (iii) a building, work, relic or tree within a heritage conservation area,
- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
- (d) disturbing or excavating an Aboriginal place of heritage significance,
- (e) erecting a building on land
 - (i) on which a heritage item is located or that is within a heritage conservation area, or

- (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,
- (f) subdividing land
 - (i) on which a heritage item is located or that is within a heritage conservation area, or
 - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.

This application requires consent subject to this clause because it involves both alteration of the exterior of a heritage item (associated with its proposed restoration) and the erection of a building on the land upon which the heritage item is located.

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

As the CBC Bank is a state-listed heritage item, Council has largely deferred to the assessment of the NSW Heritage Council concerning heritage matters. In this regard, the Heritage Council reviewed the application and issued its General Terms of Approval (GTA). It can therefore be concluded that the effect of the proposed development on the heritage significance of the CBC Bank would be acceptable.

(5) Heritage assessment

The consent authority may, before granting consent to any development

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The application includes a Heritage Impact Statement (attached), which determines that “the proposed redevelopment of the property at 263 Queen Street, Campbelltown, will have an acceptable impact on the heritage significance of the former CBC Bank building”.

(6) Heritage conservation management plans

The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

The application includes a Conservation Management Plan (attached), which outlines the works to be undertaken in order to restore and conserve the CBC Bank building. Compliance with these documents would be enforced by conditions of consent imposed by the NSW Heritage Council.

(9) Demolition of nominated State heritage items

The consent authority must, before granting consent under this clause for the demolition of a nominated State heritage item

- (a) notify the Heritage Council about the application, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.

Whilst demolition of the state listed CBC Bank building is not proposed under this application, demolition of other buildings/elements is proposed on the land (the unsympathetic additions to the building as well as the commercial development at the rear of the Site). Given that the land on which this development is proposed is listed as a heritage item (not just the CBC Bank building), this clause is applicable to the application. In this regard, the application was referred to the NSW Heritage Council, who issued its General Terms of Approval in respect of the application.

(10) Conservation incentives

The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that

- (a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and
- (b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and
- (c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and
- (d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and
- (e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.

This subclause does not apply to the application since the proposed development is permissible in the B3 Commercial Core zone and does not rely upon conservation incentives for its permissibility.

2.4 Campbelltown (Sustainable City) Development Control Plan 2015

Part 2 - Requirements Applying to All Types of Development

The general provisions of Part 2 of the Plan apply to all types of development. Compliance with the relevant provisions of Part 2 of the Plan is discussed as follows:

View and vistas – The proposed development would not obscure any of Campbelltown's important views and vistas, which in the case of the subject proposal includes views from the Scenic Hills. In this regard, given that the proposed development is considered to have design excellence as outlined above, it would contribute positively towards distant views of the Campbelltown CBD.

Sustainable building design – Based on the amount of roof area proposed, a 5,000 litre rainwater tank is required to be provided. A 5,000 litre rainwater tank is proposed for the development.

Landscaping – The proposed development makes provision for a reasonable amount of landscaping, located in the following places:

- A feature tree between the existing heritage building and the proposed new building
- Within the front setback of the existing heritage building
- Along the rear and northern boundaries of the Site
- Within the street-facing façade of the proposed new building at levels 5 and 6

The proposed landscape design would enhance the visual character of the development and complement the design and use of spaces within and adjacent to the Site.

Stormwater – The proposed development would be drained to Council's stormwater drainage system in Queen Street via a network of pits, pumps and pipes. Council's Development Engineer has reviewed the application and advised that the proposed stormwater configuration is satisfactory, subject to conditions and minor amendments, which have been included within the recommended conditions of consent.

Security – This section of the DCP requires development to be designed to:

- i. maximise, where possible, casual surveillance opportunities to the street and surrounding public places;
- ii. minimise dead ends and other possible entrapment areas;
- iii. clearly identify and illuminate access points to buildings and designated public places; and
- iv. clearly differentiate between private and public space.

The proposed development is satisfactory with regard to these requirements. In addition, it is recommended that the CPTED conditions typically recommended by NSW Police are imposed on the development consent.

Part 6 – Commercial Development

Part 6 of the SCDCP sets out development standards for commercial development within the Campbelltown Local Government Area. An assessment of the proposed development against the relevant development standards is detailed below:

Standard	Required	Proposed	Compliance
Building Form and Character	All building façades, including rear and side elevations visible from a public place or adjacent to residential areas, shall be architecturally treated to enhance the quality of the streetscape	All building façades would be architecturally treated.	Yes
	<p>Large buildings shall incorporate the following elements to assist in achieving a high quality architectural outcome:</p> <ul style="list-style-type: none"> - the provision of vertical and/or horizontal offsets in the wall surfaces at regular intervals, including columns, projections, and recesses; variation to the height of the building so that the building appears to be divided into distinct massing elements; - articulation of the different parts of a building's façade by use of colour, arrangement of 	The proposed building satisfies all of the specified architectural criteria.	Yes

	<p>façade elements, or by varying the types of materials used; and</p> <p>- maximising the interior and exterior interactions at the ground level.</p> <p>The main entry to the building shall be easily identifiable from the street and directly accessible through the front of the building.</p> <p>Large expansive blank walls on ground floor levels or side and rear boundaries shall not be permitted unless abutting a building on an adjoining allotment.</p> <p>Roof mounted plant rooms, air conditioning units and other services and equipment shall be effectively screened from view using integrated roof structures and architectural elements.</p> <p>Solid opaque roller doors/shutters over windows and entry doors shall not be permitted on any building that has frontages to a street or a public place.</p> <p>Buildings shall not</p>	<p>The main entry to the new building (from Queen Street) is easily identifiable from the street and directly accessible through the front of the building.</p> <p>No blank walls are proposed for elevations that face public spaces.</p> <p>Views of any roof mounted plant and equipment would be obscured by proposed architectural roof features.</p> <p>Roller shutters are not proposed over windows and doors.</p> <p>A recommended</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>
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	<p>incorporate highly reflective glass.</p> <p>Infill development shall respect and maintain consistency with the established setbacks of existing shopfronts.</p>	<p>condition of consent requires that all glass has a low reflectivity index.</p> <p>The setback to Queen Street is set by the existing heritage building, which is not proposed to change.</p>	<p>Yes</p>
Car Parking	<p>Ground floor business premises/office - 1 space per 25 m² GFA (10 car spaces required based on 250 m² of floor space)</p> <p>First floor business premises/office - 1 space per 35 m² GFA (148 car spaces required based on 5,177 m² of floor space)</p> <p>Total car parking spaces required = 158</p> <p>All car parking spaces that are required shall not be locked off, obstructed, reserved or separately allocated to any individual use at any time.</p> <p>Off street parking and loading shall be designed in accordance with <i>Australian Standards 2890.1 and 2 (as amended)</i></p> <p>No car parking spaces shall be</p>	<p>Parking spaces provided = 22</p> <p>The application indicates that no car parking would be locked off, obstructed, reserved or separately allocated to any individual use.</p> <p>The proposed car parking is compliant with these Australian Standards.</p> <p>No proposed car parking spaces would</p>	<p>No - see discussion below</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>

	<p>designed in a stacked configuration.</p> <p>The required percentage of car parking spaces for people with disabilities within retail/commercial development shall be:</p> <ul style="list-style-type: none"> i) one car space per development; plus ii) one for every 20 car parking spaces (5%); iii) and shall be designed in accordance with AS No 2890.6 (as amended). <p>Carparks must be developed with the infrastructure required for electric vehicle charging.</p> <p>On-site car parking is to be provided to support a range of vehicles, including small cars, hybrid cars and fully electric cars in multi space car parks.</p> <p>Spaces allocated to environmental vehicles should be marked and managed according to the specific vehicle type targeted</p>	<p>be in a stacked configuration.</p> <p>1 of 22 proposed car parking spaces would be accessible (4.5%)</p>	<p>The number of accessible spaces is considered to be acceptable, since any number exceeding 1 would be in excess of the requirements of the BCA.</p>
<p>Vehicular Access and Maneuvering</p>	<p>Commercial development shall be designed to accommodate all related vehicle movements on site</p>		

	<p>such that:</p> <p>i) all vehicles shall enter and exit the site in a forward direction;</p> <p>ii) the area for maneuvering of delivery and service vehicles is separate from vehicle parking areas, and preferably accessed via a rear service lane;</p> <p>iii) cause minimal interference to the flow of traffic within the surrounding road network; and</p> <p>iv) safe and convenient access is provided for pedestrians.</p> <p>Each site shall have a:</p> <p>i) maximum of one ingress and one egress for heavy vehicles (combined or separated); and</p> <p>ii) each site may have an additional ingress/egress for cars (and other light vehicles).</p> <p>Required</p>	<p>All vehicles would be able to enter and exit the site in a forward direction.</p> <p>The maneuvering area of the loading dock is separate from the proposed vehicle parking areas.</p> <p>On-site traffic control measures are proposed to ensure that the proposed development would not interfere with the flow of traffic within the surrounding road network.</p> <p>Pedestrian safety would be maximised by virtue of the limitation of on-site parking spaces and vehicle movements across the footpath in Queen Street.</p> <p>One ingress/egress point is proposed for all vehicles.</p> <p>One ingress/egress point is proposed for all vehicles.</p> <p>Maneuvering areas</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>
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	<p>maneuvering areas for heavy vehicles shall not conflict with car parking.</p> <p>Each new commercial building/unit having a gross floor area greater than 1,500 m² shall provide an area to allow for a heavy rigid vehicle (12.5 m long) to manoeuvre on site.</p> <p>Consent must not be granted to the development of land that has a frontage to Queen Street unless Council is satisfied that:</p> <p>i. where practicable, vehicular access to the land is provided by a road other than Queen Street; and</p> <p>ii. The safety, efficiency and ongoing operation of Queen Street must not be adversely affected by the proposed development as a result of:</p> <p>a. The design of the vehicular access to the land, or</p> <p>b. The nature, volume or frequency of vehicles using Queen Street to gain</p>	<p>for heavy vehicles would not conflict with car parking as they are proposed to be on different levels of the building.</p> <p>A 10.4 m long rigid truck would be able to manoeuvre on site, which the application indicates is the maximum length vehicle needed to service the development (Council's garbage truck if necessary). This arrangement is reinforced by a recommended condition of consent.</p> <p>Vehicular access is proposed from Queen Street, however the site does not have vehicular access from another street. Given this constraint, the number of on-site car parking spaces has been deliberately restricted to ensure that the safety, efficiency and ongoing operation of Queen Street is not adversely affected by the proposed development.</p>	<p>Satisfactory</p> <p>Yes</p>
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	access to the land.		
Loading/Unloading	Where practicable, loading bays shall be separated from parking and pedestrian access.	The proposed loading bay would be separated from parking and pedestrian access.	Yes
	All loading and unloading shall take place wholly within the site.	All loading would take place within the proposed loading area.	Yes
	No loading or unloading shall be carried out across parking spaces, landscaped areas pedestrian aisles or on roadways.	All loading and unloading would take place within the designated loading bay, which does not conflict with other site functions.	Yes
	Parking and loading bays shall be provided and clearly identified on site.	Parking and loading bays would be clearly identified on site.	Yes
	Loading docks and service areas shall not be visible from any public place and shall be suitably screened from adjacent properties. Screening may be achieved by locating such areas behind the buildings, by fencing, landscaping, mounding or a combination of these, or by other means to Council's satisfaction.	The proposed loading area would not be visible from the street.	Yes
Public Domain	A public domain plan incorporating street furniture, paving, landscaping and public art shall be submitted as part of any development application for new development having	A public domain plan for the proposed development has been provided.	Yes

	<p>a gross floor area greater than 5,000 m².</p> <p>Any development application for a new development having a gross floor area greater than 5000 m² shall provide public art of a type and location that is acceptable to Council.</p> <p>Any commercial outdoor areas fronting the street and used by the general public shall be designed to compliment the surrounding public domain and spaces.</p>	<p>Given the site's heritage listing, public art for the site would be best provided in the form of heritage interpretation displays. A Heritage Interpretation is required for the development, to be approved by the Heritage Council of NSW.</p> <p>The proposed semi-public commercial outdoor area on the site would contribute positively to and improve the public domain within the Campbelltown CBD.</p>	<p>Yes</p> <p>Yes</p>
Landscaping	<p>A detailed landscape plan and report shall be prepared by a suitably qualified person and submitted with all development applications for commercial development involving the construction of a new development.</p>	<p>A detailed landscape plan has been provided.</p>	<p>Yes</p>
Commercial Waste Management	<p>Commercial development shall make provision for an enclosed onsite waste and recycling facility that has adequate storage area to accommodate the waste generated</p>	<p>The proposed development has an enclosed onsite waste and recycling facility that has adequate storage area to accommodate the waste generated from the</p>	<p>Yes</p>

	<p>from the development.</p> <p>All commercial premises shall hold evidence of a contract with a licensed collector for garbage and recycling collection.</p> <p>The waste storage area shall:</p> <p>i) be no more than 30 m from the point of collection;</p> <p>ii) contain a hose connection;</p> <p>iii) have an impervious floor that is connected to the sewer;</p> <p>iv) be adequately ventilated;</p> <p>v) incorporate appropriate design and construction materials (including colours and finishes) which complement the development;</p> <p>vi) be appropriately screened from public view by a visual barrier of at least 1.5 m high;</p> <p>vii) provide an opening sufficient to allow egress of the maximum sized bin to be used at the development; and</p> <p>viii) Ensure that the path for wheeling bins between the waste storage area(s) and the collection point is free of steps and kerbs and has a maximum gradient of</p>	<p>development.</p> <p>A recommended condition of consent requires this to be done.</p> <p>Complies</p> <p>To be conditioned.</p> <p>To be conditioned.</p> <p>To be conditioned.</p> <p>To be conditioned.</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>
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	<p>1V:8H.</p> <p>The development must be designed in such a way that an Australian Standard heavy rigid vehicle can provide waste collection services to the development. If on-site servicing is required, the site plan and layout shall consider how heavy rigid vehicles can access and move around the development, and make appropriate provisions for this to occur safely. All waste and recycling generated from the business is to be kept within an appropriate storage receptacle on the premises. Waste is not to be stored or placed outside of a waste storage receptacle or in such a manner that it will become a litter, odour or health nuisance.</p>	<p>The proposed development demonstrates that Council's 10.4 m long waste collection vehicle could provide waste services to the site if needed, in the form of on-site servicing.</p>	<p>Satisfactory</p>
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As the table above shows, the proposed development is generally compliant with the SCDCP, but fails to comply in relation to car parking, which is discussed further below.

Car Parking

The proposed development fails to comply with the numerical car parking requirements of Council's DCP by a significant margin. Under Council's Development Control Plan, the proposed development requires a total of 158 car parking spaces however only 22 car parking spaces are proposed.

It is important to note that the existing former CBC Bank building on the Site pre-dates the automobile era and therefore obviously required no car parking upon its construction in 1880. In this regard, it is considered to be reasonable to assign no car parking requirement to this building, and all car parking demand generated by the proposed development is taken to be that

of the proposed new building. In addition, no parking demand is attributed to the proposed multi-purpose room and gymnasium within basement level 2, as these are considered to be ancillary to the use of the building for commercial purposes and would not generate demand for car parking on their own.

It is also important to note that the way gross floor area is measured would overestimate the likely actual car parking demand generated by the proposed development. This is because gross floor area includes toilets on each floor and waste storage areas on the ground floor, which do not generate demand for car parking on their own. A more appropriate way to calculate car parking demand for a commercial building is by using net lettable area, which excludes these components of the building. Net lettable area measures the total occupiable floor space taken from the inside surfaces of the exterior walls and excludes areas such as common stair wells, toilets, lift lobbies and vertical service ducts. Using net lettable area would reduce the applicable car parking requirement from 158 to 140, based on a net lettable area of 4854 m² (112 m² on the ground floor and 4,742 m² on the upper levels).

Council's car parking rate for commercial development applies to all commercial developments within the Campbelltown LGA, regardless of the location of the Site. It applies the same car parking rate to developments in locations that are highly accessible by public transport (e.g. Macarthur Square Shopping Centre) as it does to developments in locations that are less accessible by public transport (e.g. Glenquarie Shopping Centre). Realistically, the actual car parking demand generated by a development is affected by the Site's accessibility to public transport. The Site is located within the Campbelltown City Centre, and is within 700 m walking distance from Campbelltown Railway Station. The Site is also within 300 m walking distance of bus stops on Queen Street and Dumaresq Street, which are located on bus routes that service large parts of the Campbelltown LGA. The Site's accessibility to public transport makes it likely that a significant portion of the users of the proposed development would choose to access the Site using public transport. Accordingly, the actual car parking demand generated by the proposed development is likely to be less than the applicable rate prescribed by the SCDCP. One of the objectives of the B3 Commercial Core Zone is "To maximise public transport patronage and encourage walking and cycling". This objective can be achieved in part by restricting to some extent the supply of car parking spaces in private developments and applying a car parking rate that is reflective of the Site's accessible CBD context, reinforced by the adoption of Green Travel Plans.

A review of the car parking rates applicable to commercial buildings in comparable regional centres within Sydney has found that Campbelltown's car parking rates are far higher than comparable centres. The table below compares Campbelltown's commercial car parking rate to applicable CBD parking rates in comparable regional city centres. The table outlines the car parking rates that would be applied in these other centres if the subject development were proposed in these centres.

Parramatta City Centre	Maximum of 1 car parking space per 100 m ² of gross floor area
Liverpool City Centre	Minimum of 1 car space per 200 m ² of ground level gross floor area and 150 m ² of upper levels gross floor area
Penrith City Centre	Minimum of 1 car space per 100 m ² of gross floor area
Campbelltown (whole LGA)	Minimum of 1 car space per 25 m ² of ground level gross floor area and 1 car space per 35 m ² of upper levels gross floor area

As can be seen from the table, Campbelltown's commercial car parking rate is significantly higher than comparable centres. Whilst this alone is not a reason to support the proposed

variation, it does show that for comparable regional city centres, the relevant Councils acknowledge that a lower car parking rate should be applied for commercial development in CBD areas than that which is applied to other areas, as these areas are well-served by public transport. Of the regional centres listed above, Penrith would be the most appropriate comparison, given its outer-suburban location and similar public transport availability. Accordingly, it is considered reasonable in the present case, given the Site's unique circumstances described above, to apply a car parking rate of 1 car parking space per 100 m² of net lettable area to the proposed development. Applying such a rate would produce a car parking requirement of 49 parking spaces, which means that the proposed development would have a deficit of 27 parking spaces, based on the proposed provision of 22 parking spaces.

The applicant has submitted a letter of offer to enter into a Voluntary Planning Agreement (VPA) with Council in respect of the car parking shortfall (which is attached to this report), under which a monetary contribution would be paid to Council in lieu of the 27 required on-site car parking spaces. The amount to be paid per parking space would be \$21,250 (increasing according to the CPI increase at the time of payment), which is the amount payable per parking space under the Contributions Plan for Public Car Parking Facilities for development within the Campbelltown CBD.

The Site has 2 very unique constraints that limit the desirability from a public amenity perspective of providing a higher level of on-site car parking commensurate with the car parking demand profile of the proposed development.

Firstly, the need identified by the NSW Heritage Council to create a semi-public space between the former CBC Bank Building and the former Post Office building means that vehicular access to the Site must be situated at the southern part of the Site's frontage to Queen Street. The close proximity of the heritage-listed former CBC Bank building to the southern side property boundary means that the vehicular access way proposed in this location must narrow to a single lane as it passes the building. This configuration is considered not unacceptable for a situation where a low number of vehicles are entering and exiting the Site each day. However, when considering the potential increase in the number of vehicles entering and exiting the Site each day corresponding to the number of car parking spaces required under the DCP, vehicular conflict within the Site that spills over into the adjoining intersection would be likely.

Secondly, the Site adjoins a very highly trafficked CBD pedestrian route between Campbelltown Mall and the Queen Street shopping precinct. As a result, a number of vehicles entering and exiting the Site each day corresponding to the proposed development's car parking demand profile would be likely to result in very frequent interruption of pedestrian movements as well as threats to pedestrian safety caused by vehicle-pedestrian conflict. Both of these issues were raised by Council in the assessment of the 2016 DA which was refused by the Sydney Western City Planning Panel and the NSW Land and Environment Court. Accordingly, providing a limited number of on-site car parking spaces and having the shortfall accounted for by way of a VPA is considered to be a practical way of responding to the Site's vehicular access constraints.

Whilst allowing the proposed variation is likely to result in an increase in the use of Council's car parks (by users of the proposed development relying upon them to some extent), the proceeds from the VPA could be used to increase public parking supply or make transport-related improvements within the Campbelltown CBD. Over the medium and long term, Council's emphasis will be on reducing private car usage in the CBD and increasing public transport patronage and active transport, and therefore a direct one-for-one replacement by Council of the private parking spaces not provided on the Site with new public parking spaces does not

necessarily need to occur. Accordingly, the proposed car parking variation and associated letter of offer to enter into a VPA are considered to be acceptable.

It should be noted that whilst the majority of car spaces within the proposed basement level are likely to be allocated to individual office tenancies, a recommended condition of consent requires that 2 car parking spaces be made available to visitors, in order to accommodate people for whom the use of public transport is not accessible.

3. Environmental Planning Assessment

- An arboricultural assessment report was submitted with the application in respect of the 2 on-site trees and 11 nearby trees on adjoining sites that could possibly be affected by the proposed development. The assessment determined that the 2 on-site trees should be removed as they conflict with the location of the proposed driveway and could potentially affect the structural integrity of the heritage building. Twenty new trees are proposed to replace these trees. The report recommends measures to be implemented in order to protect the 11 nearby trees on adjoining sites. Council's Environment Officer has reviewed the arboricultural assessment report and provided recommended conditions of consent to ensure that tree protection measures are implemented satisfactorily, in addition to the measures put forward by the arborist.
- An acoustic assessment report was submitted with the application. The two acoustic impacts that were assessed were the impact of noise from Campbelltown Mall and surrounding commercial buildings on the proposed commercial/office tenancies, and the impact of noise from the proposed building's mechanical plant/equipment on surrounding properties. The assessment establishes appropriate construction standards for the proposed building in terms of façade glazing, external walls and the roof/ceiling systems in order to achieve the applicable internal noise criteria, and determines the noise limiting criteria for mechanical plant/equipment noise emission. Compliance with the recommendations of the acoustic assessment report can be ensured by way of conditions of consent.
- A traffic and car parking assessment report was submitted with the application, which was referred to Council's Traffic Engineer for review, who provided recommended conditions of consent in relation to vehicular manoeuvring and operation of the proposed car park. Of particular note is that a traffic light system is proposed to facilitate vehicular entry and exit from the Site, due to the fact that the driveway narrows to single-lane width between the heritage building and the property boundary, and the basement ramp is also single-lane width. Council's Traffic Engineer did advise that Council's public car parks do not have the capacity to absorb the proposed development's car parking shortfall and that the current monetary rate per car parking space under the Contributions Plan for Public Car Parking Facilities for development within the Campbelltown CBD is insufficient to allow for the construction of additional public car parking. However, as noted earlier in this report, the proceeds from the VPA could be used to make various transport-related improvements within the Campbelltown CBD. Over the medium and long term, Council's emphasis will be on reducing private car usage in the CBD and increasing public transport patronage and active transport, and therefore a direct one-for-one replacement by Council of the private parking spaces not provided on the Site with new public parking spaces does not necessarily need to occur.

- Council's Environmental Health Officer reviewed the application and advised that the proposed development would not raise any issues of concern, subject to the imposition of recommended conditions of consent regulating matters relating to environmental health.
- A recommended condition of consent requires the existing strata plan to be terminated, because its allotment boundaries are not compatible with the configuration of the development proposed under this application.

4. Public Participation

The application was publicly exhibited and notified to nearby and adjoining residents for a period of 31 days. Council has received two submissions, which raise the following issues:

Issue

The proposed 8 storey building does not fit in with surrounding two-storey heritage-listed buildings. The aesthetic feel of Campbelltown's early settlement should be protected, not just the building.

Comment

A building of the scale proposed is anticipated under the planning controls applying to the Site. Whilst the proposed building would be substantially taller than the two-storey heritage-listed buildings fronting Queen Street, the height difference is not so great that it would prevent the appreciation of the former CBC Bank building in its original context and is not so abrupt so as to appear jarring to an observer. The Heritage Council have also considered the impact on these heritage items and provided their general terms of approval.

Issue

Prolonged construction on the Site would result in significant traffic congestion, noise and vermin infestation, which would result in hardship for surrounding businesses.

Comment

Of the potential impacts identified, noise is likely to be the most certain to occur, whilst traffic congestion and vermin infestation are conjectural. In terms of noise, it is unlikely that temporary noise from an adjoining construction site would be so severe as to cause hardship for surrounding businesses. Nevertheless, a recommended condition of consent requires the construction works to be completed within 12 months of commencement, so that any impacts experienced by adjoining businesses as a result of the construction process are felt only briefly. Construction traffic impacts will be controlled by a Construction Management Plan.

Issue

Construction of the proposed development could cause damage to adjoining heritage-listed buildings, and construction equipment could fall on adjoining properties.

Comment

Design measures implemented to prevent damage to the surrounding heritage-listed properties include adequate setbacks and limiting basement depth by way of limiting on-site car parking supply. The Heritage Council of NSW raised no concerns with regard to damage to adjoining heritage-listed buildings in their assessment of the application, and imposed a condition requiring the protection of heritage buildings during construction. The potential falling of construction equipment onto adjoining properties, whilst being an event that would have very serious consequences, is not a valid reason to refuse the application.

Issue

The proposed development does not have sufficient car parking, and this would exacerbate existing car parking problems in the locality.

Comment

The issue of car parking has been addressed in detail earlier in this report. Whilst car parking in the Campbelltown CBD is sometimes at a premium, the best solution to this problem is not necessarily the provision of additional car parking. Over the medium and long term, Council's emphasis will be on reducing private car usage in the CBD and increasing public transport patronage and active transport. The applicant has submitted a letter of offer to enter into a Voluntary Planning Agreement (VPA) with Council in respect of the car parking shortfall, under which a monetary contribution would be paid to Council in lieu of the shortfall of on-site car parking spaces. The proceeds from the VPA could be used to increase public parking supply or make transport-related improvements within the Campbelltown CBD.

Issue

The applicant's justification for the proposed variation to Council's car parking standard is poor, and the lack of a compliant level of on-site car parking would cause car parking demand to spill over into the adjoining Campbelltown Mall car park, surrounding Council-owned car parks and residential streets to the south of the Site.

Comment

Whilst the documentation exhibited as part of the application did have a poor justification of the proposed car parking variation, a subsequent submission of information contained a much stronger justification. This included a comparison of the car parking rates for commercial floor space within similar central business districts within Sydney, a discussion of gross floor area versus leasable floor area, and a letter of offer in relation to a Voluntary Planning Agreement.

In relation to the potential spill-over of car parking demand into adjoining properties, whilst such an outcome is not expected to occur, ultimately if this does occur, it would be a matter for the owner of the affected property to address. Solutions could include timed parking, ticketing, patrols and legal action. Increased use of surrounding Council-owned car parks as a result of the proposed development in the short-term is likely, as this report identifies, however such an outcome is not a valid reason for the refusal of the application. Over the medium and long term, Council's emphasis will be on reducing private car usage in the CBD and increasing public transport patronage and active transport, and therefore Council's car parks could see less usage over time. Residential streets to the south of the Site are considered to be too far from

the Site to be an attractive car parking option for users of the Site. Nevertheless, even if this were to occur, this would not be a valid reason to refuse the application.

Issue

A Green Travel Plan should be required to be provided, so that the level of car usage by site users is commensurate with the number of car parking spaces at the Site.

Comment

A condition of consent requires the preparation of a Green Travel Plan for the proposed development and its distribution to all users of the Site.

Conclusion

Having regard to the matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* and the issues raised above, it is considered that the application is consistent with the relevant planning legislation.

Attachments

- 4.1.1 Recommended Conditions of Consent (contained within this report)
- 4.1.2 Architectural Plans (contained within this report)
- 4.1.3 Landscape Plans (contained within this report)
- 4.1.4 Letter of Offer to into a Planning Agreement (contained within this report)
- 4.1.5 Clause 4.6 Variation Request (contained within this report)
- 4.1.6 Heritage Impact Statement (contained within this report)
- 4.1.7 Conservation Management Plan (contained within this report)

Reporting Officer

Executive Manager Urban Centres

ATTACHMENT 1
3263/2021/DA-C
Recommended Conditions of Consent

GENERAL CONDITIONS

The following conditions have been applied to ensure that the use of the land and/or building is carried out in such a manner that is consistent with the aims and objectives of the planning instrument affecting the land.

For the purpose of these conditions, the term 'applicant' means any person who has the authority to act on or benefit of the development consent.

1. Approved Development

The development shall be carried out in accordance with the approved plans and documents listed in the table below, and all associated documentation supporting this consent, except as modified in red by Council and/or any conditions within, and except as amended by the General Terms of Approval from the Heritage Council of NSW.

Plan Detail	Job Number	Prepared by	Date
Detailed Site Investigation	E33103Brpt2	JK Environments	26 August 2022
ESD DA Report	PL814571	Stantec Australia Pty Ltd	20 October 2021
Acoustic DA Assessment	SYD2019-1030-R001E	Acouras Consultancy	7 April 2022
Arboricultural Impact Assessment	2581RevAIA	Tree Wise Men Australia Pty Ltd	21 April 2022
Heritage Impact Statement		NBRS Architecture	21 October 2021
Conservation Schedule of Works		NBRS Architecture	21 March 2017
Conservation Management Plan		NBRS Architecture	21 October 2021
Response to RFI - Heritage NSW letter		NBRS Architecture	20 March 2022
Architectural Design Statement		FJMT	26 October 2021
Statement of Environmental Effects		Urbis	October 2021
Clause 4.6 Variation Request - Building Height	P0035393	Urbis	April 2022
10_01 Cover Sheet	GK2630	FJMT Studio	
12_02 Location Plan	GK2630	FJMT Studio	
12_04 Streetscape Analysis	GK2630	FJMT Studio	
12_05 Demolition Plan	GK2630	FJMT Studio	
20_B1 Basement 1	GK2630	FJMT Studio	
20_B2 Basement 2	GK2630	FJMT Studio	
20_00 Ground Floor Plan	GK2630	FJMT Studio	
20_01 Level 1	GK2630	FJMT Studio	
20_02 Level 2	GK2630	FJMT Studio	
20_03 Level 3	GK2630	FJMT Studio	
20_04 Level 4	GK2630	FJMT Studio	
20_05 Level 5	GK2630	FJMT Studio	
20_06 Level 6	GK2630	FJMT Studio	
20_07 Level 7	GK2630	FJMT Studio	
20_08 Level 8	GK2630	FJMT Studio	
30_01 South East Elevation	GK2630	FJMT Studio	

30_02 South West Elevation	GK2630	FJMT Studio	
30_03 North West Elevation	GK2630	FJMT Studio	
30_04 North East Elevation	GK2630	FJMT Studio	
40_01 Section 01	GK2630	FJMT Studio	
40_02 Section 02	GK2630	FJMT Studio	
00 Height Plane Diagram	GK2630	FJMT Studio	
LA00 Cover sheet & Design Statement		Taylor Brammer	13 October 2021
LA01 Regional Context		Taylor Brammer	13 October 2021
LA02 Queen Street Context		Taylor Brammer	13 October 2021
LA03 Queen Street Context - Public Domain		Taylor Brammer	13 October 2021
LA04 Design Principles of Proposed Courtyard		Taylor Brammer	13 October 2021
LA05 Ground Floor - Masterplan		Taylor Brammer	13 October 2021
LA06 Planting Plan		Taylor Brammer	13 October 2021
LA07 Site Plan - Finishes		Taylor Brammer	13 October 2021
LA08 Ground Floor - Section A		Taylor Brammer	13 October 2021
LA09 Ground Floor - Section B		Taylor Brammer	13 October 2021
LA10 Tree Removal and Retention Plan		Taylor Brammer	13 October 2021
LA11 Terrace Planting - Level 5 & 6		Taylor Brammer	13 October 2021
Site Stormwater Drainage and Driveway Civil Works Revision C - Sheets DA-STW 001, 002, 003, 004, 004A, 005, 006, 101, 102, 103, 104, 105, 106, 107, 108, 109, 201, 202, 203, 301, 302, 303, DA-C 101, 201, 202 and 301,	2016-0711	LP Consulting	26 October 2021
Access Review		Morris Goding Access Consulting	13 October 2021
Geotechnical Investigation	31103Srpt2 Rev 1	JK Geotechnics	12 October 2021
Operational Waste Management Plan Revision D	S03428	EF Consulting	12 October 2021
Stormwater Management Report - Issue C		LP Consulting	26 October 2021
Pedestrian Wind Assessment	2204696	RWDI Australia	26 April 2022

2. Amended Plans

The development is to incorporate the following amendments and the amended plans are to be submitted to the Principal Certifier, for approval, prior to the issuing of a Construction Certificate:

- The aspects of the development that have been identified in condition 21 below by the Heritage Council as being "not approved" shall be removed from the plans.
- The landscape plans shall be amended in consultation with the project wind consultant to include additional trees that will rise above the proposed outdoor seating areas, so as to baffle winds in this location and enhance patron amenity, as per the recommendations of the Pedestrian Wind Assessment. The placement of additional tree plantings shall ensure that clear sight lines from Queen Street to the building forecourt area are maintained. The species of these additional trees shall be selected in consultation with a qualified arborist.
- Dividing lines shall be incorporated into the driveway pavement at the site entry to promote lane discipline. This shall be shown on the architectural and engineering plans.

3. Building Code of Australia

All building work must be carried out in accordance with the provisions of the *Building Code of Australia*. In this clause, a reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant construction certificate is made.

4. Landscaping

The provision and maintenance of landscaping shall be in accordance with the approved landscape plan containing Council's approved development stamp including the engagement of a suitably qualified landscape consultant/ contractor for landscaping works. The landscape design shall incorporate a significant portion of native, low water demand plants.

Landscaping shall be designed so that it does not provide concealment or entrapment areas and shall be maintained regularly in perpetuity.

5. External Finishes

The external finishes shall be in accordance with the approved plans and the schedule of finishes submitted with this application. Any proposed alterations to these finishes are considered to be a modification to the development consent and require separate approval by Council.

All glass used in the facades of the building shall have a low reflectivity index.

6. Waste Management

The garbage storage room identified on the approved plans shall:

- a. Be fully enclosed and shall be provided with a concrete floor, with concrete or cement rendered walls covered to the floor.
- b. Have its floor graded to an approved sewer connection incorporating a sump and galvanised grate cover or basket.
- c. Have hot and cold water hose cocks provided within the room.
- d. Be vented to the external air by natural or artificial means.
- e. Be graded and drained to a Sydney Water approved drainage fitting.
- f. Have a self-closing door openable from within the room.
- g. Be constructed in such a manner to prevent the entry of vermin.
- h. Have restricted access so as to prevent the unauthorized deposit of waste

The rubbish and recycling bins shall not be stored within vehicle parking, vehicle manoeuvring areas or landscaped areas. The bin(s) shall only be stored in the garbage room in accordance with the approved plans. The bins must be placed, upon arrival of the waste contractor, in the designated waste collection area in the loading dock as outlined in the Operational Waste Management Plan provided by Elephants Foot Consulting dated 12/10/2021. The bins must then be placed within the garbage room when the waste collection contractor leaves the site.

The room for waste and recycling must not be accessible to the public to prevent the unauthorised deposit of waste.

All commercial premises shall hold evidence of a contract with a licensed collector for garbage and recycling collection.

7. Plant and Equipment

Switchboards, air conditioning units, garbage storage areas and storage for other utilities shall not be attached to the elevations of the building or any place that can be seen from a public place (including semi-public spaces within the site).

All roof mounted plant and equipment shall be sized and placed so that it would be obscured by the architectural roof features when viewed from public places and surrounding buildings.

8. Driveway

The gradients of driveways and manoeuvring areas shall be designed in accordance with *Australian Standard AS 2890.1 and AS 2890.2 (as amended)*.

All driveways in excess of 20 metres in length shall be separated from the landscaped areas by the construction of a minimum 150mm high kerb, dwarf wall or barrier fencing.

9. Vehicular Access and Manoeuvring

Vehicular access and manoeuvring shall be managed as follows:

- All vehicular entries and exits shall be made in a forward direction.
- All vehicles awaiting loading, unloading or servicing shall be parked on site and not on adjacent or nearby public roads.
- All deliveries to the premises shall be made to the loading bay/s provided.
- The largest vehicle permitted to access the site is a 10.4 metre long rigid vehicle.

A traffic sign shall be placed adjacent to the driveway at the entrance of the property advising drivers of the above information.

An additional traffic sign shall be placed adjacent to the driveway at the entrance of the property advising drivers that access to the car park is restricted to businesses and their visitors only.

Should the signs be damaged or removed, they shall be replaced within 48 hours.

10. Use of Building - Separate Consent Required

Separate development consent or Complying Development approval is required for the use of the retail and commercial premise/s prior to the occupation of the building particularly for food premises, function centers or entertainment venues, skin penetration premises, beauty salon, gym, pool or hairdresser.

No approval is given in this consent for the use of a regulated system i.e. cooling tower for which separate development consent (or modification of this consent) is required.

11. Advertising Signs - Separate DA Required

This consent does not permit the erection or display of any advertising signs.

Most advertising signs or structures require development consent. You should make separate enquiries with Council prior to erecting or displaying any advertising or signage.

12. Lighting

Illumination of the site is to be arranged to provide an appropriate level of lighting and in accordance with the requirements of *Australian Standard 4282 (as amended)* so as not to impact upon the amenity of the occupants of adjoining and nearby residential premises or traffic.

Any lighting of external areas within the development such as the rooftop shall be designed and located in a manner to prevent light spill and/or glare impacts on neighbouring premises.

13. Graffiti Removal

In accordance with the environmental maintenance objectives of 'Crime Prevention Through Environmental Design', the owner/lessee of the building shall be responsible for the removal of any graffiti which appears on the buildings, fences, signs and other surfaces of the property within 48 hours of its application.

14. Unreasonable Noise, Dust, Vibration or Emissions

The development, including operation of vehicles, shall be conducted so as to avoid the generation of unreasonable noise, dust, vibration, odour, waste product or other emission and cause no interference to the comfort or repose of adjoining or nearby occupants. Special precautions must be taken to avoid nuisance in neighbouring residential areas, particularly from machinery, vehicles, warning sirens, public address systems and the like.

All activities involving the operation of the development must be carried out in a manner which will prevent undue air, land, water pollution, noise pollution and comply with waste management practices in accordance with the Protection of the Environment Operations Act 1997 Protection of the Environment Operations (Waste) Regulation 2014, Protection of the Environment Operations (Noise) Regulation 2017, Local Government Act 1993, Local Government Regulation 2015 and associated technical standards.

In the event of a noise related issue arising during construction or operation of the development, the person in charge of the premises shall when instructed by Council, cause to be carried out an acoustic investigation by an appropriate acoustical consultant and submit the results to Council. If required by Council, the person in charge of the premises shall implement any or all of the recommendations of the consultant and any additional requirements of Council to its satisfaction.

15. Engineering Design Works

The design of all engineering works shall be carried out in accordance with the requirements set out in Council's 'Engineering Design Guide for Development' (as amended) and the applicable development control plan.

16. Vehicle Parking Spaces

22 car parking spaces shall be designed, sealed, line marked and made available to all users of the site in accordance with Australian Standards 2890.1, 2 and 6 (as amended).

Two car parking spaces shall be made available to visitors to the site at all times and shall not be allocated to individual tenancies.

Suitable mechanical bike-lifting capacity shall be installed to allow cyclists to use the two-tier bicycle rack facilities without manual lifting.

17. Shoring and Adequacy of Adjoining Property

If the development referred to in this development consent involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must at the person's own expense:

- a. Protect and support the adjoining premises from possible damage from the excavation, and
- b. Where necessary, underpin the adjoining premises to prevent any such damage.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

18. Rain Water Tank(s)

Rain water tank/s shall be installed on site for the collection and storage of stormwater for irrigation and reuse purposes (eg the flushing of toilets), in accordance with the approved plans.

19. Construction Certificate

Prior to the commencement of any works that require a construction certificate:

- a. the applicant shall appoint a Principal Certifier;
- b. the applicant shall obtain a construction certificate for the particular works; and
- c. when Council is not the Principal Certifier, the appointed Principal Certifier shall notify Council of their appointment no less than two days prior to the commencement of any works.

20. Crime Prevention through Environmental Design

The following CPTED measures shall be implemented on the site:

- Lighting and wayfinding shall be implemented throughout the pedestrian walkways.
- CCTV shall be implemented within public spaces.
- A maintenance schedule shall be developed and implemented for landscaping to maintain clear sightlines throughout the site.

21. Works not Approved (Heritage Council of NSW)

- a. The removal of internal wall portions on first floor of the heritage building is not approved.

Reason: The works may be acceptable in principle provided they are necessary for the functioning of the place. However, the use of the building is yet unknown. It is preferred that any such works are considered as part of future tenancy proposals and should retain nibs and bulkheads.

- b. The corner window opening on ground floor of the heritage building is not approved.

Reason: The activation of the building's rear is supported; however more sympathetic alternatives need to be explored to achieve that. The L-shaped modern window with box surround will be out of character with the building's historic presentation. It does not align with the proposed reconstruction approach which involves traditional detailing. Removal of a loadbearing corner is likely to involve structural works with risks of physical impact.

22. Compliance (Heritage Council of NSW)

If requested, the applicant and any nominated heritage consultant may be required to participate in audits of Heritage Council of NSW approvals to confirm compliance with conditions of consent.

Reason: To ensure that the proposed works are completed as approved.

23. Crane Use

Any crane proposed for use during construction at the site shall be installed and maintained in a safe manner at all times and located/stored in such a way that damage to neighbouring properties and Council's road is minimised.

24. Traffic Light System

The approved traffic light system for the development shall comply with the following requirements:

- a. The traffic lights shall operate on a tidal flow movement system for AM and PM peaks.
- b. The ingress traffic light shall be located so as not to confuse drivers within the public road network.
- c. An additional traffic signal and push button control shall be provided at the lifts.
- d. The traffic light system shall be able to accommodate the movement of cyclists.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

The following conditions of consent must be complied with prior to the issue of a construction certificate by either Campbelltown City Council or the appointed Principal Certifier. All necessary information to comply with the following conditions of consent must be submitted with the application for a construction certificate.

25. Utility Servicing Provisions

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the applicant shall obtain a letter from both the relevant electricity authority and the relevant telecommunications authority stating that satisfactory arrangements have been made to service the proposed development.

Note: The applicant should also contact the relevant water servicing authority to determine whether the development will affect the authorities water or sewer infrastructure.

26. Geotechnical Report

Prior to Council or the appointed Principal Certifier issuing a construction certificate, a geotechnical report prepared by a NATA registered lab shall be submitted which indicates that the land will not be subject to subsidence, slip, slope failure or erosion where excavation and/or filling exceeds 900mm in depth or identified as filled land.

27. Soil and Water Management Plan

Prior to Council or the appointed Principal Certifier issuing a construction certificate, a detailed soil and water management plan shall be submitted for approval.

28. Pollution Control

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the applicant shall provide engineering details to Council for approval of a suitable gross pollutant trap(s) and/or water quality treatment in accordance with the relevant guidelines of the Department of Environment and Climate Change (DECC), Department of Water and Energy (DWE), and with the design requirements of the Campbelltown (Sustainable) City DCP - Volumes 1 and 3 (as amended) for the stormwater drainage system prior to discharge from the site.

29. Traffic Committee

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the applicant shall submit plans and obtain approval from Council's Local Traffic Committee for any proposals for the construction of prescribed traffic control devices and traffic control facilities and all associated line marking and/or sign posting.

30. Stormwater Management Plan

Prior to Council or appointed Principal certifier issuing a construction certificate, a plan indicating all engineering details and calculations relevant to site regrading and the collection and disposal of stormwater from the site, building/s and adjacent catchment, shall be submitted for approval, generally in accordance with the submitted stormwater design, prepared by LP Consulting Pty Ltd, Dwg No.DA-STW-101:303, dated 26/10/2021 and incorporating the following amendments:

- Direct discharge of site stormwater into Council's stormwater drainage system in Queen Street. No kerb discharge is allowed;

Floor levels of all buildings shall be a minimum of 150mm above the adjacent finished site levels and stormwater shall be conveyed from the site to Council's stormwater drainage system in Queen Street. All proposals shall comply with Council's 'Engineering Design Guide for Development' (as amended) and the applicable development control plan.

31. Dilapidation Report

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the applicant shall submit a dilapidation report for all buildings on lands that adjoin the subject works.

32. Work on Public Land

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the applicant shall obtain written approval from Council for any proposed work on public land. Inspection of this work shall be undertaken by Council at the applicants expense and a compliance certificate, approving the works, shall be obtained from Council prior to the Principal Certifier issuing an occupation certificate.

33. Telecommunications Infrastructure

- a. If the development is likely to disturb or impact upon telecommunications infrastructure, written confirmation from the service provider that they have agreed to proposed works must be submitted to the appointed Principal Certifier prior to the issue of a Construction Certificate or any works commencing, whichever occurs first; and
- b. The arrangements and costs associated with any adjustment to telecommunications infrastructure shall be borne in full by the applicant/developer.

34. Sydney Water

Prior to Council or the appointed Principal Certifier issuing a construction certificate, the approved plans must be submitted to Sydney Water via the Sydney Water Tap In service, to determine whether the development will affect any Sydney Water wastewater and water mains, stormwater drains and/or easements, and if any requirements need to be met.

An approval receipt will be issued if the building plans have been approved. The approval receipt shall be submitted to the appointed Principal Certifier prior to issue of a construction certificate.

The Sydney Water Tap In service can be accessed at www.sydneywater.com.au.

35. Section 7.12 Contributions

Contribution

The developer must make a monetary contribution to Campbelltown City Council in the amount of **\$359,136.45** for the purposes of the Local Infrastructure identified in the Campbelltown Local Infrastructure Contributions Plan 2018 (the Plan).

The contribution rate will be adjusted on a quarterly basis with CPI indexation as detailed in Section 6.3.2 of the Plan. The exact amount of the contribution will be calculated at the rate applicable at the time of payment.

Indexation

The monetary contribution is based on a proposed cost of carrying out the development of \$32,978,000 indexed to the quarter immediately prior to the date of this consent (\$35,913,645). This cost (and consequently the monetary contribution) must be indexed between the date of this consent and the date of payment in accordance with the following formula:

Indexed development cost (\$) =	$\$CC \times \frac{CPI_P}{CPI_C}$

Where:

- \$CC is the contribution amount shown in this certificate expressed in dollars
- CPI_P is the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Statistician at the time of the payment of the contribution.
- CPI_C is the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Statistician which applied at the time of the issue of this certificate.

Time for payment

The contribution must be paid prior to the release of a construction certificate for any works authorising construction above the floor level of the ground floor.

How to make the contribution payment

Contact Council's Development Contributions Officer on 4645 4000 or email, council@campbelltown.nsw.gov.au for an invoice which will also provide details of the various methods of payment available, prior to payment.

36. Commercial Tenancy Servicing

Prior to Council or an accredited certifier issuing a construction certificate, the applicant shall provide evidence that consideration has been given to the future servicing of the commercial tenancies in terms of exhaust fans should food-related businesses seek approval to occupy those premises. This consideration is intended to minimise potential future issues relating to odour for residents and impacts on the building's design and appearance. Exhaust venting on the building's façade is prohibited.

37. Details to be submitted for Approval (Heritage Council of NSW)

The following information must be submitted with the s60 application to the satisfaction of and for approval by the Heritage Council of NSW (or delegate):

- a) Details regarding services for the heritage building, such as exhausts, plant room, etc. including locations.

Reason: To manage potential impact from such works being proposed in the future.

b) The design detailing of the proposed reconstruction works to match existing traditional detailing or based on historical research.

Reason: To ensure new works are sympathetic.

c) Updated colour scheme for the heritage building based on samples and CMP recommendations, including building elements for which colours have not been specified.

Reason: To ensure a sympathetic outcome consistent with the CMP and site samples.

d) Details of indigenous species and evergreen trees in the landscape design.

Reason: To ensure a sympathetic outcome consistent with Heritage Council's comments.

e) Future long-term maintenance and conservation of the heritage building must be part of the facility management of the overall site to ensure its viability. A Future Maintenance and Conservation Strategy must be submitted with the S60 application to the satisfaction of and approval by Heritage Council (or delegate) which identifies short as well as long term maintenance and conservation needs of the heritage building and demonstrates future funding arrangements to meet these.

Reason: In accordance with Heritage Council's comments and in view of the considerable adverse impacts, the proposed development is considered to be a means of funding the building's future maintenance.

38. Heritage Consultant

A suitably qualified and experienced heritage consultant must be nominated for this project. The nominated heritage consultant must provide input into the detailed design, provide heritage information to be imparted to all tradespeople during site inductions, and oversee the works to minimise impacts to heritage values. The nominated heritage consultant must be involved in the selection of appropriate tradespersons and must be satisfied that all work has been carried out in accordance with the conditions of this consent.

Reason: So that appropriate heritage advice is provided to support best practice conservation and ensure works are undertaken in accordance with this approval.

39. Heritage Interpretation Plan (Heritage Council of NSW)

An interpretation plan must be prepared in accordance with the Heritage NSW publication 'Interpreting Heritage Places and Items Guidelines' (2005) and submitted for approval to the Heritage Council of NSW (or delegate) prior to the issue of a Construction Certificate/ Government certification.

The interpretation plan must detail how information on the history and significance of name of item will be provided for the public, and make recommendations regarding public accessibility, signage and lighting. The plan must identify the types, locations, materials, colours, dimensions, fixings and text of interpretive devices that will be installed as part of this project.

Reason: Interpretation is an important part of every proposal for works at heritage places.

40. Historical Archaeology (Heritage Council of NSW)

This approval does not cover the removal of any State significant relics. This approval covers the archaeological monitoring of locally significant archaeology only as approved above.

The applicant shall submit an Archaeological Research Design and Excavation Methodology undertaken by a suitably qualified and experienced historical archaeologist as part of the section 60 application.

The s.60 application shall be supported by the name of a nominated excavation director suitable to satisfy the Excavation Director Criteria of the Heritage Council of NSW for the proposed activity and significance level.

Following the receipt of the Archaeological Research Design and Excavation Methodology as part of the Section 60 Application, the Heritage Council of NSW reserves the right to issue Archaeological Conditions as part of the Section 60 Approval to manage the archaeology. Matters such as (but not limited to) fieldwork methodology, artefact analysis, and final reporting may be included as part of these archaeological conditions.

Reason: To manage any potential archaeological impacts.

41. Section 60 Application (Heritage Council of NSW)

An application under section 60 of the Heritage Act 1977 must be submitted to, and approved by, the Heritage Council of NSW (or delegate), prior to work commencing.

Reason: To meet legislative requirements.

42. Green Travel Plan

Prior to the issue of a construction certificate, a Green Travel Plan (GTP) must be prepared to promote the use of active and sustainable transport modes. The plan must:

- (a) Be prepared by a suitably qualified traffic consultant;
- (b) Include objectives and mode share targets (i.e. site and land use specific, measurable and achievable and timeframes for implementation) to define the direction and purpose of the GTP;
- (c) Include specific tools and actions to help achieve the objectives and mode share targets;
- (d) Include measures to promote and support the implementation of the plan, including financial and human resource requirements, roles and responsibilities for relevant employees involved in the implementation of the GTP; and
- (e) Include details regarding the methodology and monitoring/review program to measure the effectiveness of the objectives and mode share targets of the GTP, including the frequency of monitoring and the requirement for travel surveys to identify travel behaviours of users of the development.

The GTP shall be submitted to Council for information, and shall form part of the approved documentation of the development.

43. Acoustic Testing of Mechanical Plant and Equipment

Prior to the issue of a construction certificate, an acoustic assessment of all planned mechanical plant and equipment shall be conducted by a qualified acoustic consultant. The assessment shall determine the maximum noise levels, optimum positioning and operating conditions required in order to achieve compliance with the relevant acoustic criteria. These metrics shall be approved as part of the construction certificate application and shall be complied with at all times.

44. Update of Tree Protection Plan

The Tree Protection Plan (Attachment E) shall be updated for construction certificate documentation to reflect any layout or level changes from those indicated in the Development Application Drawings. The amended TPP shall be kept in the Site Office during the construction period to guide tree protection procedures. The recommendations contained in the TPP shall be incorporated into the Construction Management Plan and Sediment Control Plan.

45. External Architectural Lighting Design Plan

An external architectural lighting design plan shall be provided for the development which creates a sense of place and contributes to the identification of the Campbelltown CBD core and the night time

economy. The architectural lighting design plan shall be appropriately sensitive to the site's heritage context. Written approval from Council's Executive Manager Urban Centres shall be obtained in respect of the Plan, and it shall form part of the approved documentation for the development.

46. Airspace

Prior to Council or an accredited certifier issuing a construction certificate, the applicant must provide separate notification in writing to the operator of Campbelltown Hospital Landing Site (HLS) as well as Airservices Australia (yod@airservices.com) of the proposal to erect the approved building and associated cranes to be used for the construction of the development. The notification is to include an appropriate level of detail that clearly provides an understanding of the proposed timeframes for the erection of the tower, and is to include the design, finishes, maximum height of the tower and details of the cranes to be used in the construction of the tower.

Where the operator of the HLS requires the installation of additional aviation safety devices on the building or cranes, the applicant shall immediately inform Council's Executive Manager of Urban Centres, where a decision will be made as to whether the installation of the device(s) would require separate assessment and approval.

47. Construction Management Plan

Prior to Council or an accredited certifier issuing a construction certificate, detailed Construction Management Plan (CMP) prepared by a suitability qualified person shall be submitted to and written approval from Council's Executive Manager of Urban Centres. The CMP must be prepared in consultation with adjoining owners and must include (but not limited to) the following details:

- Plan of proposed construction storage area
- Parking for construction workers during the demolition and construction phases
- Timing of delivery of materials
- Dust suppression measures
- Access points to the site during construction (From Anzac lane)
- Treatment of barricading/ fencing for construction and restricting access
- Pedestrian and vehicle access plan showing movements around the site during the demolition and construction phases
- Address all environmental aspects of the developments demolition and construction phases including soil and water management/erosion and sediment control plan, noise and vibration management plan, dust suppression/dust management plan, waste management and litter control.
- Timing of waste collection during construction

Copies of the approved CMP shall be kept on site for the duration of the works, in accordance with Work Cover Authority requirements and copies shall also be forwarded to Council for its records.

Should the CMP identify the need to occupy the public road to preform site construction activities, the applicant shall separately obtain approval using Road Occupancy and Standing Plant application from and submit to Council's Executive Manager Infrastructure, prior to the undertaking of any demolition or construction works on the development site.

Council reserves the right to request modification to the CMP during the development works, in order to maintain adequate and safe management of vehicular and pedestrian traffic.

48. Loading Dock Management Plan

Prior to the issue of a construction certificate, a Loading Dock Management Plan must be prepared for the development. The plan must be prepared by a suitably qualified traffic consultant, and include:

- (a) Restrictions on delivery and operating times to ensure deliveries do not occur during times of peak pedestrian movements (all deliveries are to occur between 5pm and 7am).

- (b) Details of a pre-booking system, whereby deliveries to the site are to be undertaken only during an allocated time slot and booked in advance.
- (c) Controls on duration of stays.
- (d) Measures to ensure there is no queuing of delivery vehicles, including details of alternate parking locations to redirect vehicles when queuing occurs.
- (e) Management of conflicts between pedestrians and the service vehicles using the loading bays.
- (f) Management of incidents at the access to the loading docks.
- (g) Controls on the placement of skips, pallets, etc.
- (h) Procedures for tradesman access and parking.

The Loading Dock Management Plan shall be submitted to Council for information, and shall form part of the approved documentation of the development.

49. Execution of Voluntary Planning Agreement

The Applicant is to enter into a Planning Agreement (as defined by Section 7.4 of the Environmental Planning and Assessment Act 1979) with Council for the delivery of the public benefits as identified and generally within the terms specified in the letter of offer to enter into a planning agreement from Auchenflower Investments Pty Ltd, dated 30 August 2022.

PRIOR TO THE COMMENCEMENT OF ANY WORKS

The following conditions of consent have been imposed to ensure that the administration and amenities relating to the proposed development comply with all relevant requirements. These conditions are to be complied with prior to the commencement of any works on site.

50. Erosion and Sediment Control

Prior to the commencement of any works on the land, adequate/approved erosion and sediment control measures shall be fully installed/implemented.

51. Erection of Construction Sign

Prior to the commencement of any works on the land, signs must be erected in prominent positions on the site:

- a. Showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours
- b. Stating that unauthorised entry to the work site is prohibited
- c. Pollution warning sign promoting the protection of waterways (a digital copy is provided with this consent that can be printed, laminated and affixed to the site or a corflute sign is available for free pick up at Council's administration office)
- d. Stating the approved construction hours in which all works can occur
- e. Showing the name, address and telephone number of the principal certifying authority for the work.

Any such signs are to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

52. Toilet on Construction Site

Prior to the commencement of any works on the land, toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part thereof. Each toilet provided must be a standard flushing toilet and be connected to:

- a. A public sewer, or
- b. If connection to a public sewer is not practicable, to an accredited sewage management facility approved by Council, or
- c. If connection to a public sewer or an accredited sewage management facility is not practicable, to some other management facility approved by Council.

53. Trade Waste

Prior to the commencement of any works on the land, a trade waste facility shall be provided on-site to store all waste pending disposal. The facility shall be screened, regularly cleaned and accessible to collection vehicles.

54. Vehicular Access during Construction

Prior to the commencement of any works on the land, a single vehicle/plant access to the site shall be provided, to minimise ground disturbance and prevent the transportation of soil onto any public road system. Single sized aggregate, 40mm or larger placed 150mm deep, extending from the kerb and gutter to the property boundary, shall be provided as a minimum requirement.

55. Public Property

Prior to the commencement of any works on site, the applicant shall provide Council with a report establishing the condition of the property which is controlled by Council which adjoins the site including (but not limited to) kerbs, gutters, footpaths, and the like.

Failure to identify existing damage may result in all damage detected after completion of the development being repaired at the applicant's expense.

56. Demolition Works

Demolition works shall be carried out in accordance with the following:

- a) Prior to the commencement of any works on the land, a detailed demolition work plan designed in accordance with Clause 1.7.3 of Australian Standard AS 2601-2001 - The Demolition of Structures, prepared by a suitably qualified person with suitable expertise or experience, shall be submitted to and approved by Council and shall include the identification of any hazardous materials, method of demolition, precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- b) Prior to commencement of any works on the land, the demolition Contractor(s) licence details must be provided to Council.
- c) The handling or removal of any asbestos product from the building/site must be carried out by a NSW Work Cover licensed contractor irrespective of the size or nature of the works. Under no circumstances shall any asbestos on site be handled or removed by a non-licensed person. The licensed contractor shall carry out all works in accordance with NSW Work Cover requirements.
- d) An appropriate fence preventing public access to the site shall be erected for the duration of demolition works
- e) Immediately prior to the commencement of the demolition or handling of any building or structure that contains asbestos, the applicant shall request that the principal certifying authority attend the site to ensure that all appropriate safety measures are in place. The applicant shall also notify the occupants of the adjoining premises and Workcover NSW prior to the commencement of any works.

57. Hoarding / Fence

Prior to the commencement of any works, a hoarding or fence must be erected between the work site and a public place if the work involved in the development is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or if the building involves the enclosure of a public place in accordance with Work Cover requirements.

The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.

A separate land use application under *Section 68 of the Local Government Act 1993* shall be submitted to and approved by Council prior to the erection of any hoarding on public land.

58. Fencing

An appropriate fence preventing public access to the site shall be erected for the duration of construction works.

59. Crane Construction

Prior to the commencement of any works, written approval must be obtained from the Safety Manager of Police Transport and Public Safety Command, in relation to the following:

- (a) The start date including the commencement of construction of the crane.
- (b) The end date of the crane including the deconstruction of the crane
- (c) RL, of the crane fully extended
- (d) Confirmation that the crane is lit and marked
- (e) Drawings of the crane on site

The response from the Safety Manager must be provided to Campbelltown City Council for record keeping purposes.

60. Unexpected Finds Protocol

A suitably qualified contaminated land consultant shall be engaged to inspect the site following the initial demolition works (i.e. after demolition of buildings and removal of pavements etc.). A letter shall be prepared to document the findings of the inspection(s) and provide further commentary on contamination and any unexpected finds. A Licensed Asbestos Assessor shall be engaged to inspect the site post-demolition works for any asbestos-related unexpected finds.

Unexpected finds would typically be able to be identified by visual or olfactory indicators and could include:

- Waste materials in fill, including building and demolition waste such as fibre cement or paint chips;
- Fibre cement fragments (e.g. ACM);
- Stained fill/soil;
- Odorous soils (e.g. hydrocarbon or organic odours); and/or
- Distinct layers or areas of slag and/or coal wash.

The following shall be implemented in the event of an unexpected find:

- All work in the immediate vicinity should cease, and the contaminated land consultant (who was engaged to complete the initial inspections) should be contacted immediately to inspect and document the find;
- Temporary barricades should be erected to isolate the area;

- The consultant should develop and implement a strategy to assess the issue and provide guidance on the appropriate course of action; and
- Any actions should be implemented and validated to demonstrate that there are no unacceptable risks to the receptors.

61. Site Protection (Heritage Council of NSW)

Significant built and landscape elements are to be protected during site preparation and the works from potential damage. Protection systems must ensure significant fabric, including landscape elements, is not damaged or removed.

Reason: To ensure significant fabric including vegetation is protected during construction.

62. Photographic Archival Recording (Heritage Council of NSW)

A photographic archival recording of the heritage building must be prepared prior to the commencement of works, during works and at the completion of works. This recording must be in accordance with the Heritage NSW publication 'Photographic Recording of Heritage Items using Film or Digital Capture' (2006). The digital copy of the archival record must be provided to Heritage NSW, Department of Premier and Cabinet.

Reason: To capture the condition and appearance of the place prior to, and during, modification of the site which impacts significant fabric.

63. Crane License

Prior to the commencement of any works on the site, the applicant is to enter into an airspace license for the purpose of operating a crane on commercial terms. You are required to contact Council's Executive Manager of Strategic Property to arrange this.

DEVELOPMENT REQUIREMENTS DURING CONSTRUCTION

The following conditions of consent have been imposed to ensure that the administration and amenities relating to the proposed development comply with all relevant requirements. These conditions are to be complied with during the construction of the development on site.

64. Construction Work Hours

All work on site shall only occur between the following hours:

Monday to Friday	7.00 am to 6.00 pm
Saturday	8.00 am to 5.00 pm
Sunday and public holidays	No Work.

65. Erosion and Sediment Control

Erosion and sediment control measures shall be provided and maintained throughout the construction period, in accordance with the requirements of the manual – Soils and Construction (2004) (Bluebook), the approved plans, Council specifications and to the satisfaction of the principal certifying authority. The erosion and sedimentation control devices shall remain in place until the site has been stabilised and revegetated.

Note: On the spot penalties up to \$8,000 will be issued for any non-compliance with this requirement without any further notification or warning.

66. Work Zones

All loading, unloading and other activities undertaken during construction shall be accommodated on the development site.

Where it is not practical to load, unload or undertake specific activities on the site during construction, the provision of a 'Work Zone' external to the site may be approved by Council following an application being submitted to Council's Traffic Unit outlining the proposal for the work zone. The application is required to be made prior to the commencement of any works and is to include a suitable 'Traffic / Pedestrian Management and Control Plan' for the area of the work zone that will be affected. All costs of approved traffic/pedestrian control measures, including relevant fees, shall be borne by the applicant.

67. Tree Management

During construction, no trees are to be cut down, lopped, destroyed or removed without the separate written approval of Council unless the removal of those trees has been approved by Council.

Management of trees on the site and adjoining sites is to be carried out in accordance with the Arboricultural Impact Assessment prepared by Tree Wise Men dated 21 April 2022. The two trees in the table below are approved for removal. Trees 1, 3-9 and 11-13 are to be retained.

Tree Number	Species	Common Name	Reason
2	Schinus areira	Peppercorn	The tree is located immediately adjacent to the proposed realigned driveway kerb which will require shallow excavation within the Structural Root Zone. This excavation will render the tree unstable necessitating its removal.
10	Juniperinus spp.	Juniper	The tree is located within 1.0m of the Heritage-listed building which is to be renovated. The tree is in Fair vigour and condition only and is capable of causing structural damage to the building in the future if not removed.

The works to remove these two trees (2 and 10), and retain trees 1, 3, 4, 5, 6, 7, 8, 9, 11, 12 and 13 are to be undertaken as per section 5 'Recommendations for Tree Management' of the Arboricultural Impact Assessment prepared by Tree Wise Men dated 21 April 2022.

Arborist Involvement

An Arborist (the Project Arborist) experienced in tree protection on construction sites shall be engaged prior to the commencement of construction work on the site. The Project Arborist shall monitor and report regularly to the Principal Certifying Authority (PCA) and the applicant on the condition of the retained trees during the construction works. The Project Arborist is to monitor any demolition, excavation, machine trenching or compacted fill placed within the TPZ of all retained trees.

The schedule of works for the development must acknowledge the role of the Project Arborist and the need to protect the retained trees. Sufficient notice must be given to the Arborist where his/her attendance is required. Shall the proposed design change from that reviewed, additional arboricultural assessment will be required.

The Project Arborist shall certify tree protection measures at key stages of the construction. Copies of the Certification shall be sent to PCA. Key stages for Certification are:

- Prior to demolition and bulk earthworks
- Prior to Basement piling works
- Prior to Basement slab installation
- Prior to Landscape installation

- Prior to Practical Completion

Tree Retention

Trees 1, 3-9 and 11-13 are to be retained.

Trees 1, 11 and are clear of the approved works.

Trees 3-9 and 13 have "new-for-old" construction within notional TPZs.

Tree Protection Fencing Tree protection fencing as indicated on the TPP (Attachment E) shall be installed prior to commencement of any works on the site. Where fencing is not feasible due to construction access issues, the trunk(s) are to be battened (as per Figure 04) to avoid bark wounding and ground protection provided with placement of mulch or additional boarding.

Demolition of the Existing Structures

The existing structures adjacent to Trees 3-9 and 13 that are approved for demolition are to be demolished with extreme care, given the close proximity of adjoining trees. The Project Arborist is to certify the demolition works.

Proposed Basement Piling

The piling machinery is to be as short as possible to minimise the need for crown pruning. If crown pruning is required to adjoining Trees 3-9 and 13, consent will be required from both the adjoining land owner and Council.

Crown Pruning

If crown pruning is required to any tree, pruning is to be approved and is to comply with Australian Standard AS4373-2007: Pruning of Amenity Trees.

Other Tree Protection Measures

Other tree protection measures (Attachment D) including mulching, temporary irrigation, scaffolding, prevention of soil compaction and prevention of soil profile inversion shall be implemented as required.

Tree Removal

Trees 2 and 10 shall be removed to allow for the proposed works. Tree removal works are to comply with Safe Work Australia "Guide to Managing Risks of Tree Trimming and Removal Work" July, 2016.

68. Excavation and Backfilling

All excavations and backfilling associated with the approved works must be executed safely and in accordance with appropriate professional standards. All excavations must be properly guarded and protected to prevent them from being dangerous to life or property.

If an excavation associated with the approved works extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made:

- Must preserve and protect the building from damage; and
- If necessary, must underpin and support the building in an approved manner, and
- Must at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

69. Dust Nuisance

Measures shall be implemented to minimise wind erosion and dust nuisance in accordance with the requirements of the manual – 'Soils and Construction (2004) (Bluebook). Construction areas shall be treated/regularly watered to the satisfaction of the appointed Principal Certifier.

70. Certification of Location of Building during Construction

Prior to the positioning of wall panels/bricks or block work, the applicant shall submit to the appointed Principal Certifier a qualified practicing surveyor's certificate showing the boundaries of the allotment, distances of walls and footings from the boundaries, and the dimensions of the building.

71. Certification of Location of Building upon Completion

Upon completion of the building, the applicant shall submit to the appointed Principal Certifier a qualified practicing surveyor's certificate showing the boundaries of the allotment, distances of walls and footings from boundaries.

72. Certification of Levels of Building during Construction

Prior to the placement of any concrete of the basement/ground floor slab, the applicant shall submit to the appointed Principal certifier a qualified practicing surveyor's certificate showing that the formwork levels are in accordance with the approved plan.

73. Excess Material

All excess material is to be removed from the site. The spreading of excess material or stockpiling on site will not be permitted without prior written approval from Council.

74. Public Safety

Any works undertaken in a public place are to be maintained in a safe condition at all times. In this regard, the applicant shall ensure that a safe, fully signposted passage, minimum 1.2m wide, separated from the works and moving vehicles by suitable barriers and lights, is maintained for pedestrians, including disabled pedestrians, at all times. The applicant shall ensure that traffic control is undertaken and maintained strictly in accordance with AS 1742.3, the requirements set out in the State Roads Authority manual "Traffic Control at Work Sites" (as amended), all applicable Traffic Management and/or Traffic Control Plans. The contractor shall also ensure that all Work Cover Authority requirements are complied with. Council may at any time and without prior notification make safe any such works that be considered to be unsafe, and recover all reasonable costs incurred from the applicant.

75. Public Safety

Any works undertaken in a public place are to be maintained in a safe condition at all times in accordance with AS 1742.3. Council may at any time and without prior notification make safe any such works Council considers to be unsafe, and recover all reasonable costs incurred from the applicant.

76. Compliance with Council Specification

All design and construction work shall be in accordance with:

- Council's specification for Construction of Subdivisional Road and Drainage Works (as amended)
- Campbelltown (Sustainable City) DCP - Volumes 1 and 3 as amended

- Soils and Construction (2004)(Bluebook)and
- Relevant Australian standards and State Government publications.

77. Footpath Kerb and Gutter

The applicant shall re-construct all damaged bays of concrete path paving and kerb and gutter, adjacent to the site, in Queen Street. All works shall be in accordance with Council's Specification for Construction of Subdivisional Road and Drainage Works (as amended) and with the design requirements of the Campbelltown (Sustainable City) DCP - Volumes 1 and 3 (as amended).

78. Industrial / Commercial Driveway and Layback Crossing

The applicant shall provide a reinforced concrete driveway and layback crossing/s to Council's Industrial/Commercial Vehicle Crossing Specification and Campbelltown (Sustainable City) DCP - Volumes 1 and 3 (as amended).

A separate application for this work, which will be subject to a crossing inspection fee, fixing of levels and inspections by Council, must be lodged with Council. Conduits must be provided to service authority requirements.

79. Associated Works

The applicant shall undertake any works external to the development, that are made necessary by the development, including additional road and drainage works or any civil works directed by Council, to make a smooth junction with existing work.

80. Redundant Laybacks

All redundant layback/s shall be reinstated to conventional kerb and gutter to Council's Specification for Construction of Subdivisional Road and Drainage Works (as amended) and with the design requirements of the Campbelltown (Sustainable City) DCP - Volumes 1 and 3 (as amended).

81. Demolition Work/Plan

All work shall be completed in accordance with the approved demolition work plan designed in accordance with clause 1.7.3 of Australian Standard A52601-2001 The Demolition of Structures.

82. Completion of Construction Works

Unless otherwise specified in this consent, all construction, demolition and site preparation works associated with the approved development shall be completed within 12 months of the date of the notice of the intention to commence construction works under *Section 81A of the Act*.

In the event that construction works are not continually ongoing, the applicant shall appropriately screen the construction site from public view with architectural devices and landscaping to Council's written satisfaction.

83. Specialist Tradespersons (Heritage Council of NSW)

All work to, or affecting, significant fabric shall be carried out by suitably qualified tradespersons with practical experience in conservation and restoration of similar heritage structures, materials and construction methods.

Reason: So that the construction, conservation and repair of significant fabric follows best heritage practice.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

The following conditions of consent must be complied with prior to the issue of an occupation certificate by the appointed Principal Certifier. All necessary information to comply with the following conditions of consent must be submitted with the application for an occupation certificate.

84. Section 73 Certificate

Prior to the appointed Principal Certifier issuing an occupation certificate, a Section 73 Compliance Certificate under the *Sydney Water Act 1994* must be obtained from Sydney Water Corporation. Early application for the certificate is suggested as this can also impact on other services and building, driveway or landscape design.

Application must be made through an authorised Water Servicing Coordinator.

For help either visit www.sydneywater.com.au > Building and developing > Developing your Land > Water Servicing Coordinator or telephone 13 20 92.

The Section 73 Certificate must be submitted to the appointed Principal Certifier prior to the issue of an occupation certificate.

85. Structural Engineering Certificate

Prior to the appointed Principal Certifier issuing an occupation certificate, the submission of a certificate from a practising structural engineer certifying that the building has been erected in compliance with the approved structural drawings, the relevant Standards Association of Australia Codes and is structurally adequate.

86. Completion of External Works Onsite

Prior to the principal certifying authority issuing an occupation certificate, all external works, repairs and renovations detailed in the schedule of treatment/finishes, landscaping, driveways, fencing and retaining walls to be completed to the satisfaction of the principal certifying authority.

87. Mechanical Ventilation

Prior to the principal certifying authority issuing an occupation certificate, the submission of a compliance certificate certifying that:

- Any mechanical ventilation exhaust system installed in the development has been installed in accordance with Australian Standard AS1668 Part 1 and 2.
- The exhaust hood and air conditioning system has been installed in accordance with Australian Standard AS1668 (Mechanical Ventilation and Air Conditioning Code), and Australian Standard AS1055 (Acoustics – Description and Measurement of Environmental Noise).

88. Final Inspection – Works as Executed Plans

Prior to the appointed principal certifying authority issuing an occupation/a subdivision certificate, the applicant shall submit to Council two complete sets of fully marked up and certified work as executed plans in accordance with Council's Specification for Construction of Subdivisional Road and Drainage Works (as amended) and with the design requirements detailed in the Campbelltown (Sustainable City) DCP Volume 3 (as amended).

The applicant shall **also** submit a copy of the Works as Executed information to Council in an electronic format in accordance with the following requirements:

Survey Information

- Finished ground and building floor levels together with building outlines.
- Spot levels every 5m within the site area.

- Where there is a change in finished ground levels that are greater than 0.3.m between adjacent points within the above mentioned 5m grid, intermediate levels will be required.
- A minimum of 15 site levels.
- If the floor level is uniform throughout, a single level is sufficient.
- Details of all stormwater infrastructure including pipe sizes and types as well as surface and invert levels of all existing and/or new pits/pipes associated with the development.
- All existing and/or new footpaths, kerb and guttering and road pavements to the centre line/s of the adjoining street/s.
- The surface levels of all other infrastructure.

Format

- MGA 94 (Map Grid of Australia 1994) Zone 56 - Coordinate System
- All level information to Australian Height Datum (AHD)

AutoCAD Option

- The "etransmit" (or similar) option in AutoCAD with the transmittal set-up to include as a minimum:

Package Type - zip
 File Format - AutoCAD 2004 Drawing Format or later
 Transmittal Options - Include fonts
 Include textures from materials
 Include files from data links
 Include photometric web files
 Bind external references
 The drawing is **not** to be password protected.
MapInfo Option

- Council will also accept either MapInfo Native format (i.e. .tab file) or MapInfo mid/mif.

All surveyed points will **also** be required to be submitted in a point format (x,y,z) in either an Excel table or a comma separated text file format.

89. Restoration of Public Roads

Prior to the appointed Principal Certifier issuing an occupation certificate, the restoration of public road and associated works required as a result of the development shall be carried out by Council and all costs shall be paid by the applicant.

90. Public Utilities

Prior to the appointed Principal Certifier issuing an occupation certificate, any adjustments to public utilities, required as a result of the development, shall be completed to the satisfaction of the relevant authority and at the applicant's expense.

91. Service Authorities

To ensure that an adequate level of services and infrastructure is provided to this development, prior to the appointed Principal Certifier issuing an Occupation Certificate the following is required:

- a. Energy supplier - A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development
- b. Telecommunications - Evidence demonstrating that satisfactory arrangements have been made with a telecommunications carrier to service the proposed development

- c. Gas supplier (if relevant)- Evidence demonstrating that satisfactory arrangements have been made with a gas supplier to service the proposed development; and
- d. Water supplier – A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

All construction work shall conform to the relevant authorities' specifications.

92. Regulated Systems (Cooling Tower/s)

In the event a regulated system/s is installed at the development site, the system/s must be constructed and notified to the Council as defined under the Public Health Act 2010 and Public Health Regulation 2012.

In the event a regulated system/s is installed, prior to the appointed principal certifier issuing an occupation certificate, the applicant shall make application and obtain approval from Council for registration of the cooling tower/s.

93. Implementation of Interpretation Plan (Heritage Council of NSW)

The approved interpretation plan must be implemented prior to the issue of an Occupation Certificate.

Reason: Interpretation is an important part of every proposal for works at heritage places.

94. Waste Management – Retail and Commercial Use

Prior to Council or an accredited certifier issuing a occupation certificate, the applicant shall submit to Council details of a licensed authorised waste contractor appointed to collect and dispose of internal waste generated by the retail and commercial premises.

95. Air Handling System

In the event that an air handling system is installed, prior to the appointed principal certifier issuing an occupation certificate, the applicant shall submit documentary evidence demonstrating that the air handling system has been designed by a qualified mechanical engineer in accordance with AS 1668 – Mechanical Ventilation and Air Conditioning Code, Parts 1 and 2.

96. Council Fees and Charges

Prior to the appointed Principal Certifier issuing an occupation certificate, the applicant shall obtain written confirmation from Council that all applicable Council fees and charges associated with the development have been paid in full. Written confirmation will be provided to the applicant following Council's final inspection and satisfactory clearance of the public area adjacent the site.

97. Acoustic Certification

Noise levels within the premises or at any receiver shall not exceed the relevant noise criteria detailed in the Acoustic DA Assessment – Commercial Development 263 Queen St Campbelltown by Acouras Consultancy dated 7 April 2022.

The recommendations provided in the above-mentioned acoustic report shall be implemented and incorporated into the design and construction of the development, and shall be shown on plans accompanying the Construction Certificate application.

A certificate is to be obtained from a qualified acoustic consultant certifying that the building has been constructed to meet the noise criteria in accordance with the acoustic report and the relevant

Australian Standards. This certificate is to be submitted to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

98. Compliance Certificate

All the works within the public area in relation to the development shall be completed as per the Council approved plans. A compliance certificate, approving the works, shall be obtained from Council prior to the appointed principal certifier issuing an occupation certificate.

99. Conservation and Maintenance Works (Heritage Council of NSW)

Conservation works set out in the Conservation Schedule of Works – Former CBC Bank – 263 Queen Street Campbelltown, (prepared by NBRS & Partners Pty Ltd, dated March 2017), must be completed prior to the issue of an Occupation Certificate. A completion report is to be prepared by the nominated heritage consultant to show that conservation works have been completed in accordance with this approval.

Reason: To ensure conservation works are undertaken in accordance with this approval.

100. Maintenance of façade

The facade of the development is to be maintained to a good standard, and a 88E positive covenant shall be registered on the title of the land obliging the owner of the land to comply with this obligation, and enabling the Council to conduct any work necessary to facilitate compliance if in the reasonable opinion of the Council the owner fails to do so.

101. Termination of strata plan

Prior to the issue of an occupation certificate, the existing strata plan covering the site shall be terminated, because its allotment boundaries are not compatible with the configuration of the approved development.

ADVISORY NOTES

The following information is provided for your assistance to ensure compliance with the Environmental Planning and Assessment Act 1979, Environmental Planning and Assessment Regulation 2000, other relevant Council Policy/s and other relevant requirements. This information does not form part of the conditions of development consent pursuant to Section 4.17 of the Act.

Advice 1. Environmental Planning and Assessment Act 1979 Requirements

The Environmental Planning and Assessment Act 1979 requires you to:

- a. Obtain a construction certificate prior to the commencement of any works. Enquiries regarding the issue of a construction certificate can be made to Council's Customer Service Centre on 4645 4608.
- b. Nominate a Principal Certifier and notify Council of that appointment prior to the commencement of any works.
- c. Give Council at least two days notice prior to the commencement of any works.
- d. Have mandatory inspections of nominated stages of the construction inspected.
- e. Obtain an occupation certificate before occupying any building or commencing the use of the land.

Advice 2. Tree Preservation Order

To ensure the maintenance and protection of the existing natural environment, you are not permitted to ringbark, cut down, top, lop, remove, wilfully injure or destroy a tree outside three metres of the building envelope unless you have obtained prior written consent from Council. Fines may be imposed if you choose to contravene Council's Tree Preservation Order.

A tree is defined as a perennial plant with self supporting stems that are more than three metres or has a trunk diameter more than 150mm measured one metre above ground level, and excludes any tree declared under the *NSW Biosecurity Act 2015* or included within the NSW Governments Greater Sydney Strategic Management Plan 2017-2022.

Advice 3. Provision of Equitable Access

Nothing in this consent is to be taken to imply that the development meets the requirements of the *Disability Discrimination Act 1992* (DDA1992) or *Disability (Access to Premises – Buildings) Standards 2010* (Premises Standards).

Where a Construction Certificate is required for the approved works, due regard is to be given to the requirements of the *Building Code of Australia* (BCA) & the Premises Standards. In this regard it is the sole responsibility of the certifier, building developer and building manager to ensure compliance with the Premises Standards.

Where no building works are proposed and a Construction Certificate is not required, it is the sole responsibility of the applicant and building owner to ensure compliance with the DDA1992.

Advice 4. Covenants

The land upon which the subject building is to be constructed may be affected by restrictive covenants. Council issues this approval without enquiry as to whether any restrictive covenant affecting the land would be breached by the construction of the building, the subject of this permit. Persons to whom this permit is issued rely on their own enquiries as to whether or not the building breaches any such covenant.

Advice 5. Tenancy Fit Out

A separate development application is required to be submitted for the fit out of individual tenancies.

Advice 6. Retaining Walls

A separate application for development consent shall be submitted and approved for any retaining walls that do not meet the exempt requirements of State Environmental Planning Policy (Exempt and Complying Development Codes)2008.

Consent must be received for the construction of any such retaining walls before work commences.

Advice 7. Inspections – Civil Works

Where Council is nominated as the principal certifying authority for civil works, the following stages of construction shall be inspected by Council.

- a. EROSION AND SEDIMENT CONTROL –
 - i. Direction/confirmation of required measures.
 - ii. After installation and prior to commencement of earthworks.
 - iii. As necessary until completion of work.
- b. STORMWATER PIPES – Laid, jointed and prior to backfill.
- c. VEHICLE CROSSINGS AND LAYBACKS – Prior to pouring concrete.

d FINAL INSPECTION – All outstanding work.

Advice 8. Inspection within Public Areas

All works within public areas are required to be inspected at all stages of construction and approved by Council prior to the principal certifying authority releasing the Occupation Certificate.

Advice 9. Asbestos Warning

Should asbestos or asbestos products be encountered during construction or demolition works you are advised to seek advice and information prior to disturbing the material. It is recommended that a contractor holding an asbestos-handling permit (issued by Work Cover NSW), be engaged to manage the proper disposal and handling of the material. Further information regarding the safe handling and removal of asbestos can be found at:

www.environment.nsw.gov.au
www.nsw.gov.au/fibro
www.adfa.org.au
www.workcover.nsw.gov.au

Alternatively, call Work Cover Asbestos and Demolition Team on 8260 5885.

Advice 10. Smoke Free Environment Act

Nothing in this consent is to be taken to imply that the development meets the requirements of the *Smoke Free Environment Act 2000* (SFEA2000) or the *Smoke Free Environment Regulations 2007* (SFER2007). In the event that the occupier wishes to facilitate smoking within any enclosed public place of the premises (in accordance with clause 6 of the SFER2007), the occupier must first contact NSW Department of Health to ensure that the design and construction of the area proposed to facilitate smoking fully complies with the requirements of the SFEA2000 and the SFER2007.

Advice 11. Dial before you Dig

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial before you dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial before you dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

Advice 12. Telecommunications Act 1997 (Commonwealth)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any persons interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution.

Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on phone number 1800 810 443.

Advice 13. Advice (Heritage Council of NSW)

Section 148 of the Heritage Act 1977 (the Act), allows people authorised by the Minister to enter and inspect, for the purposes of the Act, with respect to buildings, works, relics, moveable objects, places

or items that is or contains an item of environmental heritage. Reasonable notice must be given for the inspection.

Should any Aboriginal objects be uncovered by the work which is not covered by a valid Aboriginal Heritage Impact Permit, excavation or disturbance of the area is to stop immediately and Heritage NSW is to be informed in accordance with the National Parks and Wildlife Act 1974. Works affecting Aboriginal objects on the site must not continue until Heritage NSW has been informed and the appropriate approvals are in place. Aboriginal objects must be managed in accordance with the National Parks and Wildlife Act 1974.

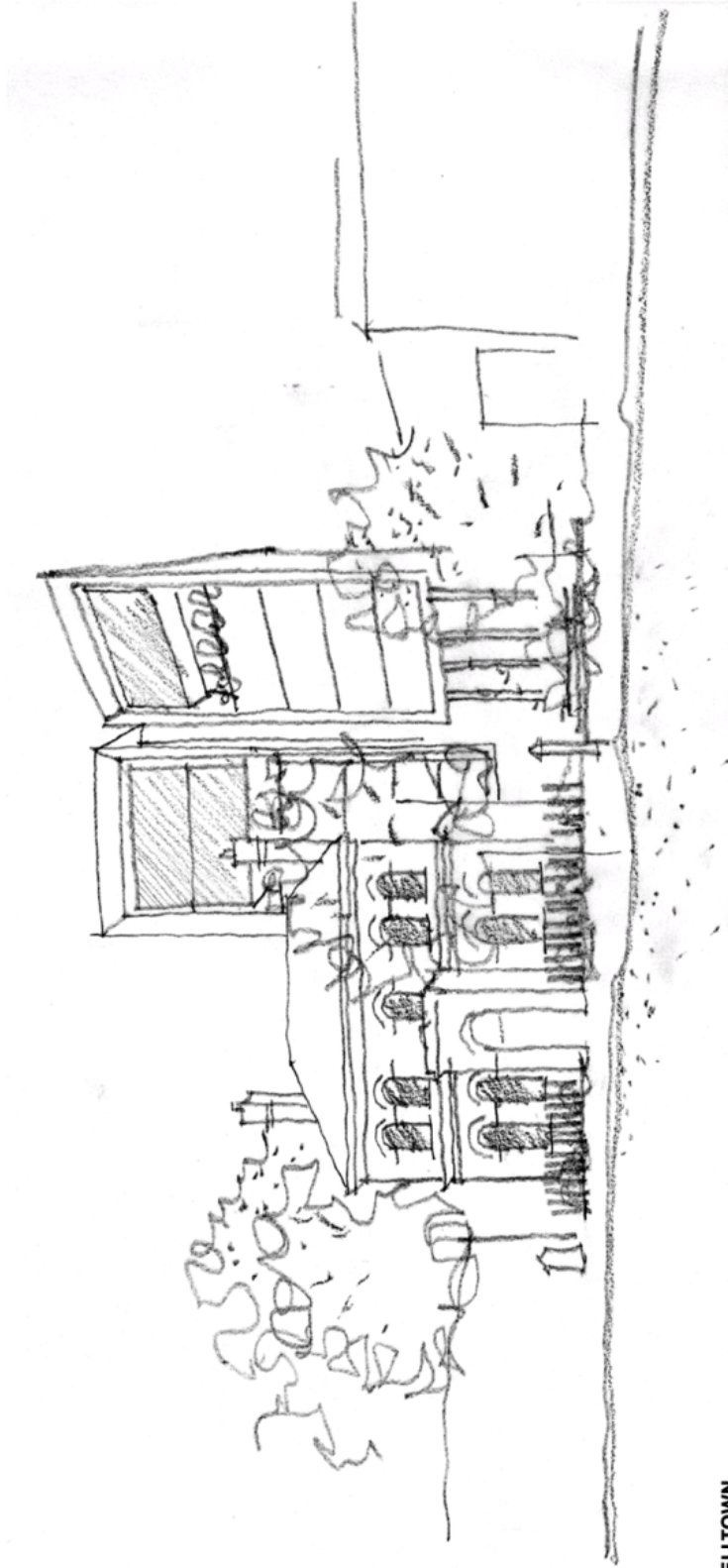
Reason: This is a standard condition to identify to the applicant how to proceed if Aboriginal objects are unexpectedly identified during works.

Advice 14. Right of Appeal (Heritage Council of NSW)

If you are dissatisfied with this determination, section 70A of the Act gives you the right of appeal to the Land and Environment Court.

END OF CONDITIONS

88 FRANKS, JAMES, LICENSED ARCHITECT, 1107 ST. LOUIS, MICHIGAN, ARCHITECT, RICHARD FRANKS, 3085 90 5201



263 QUEEN ST CAMPBELLTOWN
 DEVELOPMENT APPLICATION ARCHITECTURAL DRAWING SET

Drawing Number	Drawing Name	Revision ID	Drawing Number	Drawing Name
10_01	Cover Sheet	01	20_06	Level 6 Plan
12_01	Location Plan	01	20_07	Level 7 Plan
12_02	Site Plan	01	20_08	Level 8 Plan / Roof
12_04	Streetscape Analysis	01	20_B1	Basement 1 Plan
12_05	Demolition Plan	01	20_B2	Basement 2 Plan
20_00	Ground Floor Plan	01	30_01	South East Elevation
20_01	Level 1 Plan	01	30_02	South West Elevation
20_02	Level 2 Plan	01	30_03	North West Elevation
20_03	Level 3 Plan	01	30_04	North East Elevation
20_04	Level 4 Plan	01	40_01	Section 01
20_05	Level 5 Plan	01	40_02	Section 02

Revision ID	Drawing Number	Drawing Name
01	20_06	Level 6 Plan
01	20_07	Level 7 Plan
01	20_08	Level 8 Plan / Roof
01	20_B1	Basement 1 Plan
01	20_B2	Basement 2 Plan
01	30_01	South East Elevation
01	30_02	South West Elevation
01	30_03	North West Elevation
01	30_04	North East Elevation
01	40_01	Section 01
01	40_02	Section 02

Revision ID	Drawing Number	Drawing Name
01	20_06	Level 6 Plan
01	20_07	Level 7 Plan
01	20_08	Level 8 Plan / Roof
01	20_B1	Basement 1 Plan
01	20_B2	Basement 2 Plan
01	30_01	South East Elevation
01	30_02	South West Elevation
01	30_03	North West Elevation
01	30_04	North East Elevation
01	40_01	Section 01
01	40_02	Section 02

Revision ID	Drawing Number	Drawing Name
01	20_06	Level 6 Plan
01	20_07	Level 7 Plan
01	20_08	Level 8 Plan / Roof
01	20_B1	Basement 1 Plan
01	20_B2	Basement 2 Plan
01	30_01	South East Elevation
01	30_02	South West Elevation
01	30_03	North West Elevation
01	30_04	North East Elevation
01	40_01	Section 01
01	40_02	Section 02

Development Summary	Revision ID
Site Area	01
Total GFA	01
Commercial GFA	01
Retail GFA	01
Total Car Spaces	01
Total Bicycle Spaces	01
Total Visitor Bicycle Spaces	01

2,130 sqm	22 (1 Accessible)
5,988 sqm	48
5,913 sqm	6
75 sqm	

For Approval

DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2590	Cover Sheet General	Scale No Scale @ A3	Code GR2503	Sheet 10_01	Rev 01
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architecture / interiors / urban / landscape / place Level 5, 70 King Street Sydney 2000 t +61 2 9251 7077 w fjmtstudio.com

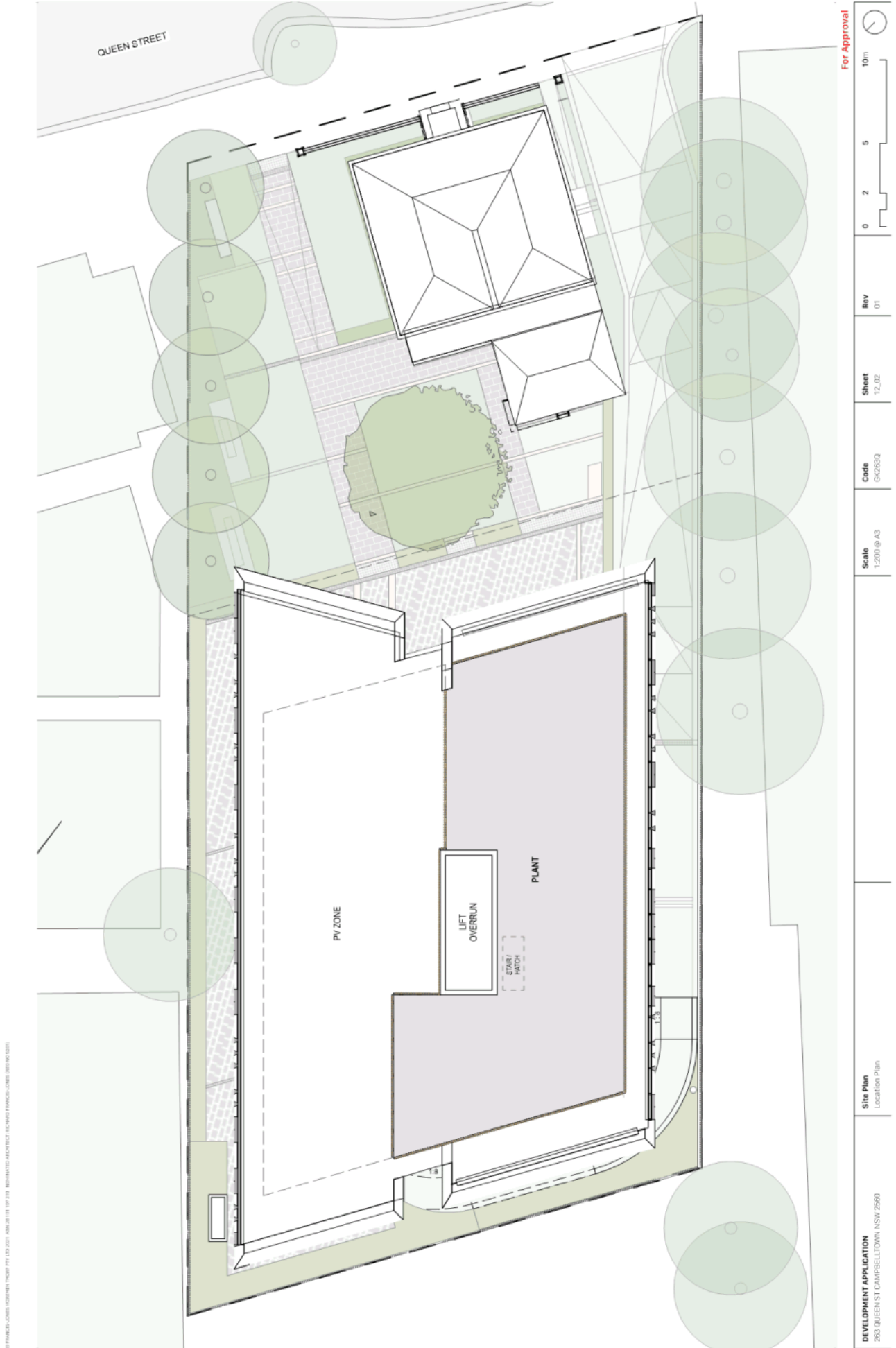


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DEVELOPMENT APPLICATION 7853 QUEEN ST CAMPBELLTOWN NSW 2560	Location Plan Location Plan	Scale 1:1250 @ A3	Code DC-5303	Sheet 12_01	Rev 01	50m 0 10 20 50m	For Approval
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architecture / interiors / urban / landscape / place Level 5, 70 King Street, Sydney 2000 t +61 2 9255 7077 w fjmstudio.com



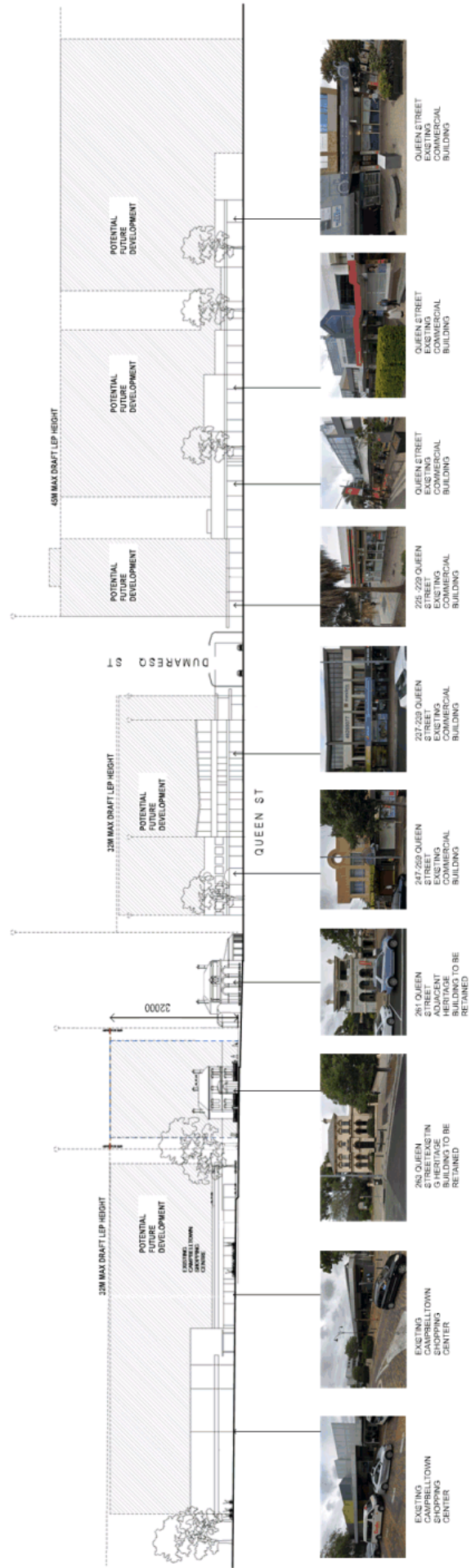


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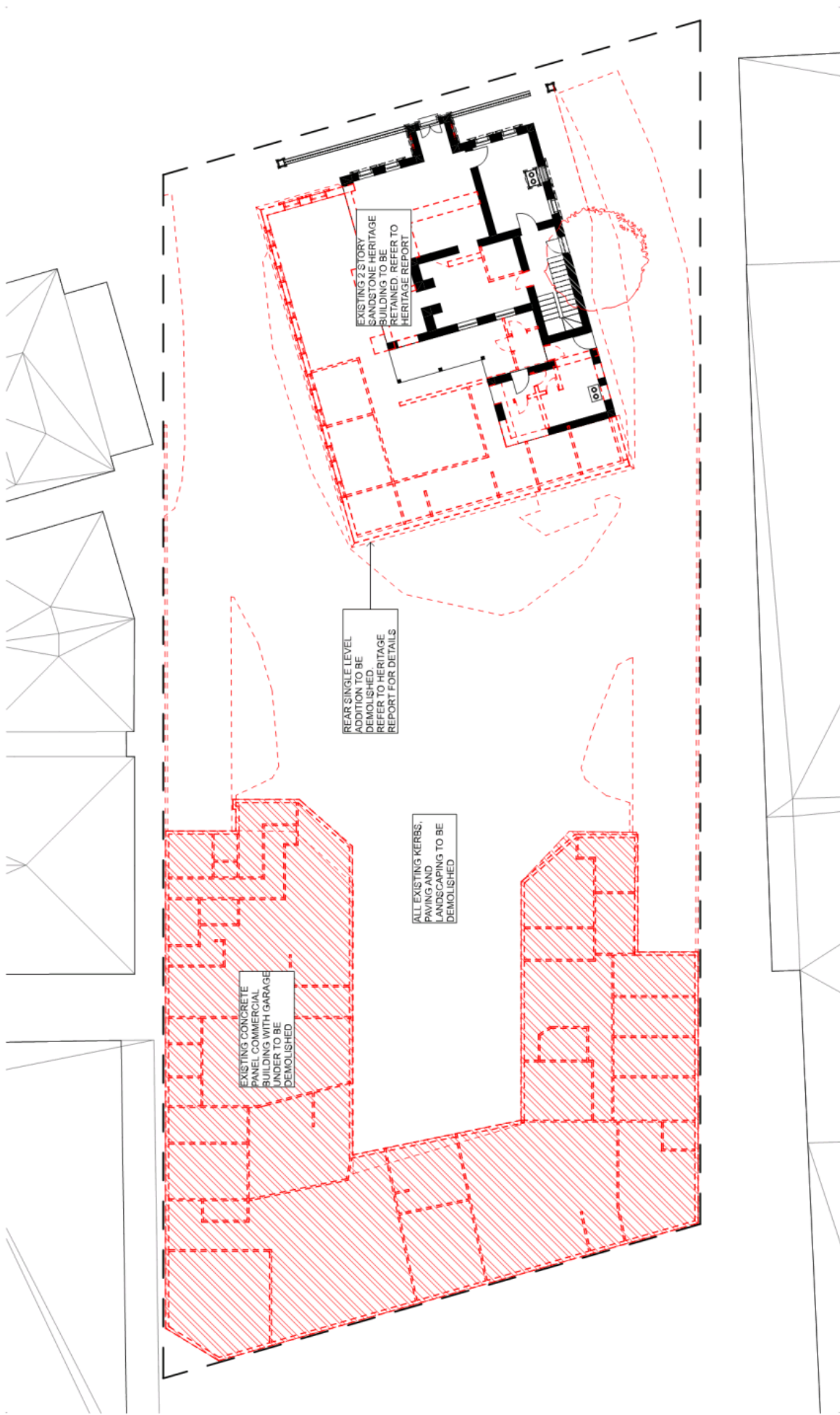


DEVELOPMENT APPLICATION		Streetscape Analysis		Code		Scale		Sheet		Rev		For Approval	
263 QUEEN ST CAMPBELLTOWN NSW 2590		Location Plan		G42530		No Scale @ A3		12_04		01		<input type="radio"/>	

architecture / interiors / urban / landscape / place Level 5, 70 King Street Sydney 2000 t +61 2 9251 7077 w ffmtstudio.com



88 FRANKS, JONES, LUTHERNAN, NICKSON PTY LTD 20231, AND 2021111, 1307 2119, INDIVIDUALLY ARCHITECTS, RICHARD FRANCIS, 20821, 3003, 3002, 302011

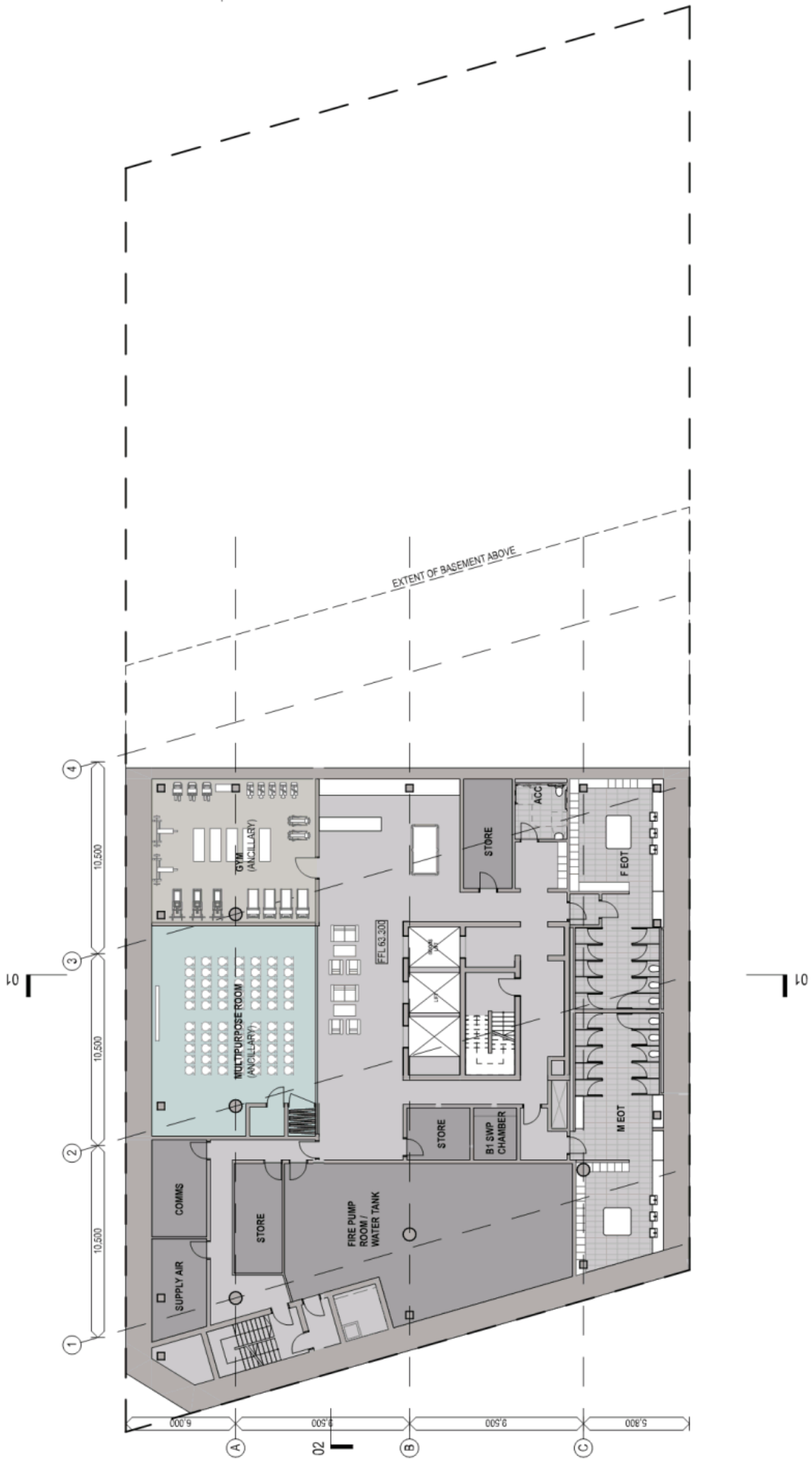


For Approval

DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Demolition Plan Location Plan	Sheet 12_05	Rev 01	Scale 1:200 @ A3	Code G42530
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architecture / interiors / urban / landscape / place Level 5, 70 King Street Sydney 2000 t +61 2 9251 7077 w fjmstudio.com



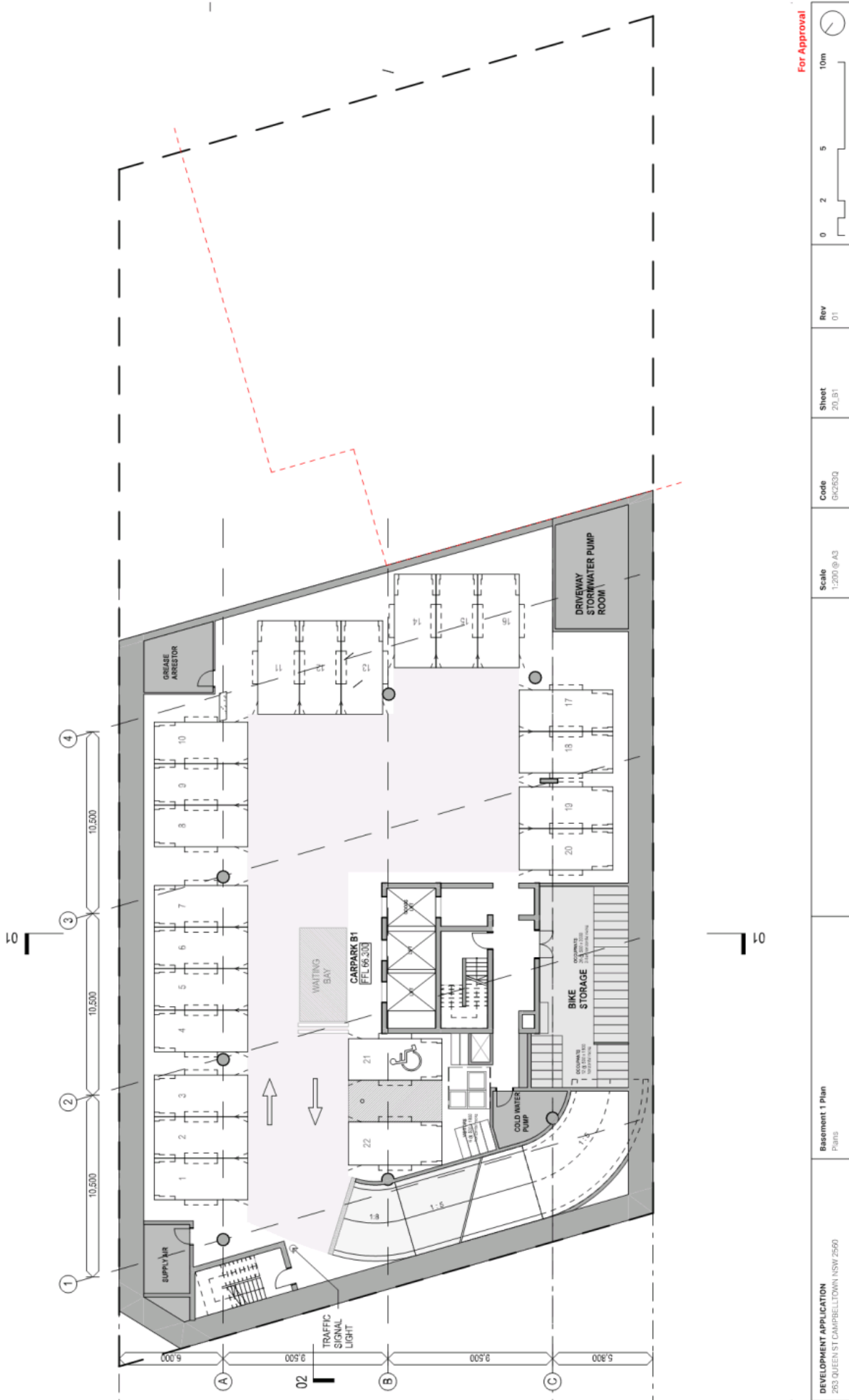


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For Approval		0	2	5	10m
Rev	01				
Sheet	20_B2				
Code	GM2530				
Scale	1:200 @ A3				
Basement 2 Plan					
Plans					
DEVELOPMENT APPLICATION	263 QUEEN ST CAMPBELLTOWN NSW 2560				

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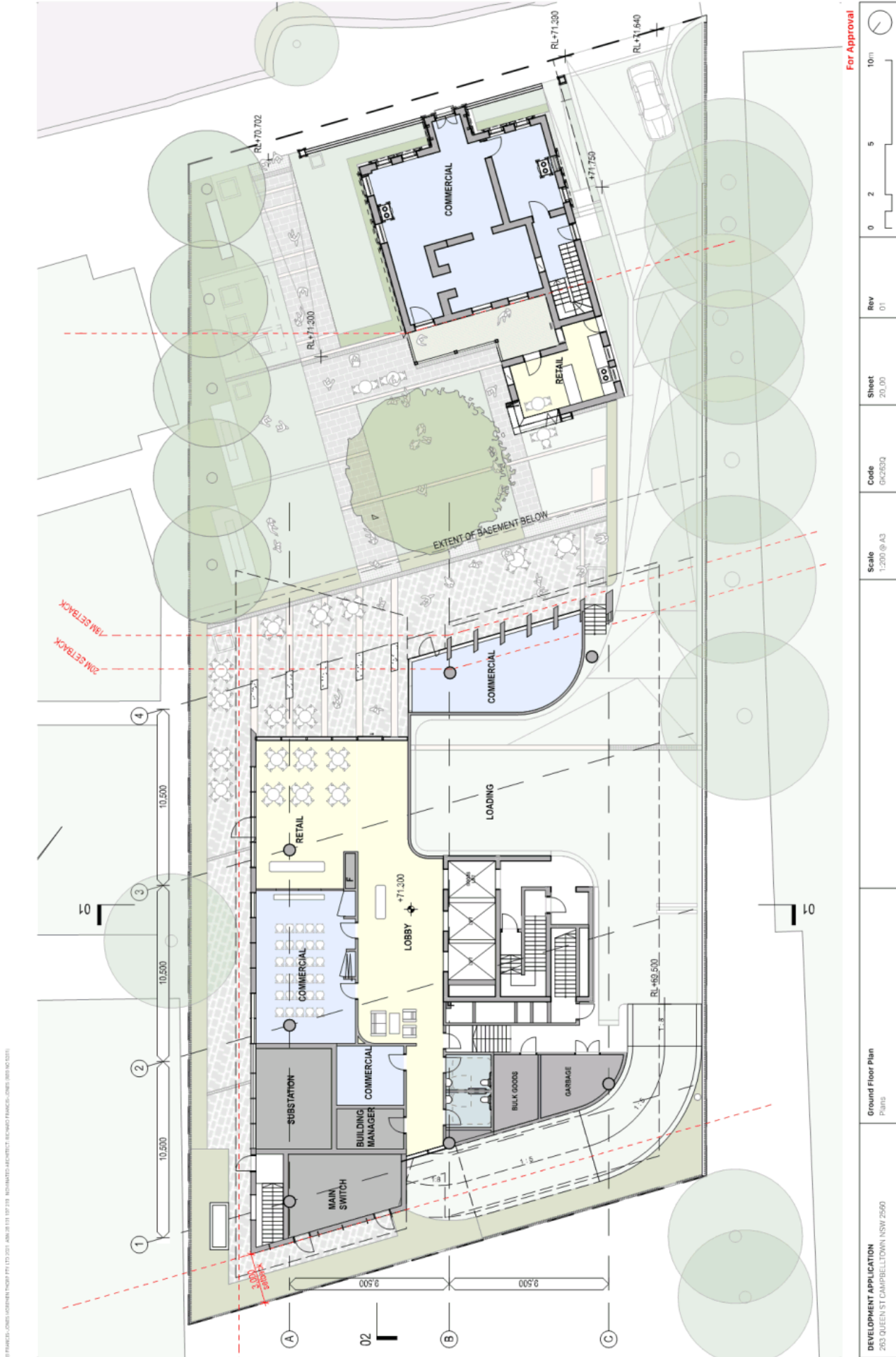


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DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560		Basement 1 Plan Plans		Scale 1:200 @ A3	Code G42530	Sheet 20_B1	Rev 01	0 2 5 10m	For Approval
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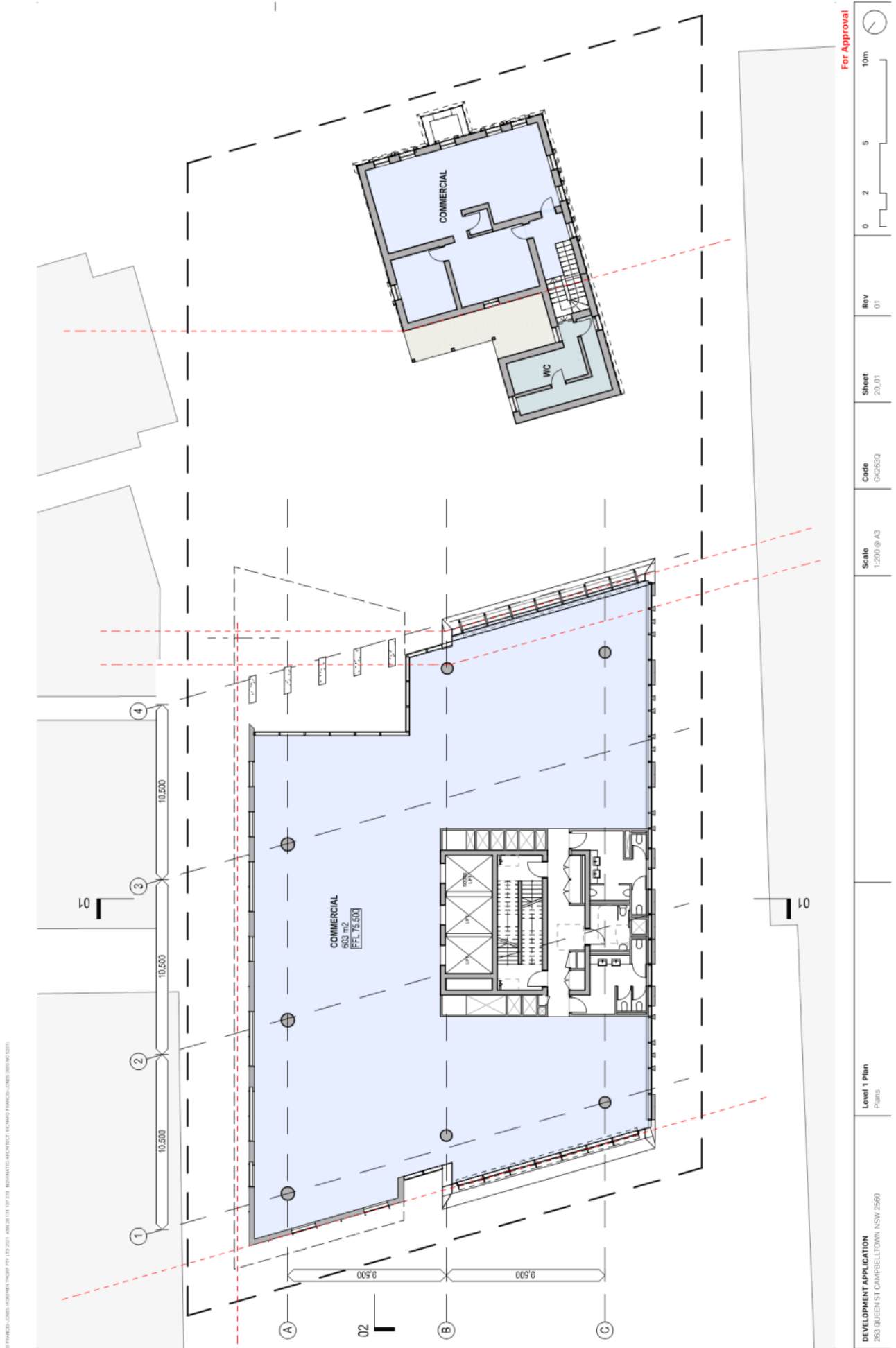
For Approval

Scale	1:200 @ A3	Code	G42533	Sheet	20.00	Rev	01	0	2	5	10m
Ground Floor Plan											

DEVELOPMENT APPLICATION
263 QUEEN ST CAMPBELLTOWN NSW 2560

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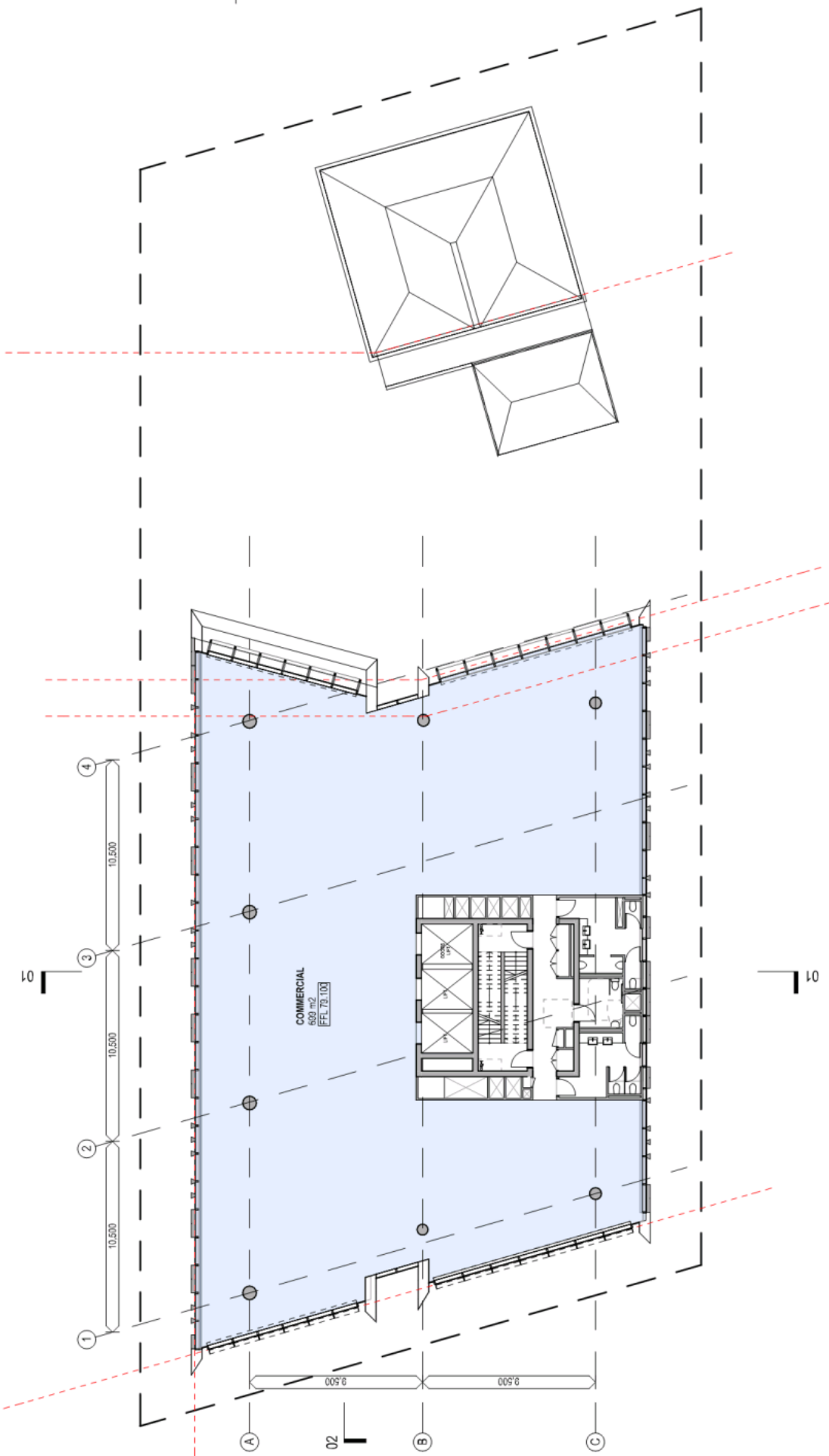
88 FRANCES JONES LODGEMAN NUMBER 1771 (17) 20217 AND 281 (11) 107 2108 INDIVIDUALLY ARCHITECTS ARCHITECT FRANCES JONES (805) 80 52018

For Approval		0	2	5	10m
Scale	1:200 @ A3	Code	G42533	Sheet	20_01
Rev	01	Code	G42533	Rev	01
Level 1 Plan	Plans	Scale	1:200 @ A3	Code	G42533
DEVELOPMENT APPLICATION	263 QUEEN ST CAMPBELLTOWN NSW 2560	Scale	1:200 @ A3	Code	G42533

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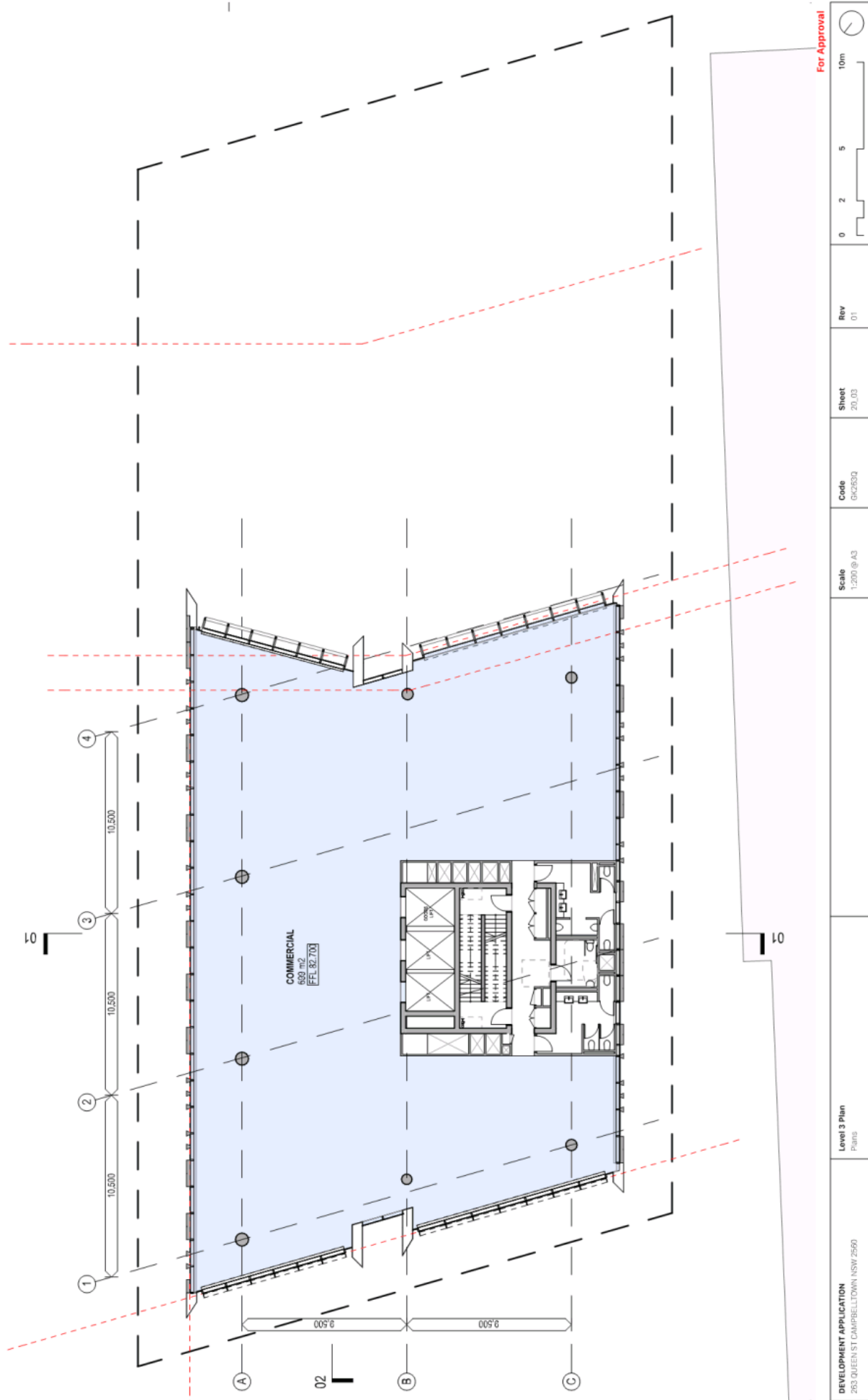
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DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Level 2 Plan Plans	Scale 1:200 @ A3	Code G42533	Sheet 20_02	Rev 01	10m 0 2 5	For Approval

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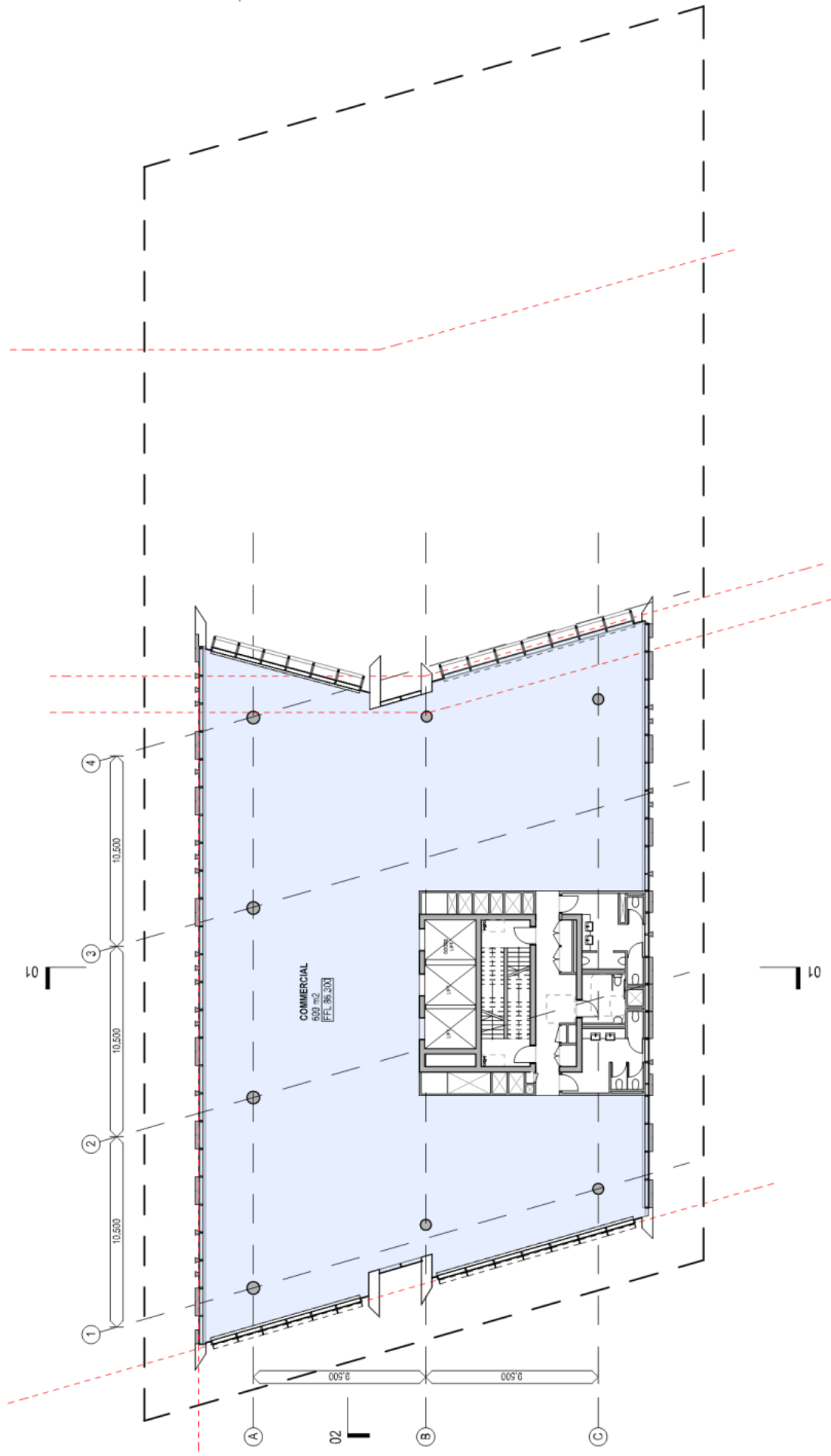




DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Level 3 Plan Plans	Scale 1:200 @ A3	Code G42533	Sheet 20_03	Rev 01	0 2 5 10m	For Approval
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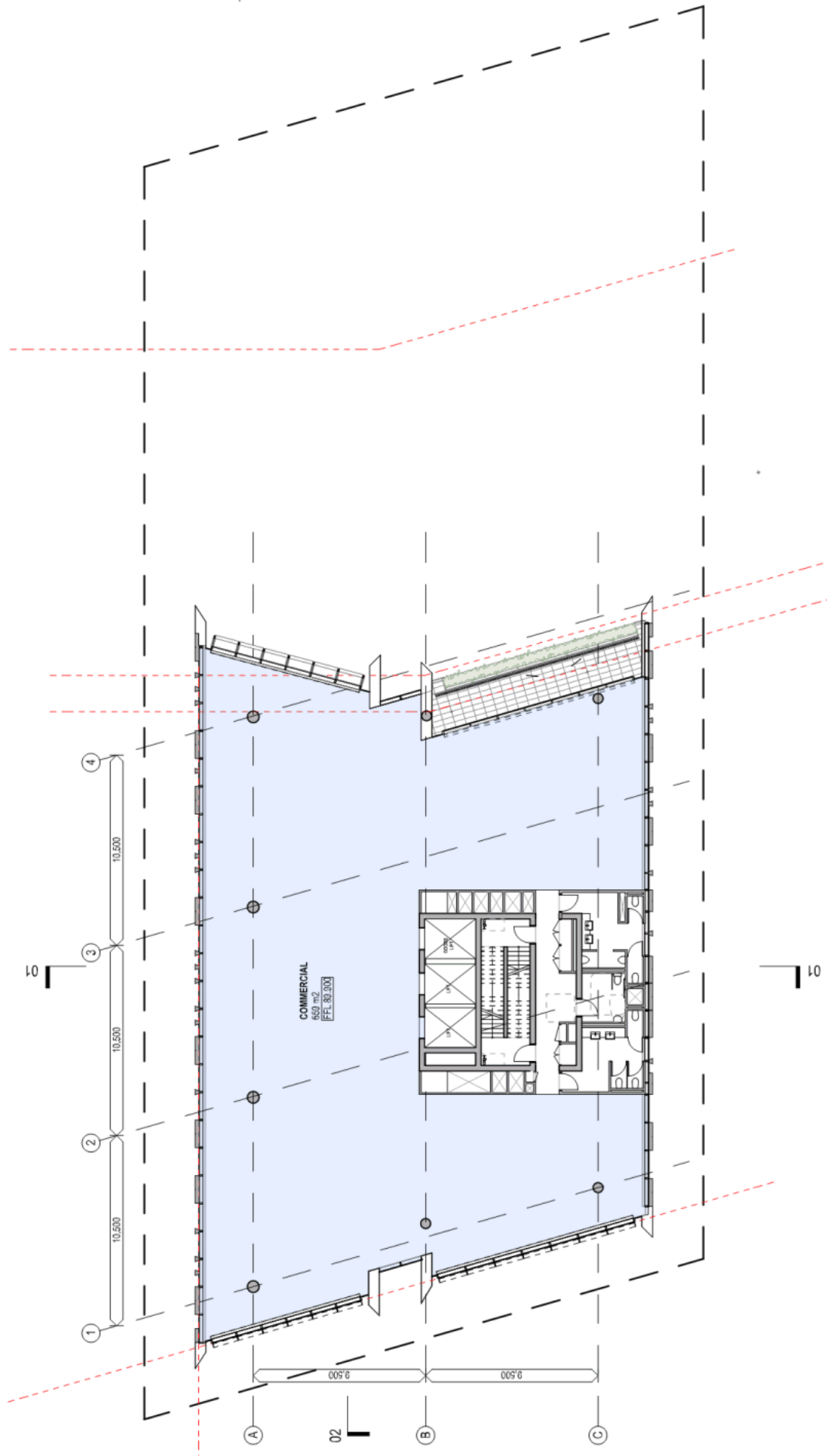
88 FRANCES JONES ARCHITECTS PTY LTD 2023. AND 201 131 137 219. INDICATED ARCHITECT. RICHARD FRANCIS JONES 9051 90 52051

For Approval		10m	
0	2	5	10
Sheet	20_04	Rev	01
Code	GM2533	Scale	1:200 @ A3
Level 4 Plan		Plats	
DEVELOPMENT APPLICATION		263 QUEEN ST CAMPBELLTOWN NSW 2560	

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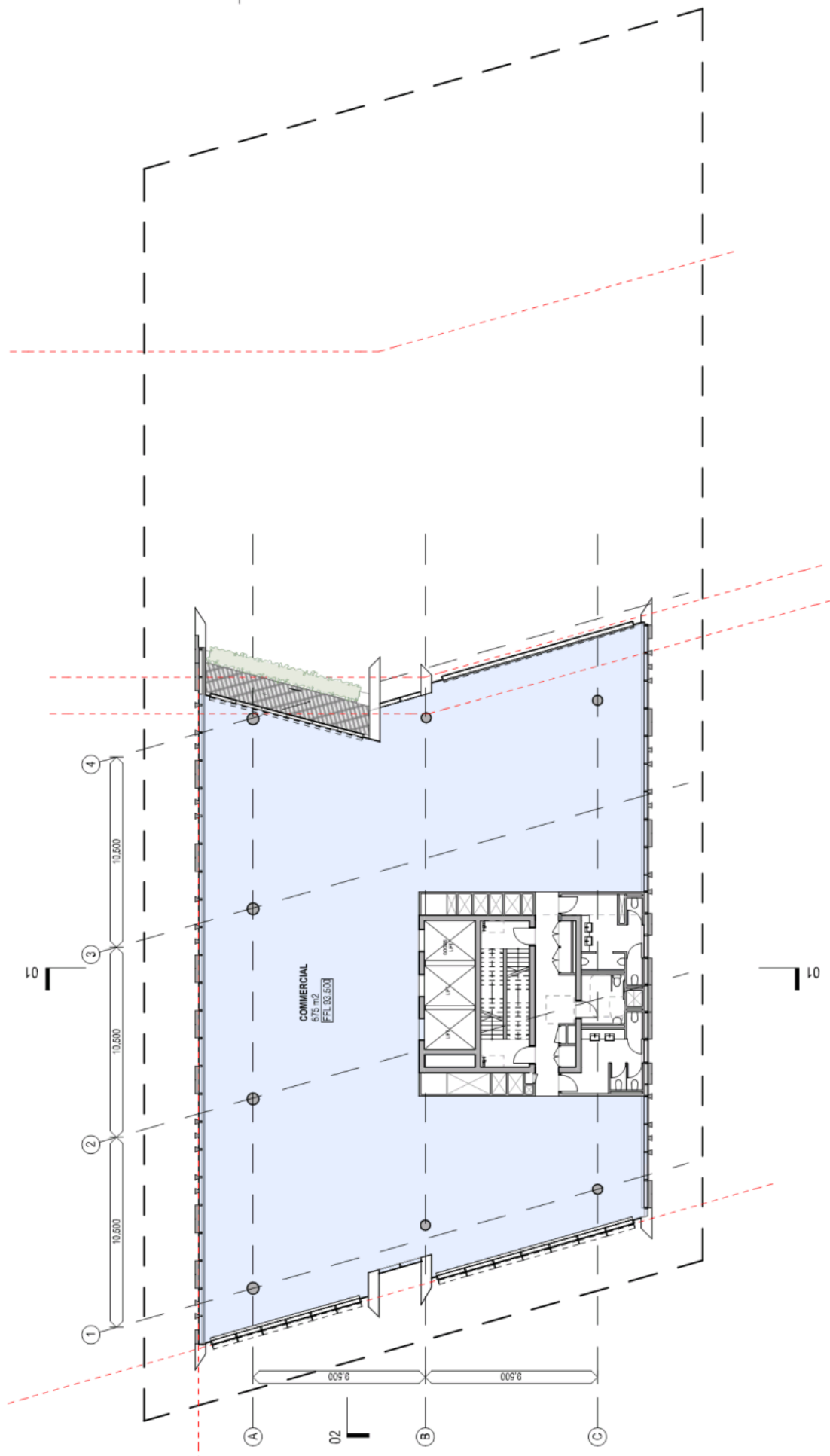
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<p>DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560</p>	<p>Level 5 Plan Plans</p>	<p>Scale 1:200 @ A3</p>	<p>Code G42530</p>	<p>Sheet 20_05</p>	<p>Rev 01</p>	<p>For Approval</p>
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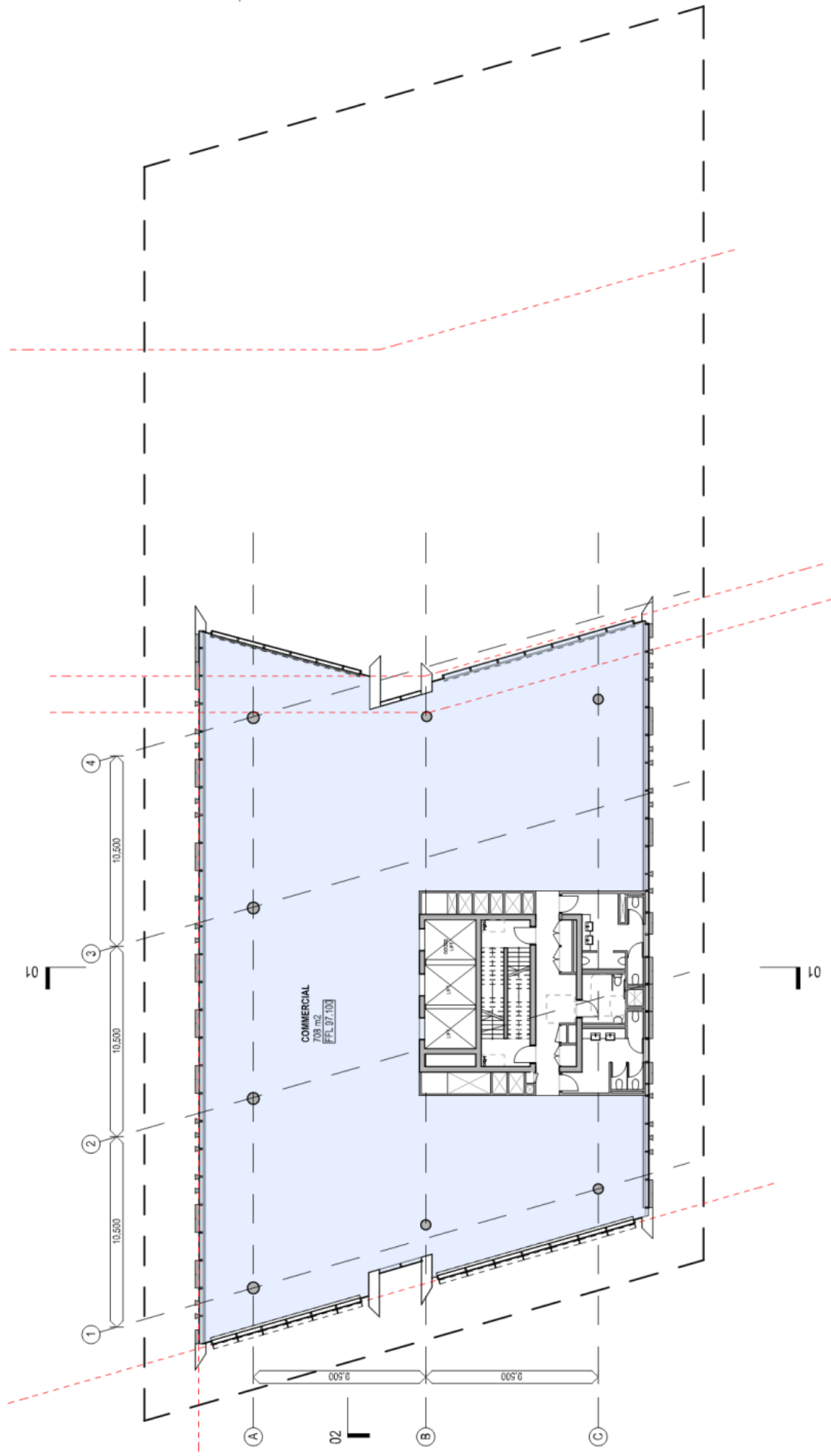
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For Approval		0	2	5	10m
Rev	01				
Sheet	20_06				
Code	GM2530				
Scale	1:200 @ A3				
Level 6 Plan	Plans				
DEVELOPMENT APPLICATION	263 QUEEN ST CAMPBELLTOWN NSW 2560				

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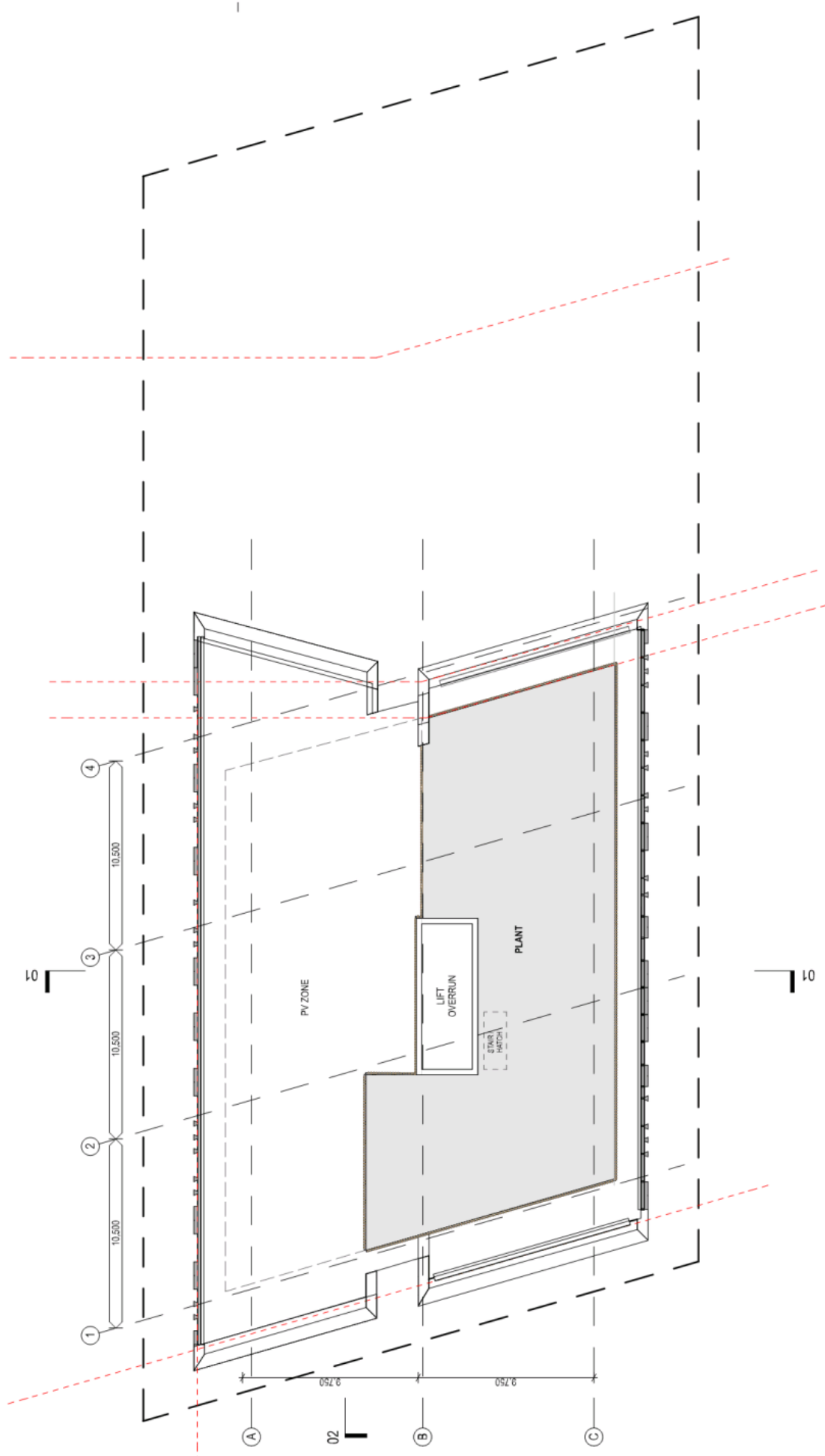
88 FRANKS, JAMES; LUTHERNAN, NICHOL; PITT, LEO; 2021; AND 2021 131 137 219. INDICATED ARCHITECT, RICHARD FRANCIS; 2021; 102 102011



DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Level 7 Plan Plans	Scale 1:200 @ A3	Code G42533	Sheet 20_07	Rev 01	0 2 5 10m	For Approval
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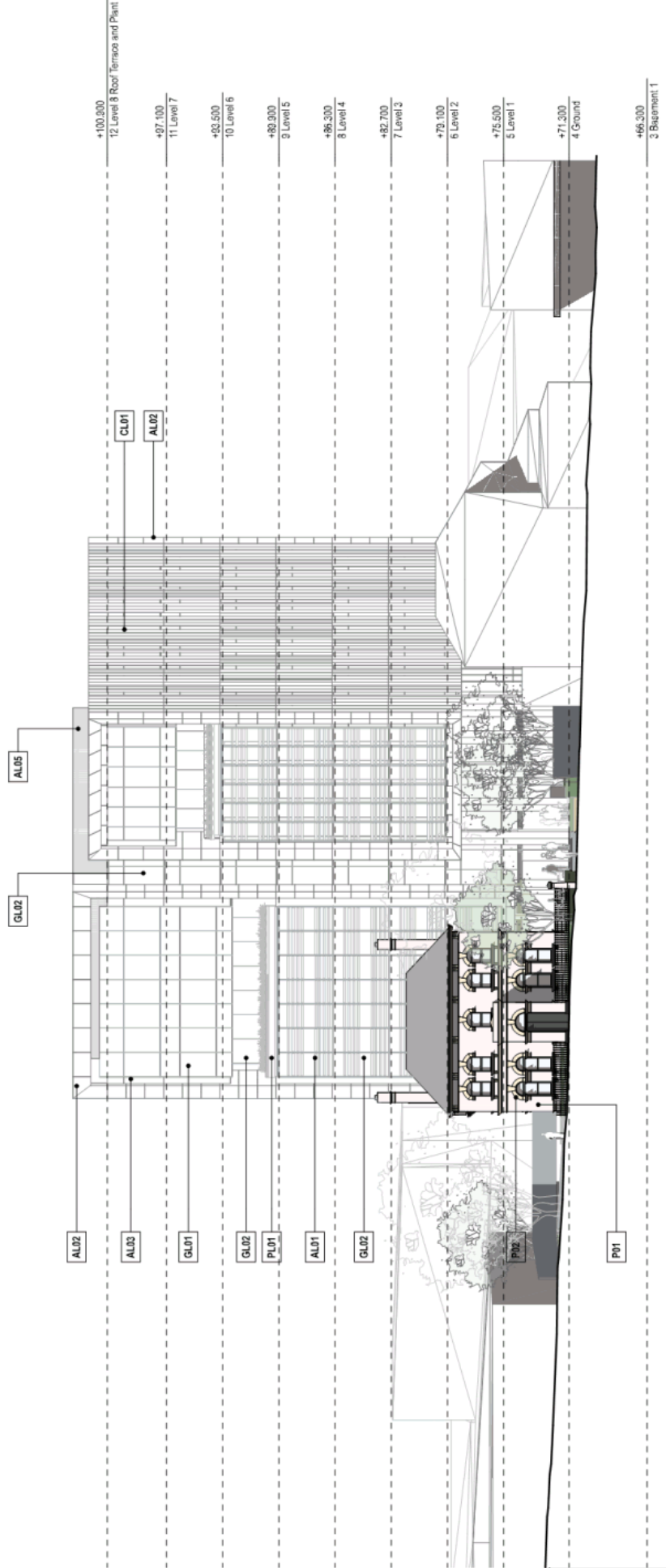
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DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Level 5 Plan / Roof Plans	Scale 1:200 @ A3	Code GK2533	Sheet 20_08	Rev 01	0 2 5 10m	For Approval

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- AL01 Aluminium frame windows - white powder coat
- AL02 Architectural Aluminium Cladding
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For Approval

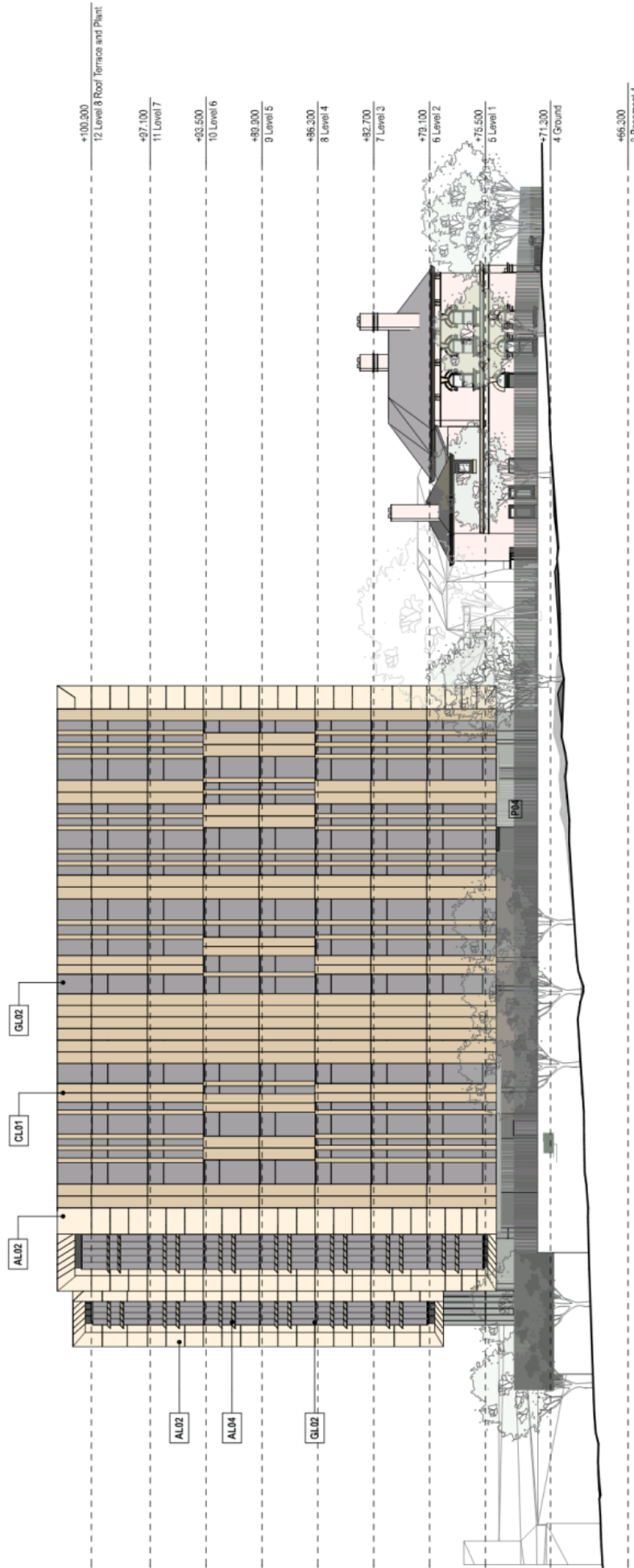
DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2590	South East Elevation Elevations	Scale 1:250 @ A3	Code G42533	Sheet 30_01	Rev 01	10m 5 2.5 0
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- AL01 Apartment level elevations - north facade
- AL02 Apartment level elevations - south facade
- AL03 Apartment level elevations - east facade
- AL04 Apartment level elevations - west facade
- AL05 Apartment level elevations - north facade
- AL06 Apartment level elevations - south facade
- AL07 Apartment level elevations - east facade
- AL08 Apartment level elevations - west facade
- CL01 Commercial level elevations - north facade
- CL02 Commercial level elevations - south facade
- GL01 Ground level elevations - north facade
- GL02 Ground level elevations - south facade
- PL01 Plant level elevations - north facade
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- PL03 Plant level elevations - east facade
- PL04 Plant level elevations - west facade
- RT01 Roof level elevations - north facade
- RT02 Roof level elevations - south facade
- RT03 Roof level elevations - east facade
- RT04 Roof level elevations - west facade



For Approval

Scale 1:250 @ A3	Sheet 30.02	Rev 01	Code G42533	Scale 0 2.5 5 10m	Rev 01	Sheet 30.02	Code G42533	Scale 0 2.5 5 10m
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South West Elevation Elevations

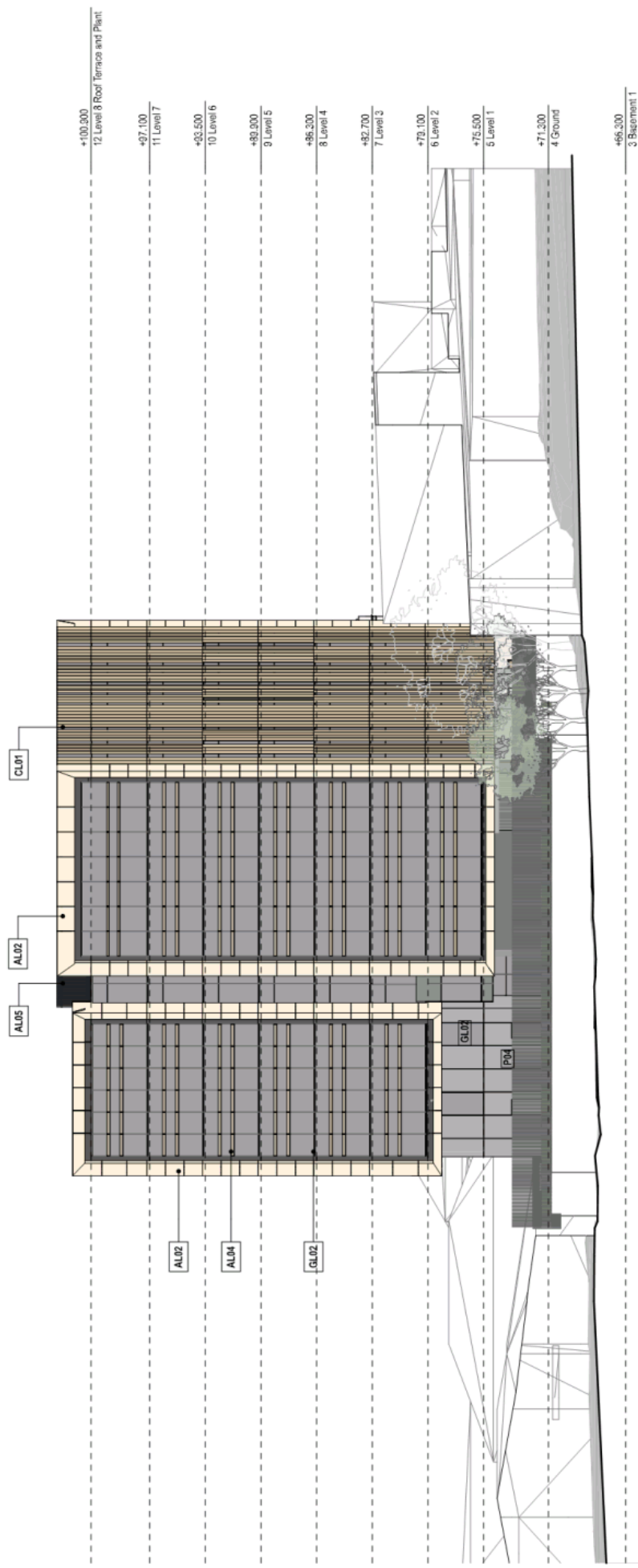
DEVELOPMENT APPLICATION
263 QUEEN ST CAMPBELLTOWN NSW 2560



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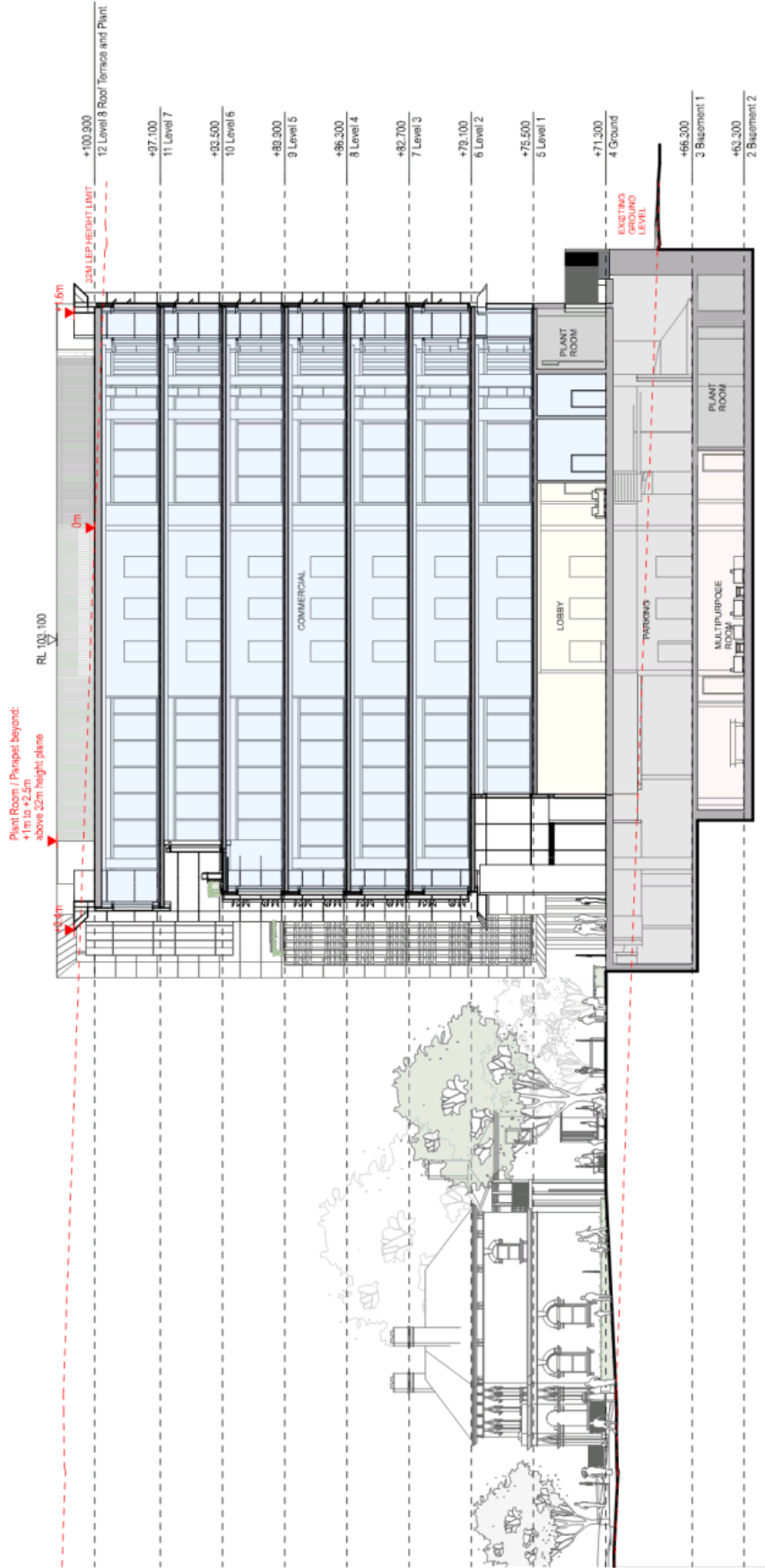
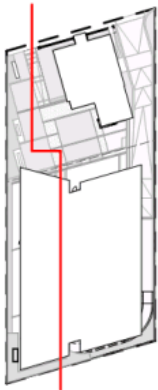
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For Approval

	Rev 01	Sheet 30.03	Code G42533	Scale 1:250 @ A3	North West Elevation Elevations	10m 0 2.5 5
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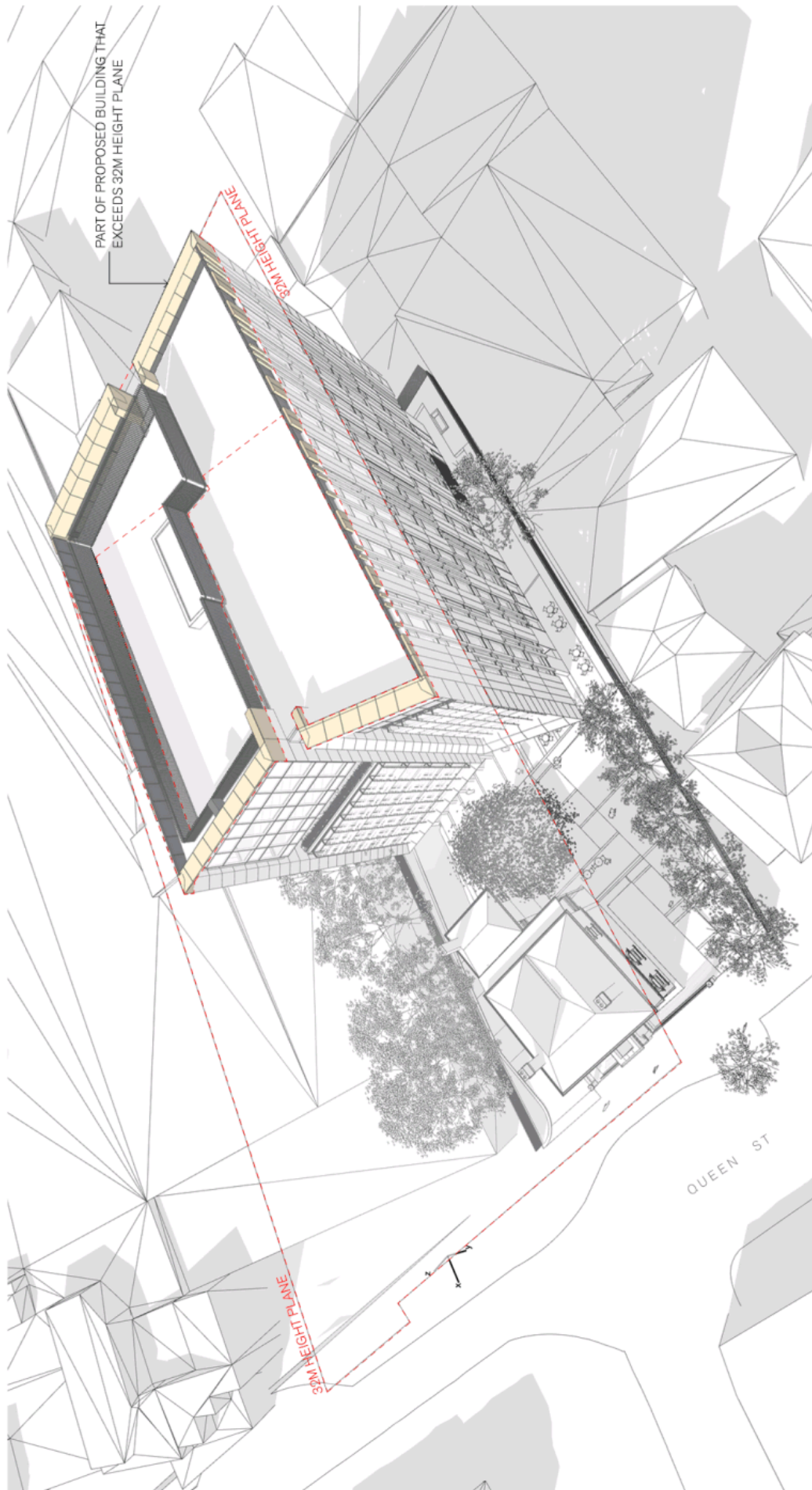
For Approval

DEVELOPMENT APPLICATION 263 QUEEN ST CAMPBELLTOWN NSW 2560	Section 02 Clause 4.5 Variation Request	Scale 1:250 @ A3	Code GIC533	Sheet 02	Rev 01	0 2.5 5 10m
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Height Plane Diagram

DEVELOPMENT APPLICATION
263 QUEEN ST CAMPBELLTOWN NSW 2560

Height Plane Diagram
Clause 4.5 Variation Request

Scale
No Scale @ A3

Code
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For Approval



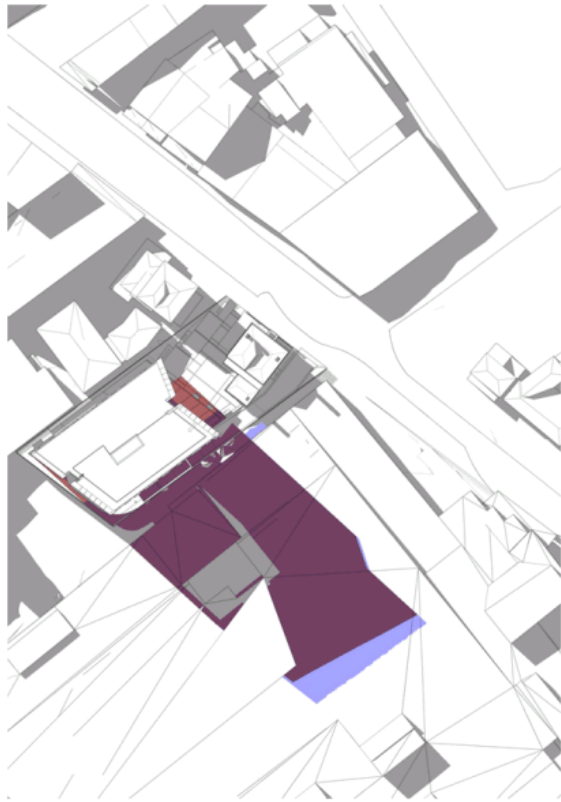
architecture / interiors / urban / landscape / place Level 5, 70 King Street Sydney 2000 t +61 2 9251 7077 w fjmstudio.com



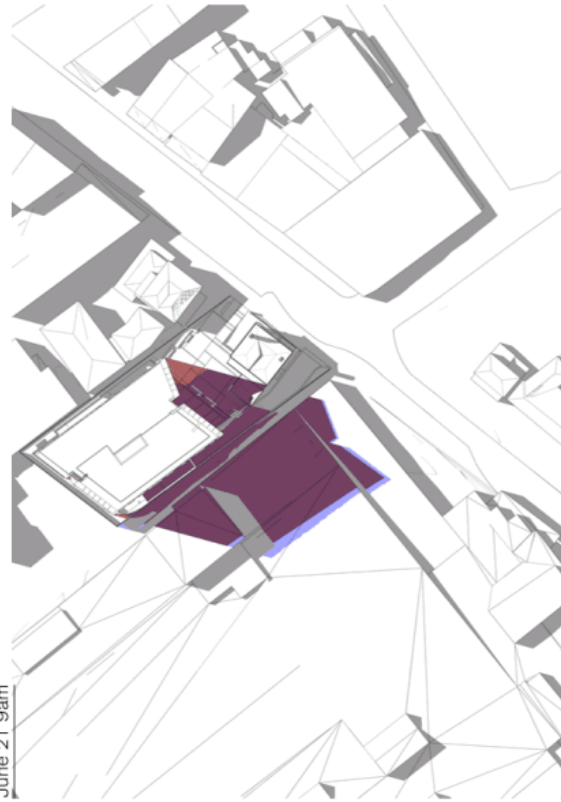
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The following shadow analysis compares the shadow cast by the proposed massing with a compliant massing extruded 32m from the existing ground level during mid winter. The difference between the two is highlighted in light purple.

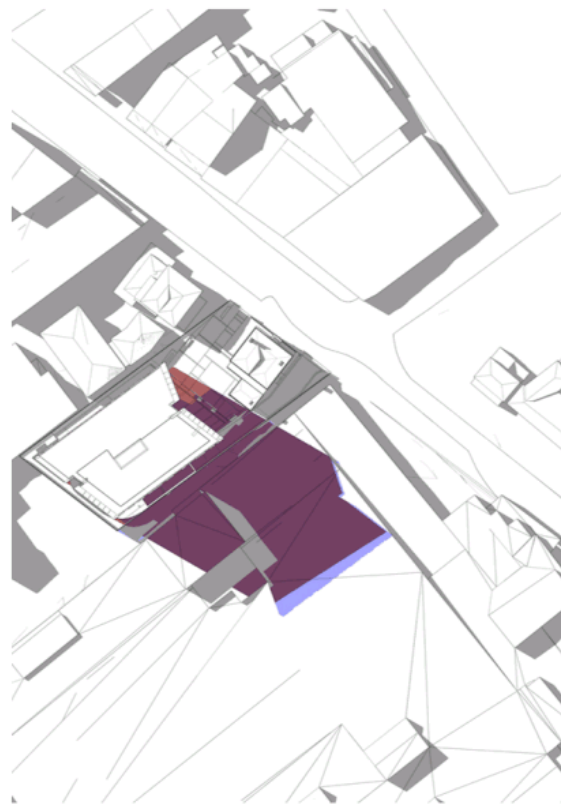
The analysis illustrates that the additional shadow impact from the proposed massing is negligible, with no overshadowing to public open space and the heritage buildings on Queen St.



June 21 9am



June 21 11am



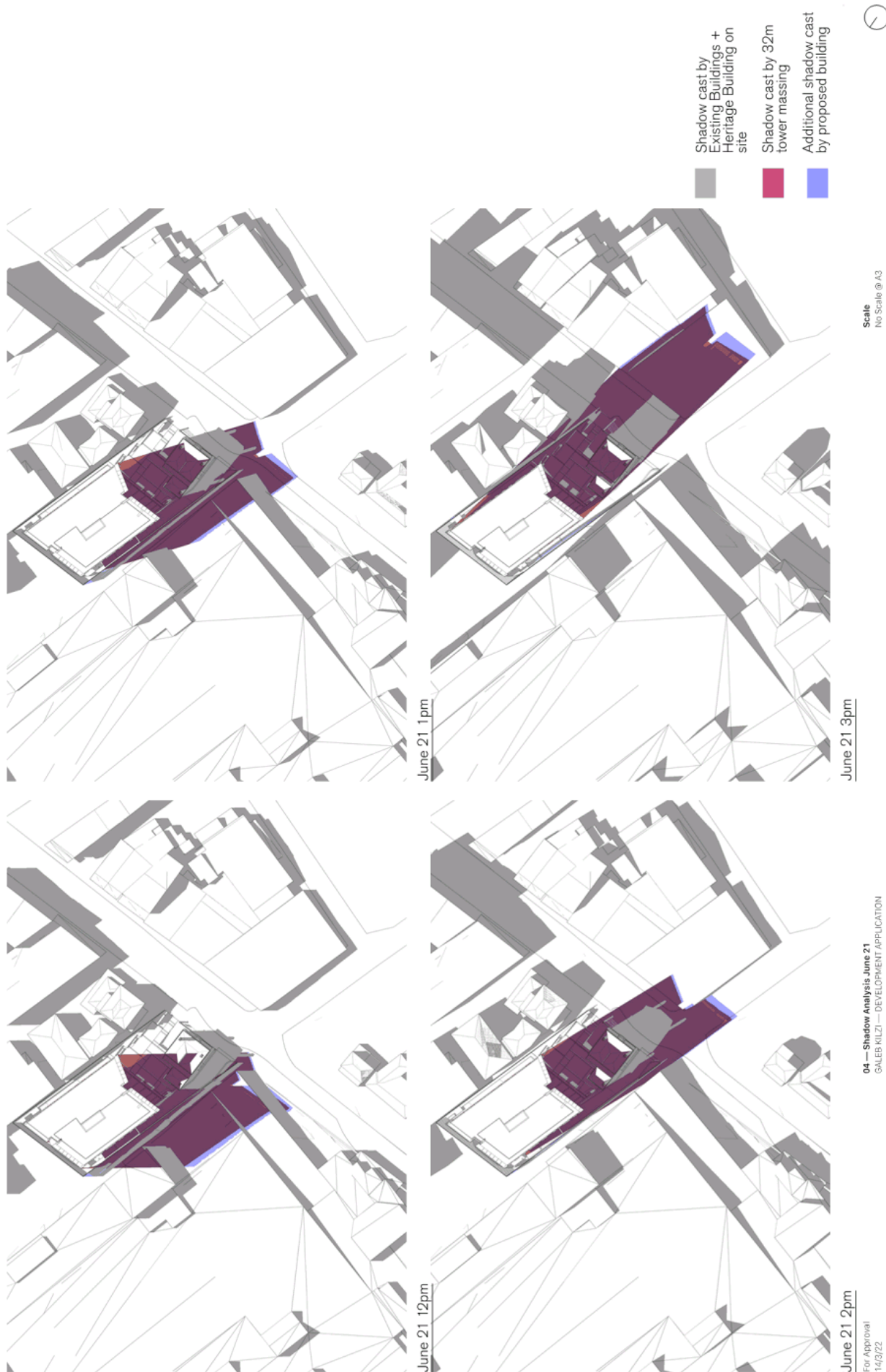
June 21 10am

For Approval
14/3/22

03 — Shadow Analysis June 21
GALEB KILZI — DEVELOPMENT APPLICATION

Scale
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263 Queen Street, Campbelltown

Development Application - Landscape Architecture

Drawing No	Drawing title	Scale
LA00	Cover sheet & Design statement	nts@a1
LA01	Regional context	nts@a1
LA02	Queen Street Context - Heritage	nts@a1
LA03	Queen Street Context - Public domain	nts@a1
LA04	Design Principles of Proposed Courtyard	nts@a1
LA05	Ground floor - Masterplan	1:200@a1
LA06	Planting plan	1:200@a1
LA07	Site Plan - Finishes	1:100@a1
LA08	Ground Floor - Section A	1:100@a1
LA09	Ground Floor - Section B	1:200@a1
LA10	Tree removal and retention plan	1:200@a1
LA11	Terrace planting - Level 5 & 6	1:200@a1

Design statement

The design of the external spaces within the site aims to both restore and enhance the heritage garden setting with the retention of the CBC Bank Building and former building entry year entrance building ground.

The heritage setting of the CBC Bank will be retained through the reinforcement of the site's historic scale and geometry. The foot paths and street entrance of the site will be reinforced through increased awareness, signage and visual connection with the former adjacent 100 and Queen Street Building Group. This will be achieved through the retention of the existing heritage setting through a series of landscape interventions that establish a visual transition from the existing accessible through to the proposed building.

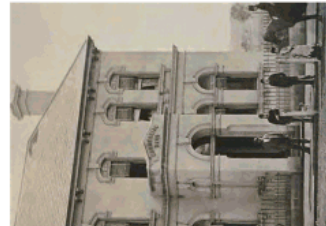
The site will engage both the heritage and landscape context with a series of interventions that restore the site's historic character. The proposed interventions will be designed to enhance the site's historic character and provide a series of landscape interventions that restore the site's historic character and provide a series of landscape interventions that restore the site's historic character.

Public domain works will be introduced through maintaining the proposed greenways within the site with multiple turf and lawn planting zones that will create the space that create a visible public amenity and highlighted activation of the streetscape.

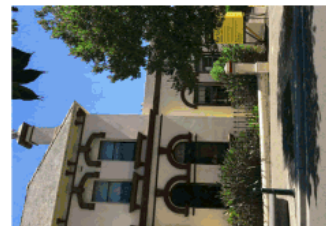
We write in response to the P/LCA held on 6 July 2021. As noted below:

NEW-HERITAGE APPROVALS COMMITTEE - 4 JULY 2021 MEETING RESOLUTION CBC BANK (SPR 02493) - 263 QUEEN STREET, CAMPBELLTOWN.

- 40) Which of these consider including significant heritage items such as the Queen Street Building Group.
- Response:
- Further analysis of the former Queen Street context has been undertaken by the Queen Street Building Group highlighting the historical significance of Queen Street as a major thoroughfare and the Queen Street Building Group's contribution to the streetscape. This analysis has informed the development of vegetation species and material selections that enhance the Campbelltown region's landscape character.
- 41) The relationship of the landscape with the water setting.
- Response:
- The site's relationship with the water setting has been explored further with additional regional context analysis illustrating Campbelltown's unique geographic location in a broad valley forming a key part in Campbelltown's pastoral heritage. This analysis has informed the development of vegetation species and material selections that enhance the Campbelltown region's landscape character.
- 42) Incorporating more indigenous species and evergreen trees in the landscape design.
- Response:
- Selection of the vegetation species has been carefully considered in line with the ESD Strategy. To support the ecological viability of the Campbelltown City Council region, and the urban design setting and heritage values of the place, in response to the ESD Strategy that highlights the conditions of the Campbelltown region in warmer months, the proposed tree species have been selected to provide extensive shaded planting spaces that will be largely protected from direct sunlight by extensive canopy coverage once mature, while mitigating the urban heat island effect. The integration of native tree species will reduce vegetation maintenance requirements and provide a series of landscape interventions that restore the site's historic character and provide a series of landscape interventions that restore the site's historic character.
- 43) Centrally locating the mature tree within the courtyard using the new and heritage building.
- Response:
- The mature tree 'Lindochrysa' has been centrally located on turf within the public courtyard space, mirroring the scale of the proposed and existing enclosure as well as enhancing public amenity encouraging visitors to sit beneath the tree during peak usage. The tree is located in deep soil of a further elevation to support growth to a fully mature size.
- 44) Further site activation including provision for food, beverage, community, and cultural amenities.
- Response:
- The location of the site has been developed through multiple enclosed areas for community activities, including a new space to the rear of the CBC Bank building with BBQ facilities, outdoor seating elements and opportunities for public heritage interpretations that celebrate Campbelltown's heritage. The arrangement and materiality of the proposed works creates a lively and welcoming setting, providing diverse and functional spaces that are accessible to all.



CBC Bank c. 1934, showing the building's original character with Campbelltown's pastoral landscape in the background



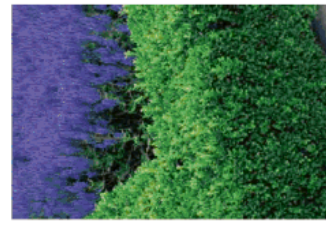
CBC Bank c. 2017, showing existing landscape treatment to the building's facade



Proposed feature tree character



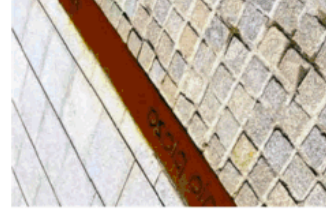
Proposed feature tree character



Proposed hedge style planting to heritage courtyard to reinforce the site's distinct colonial character



Proposed furniture/planting character with vegetation to envelope garden seating areas



Proposed paving character

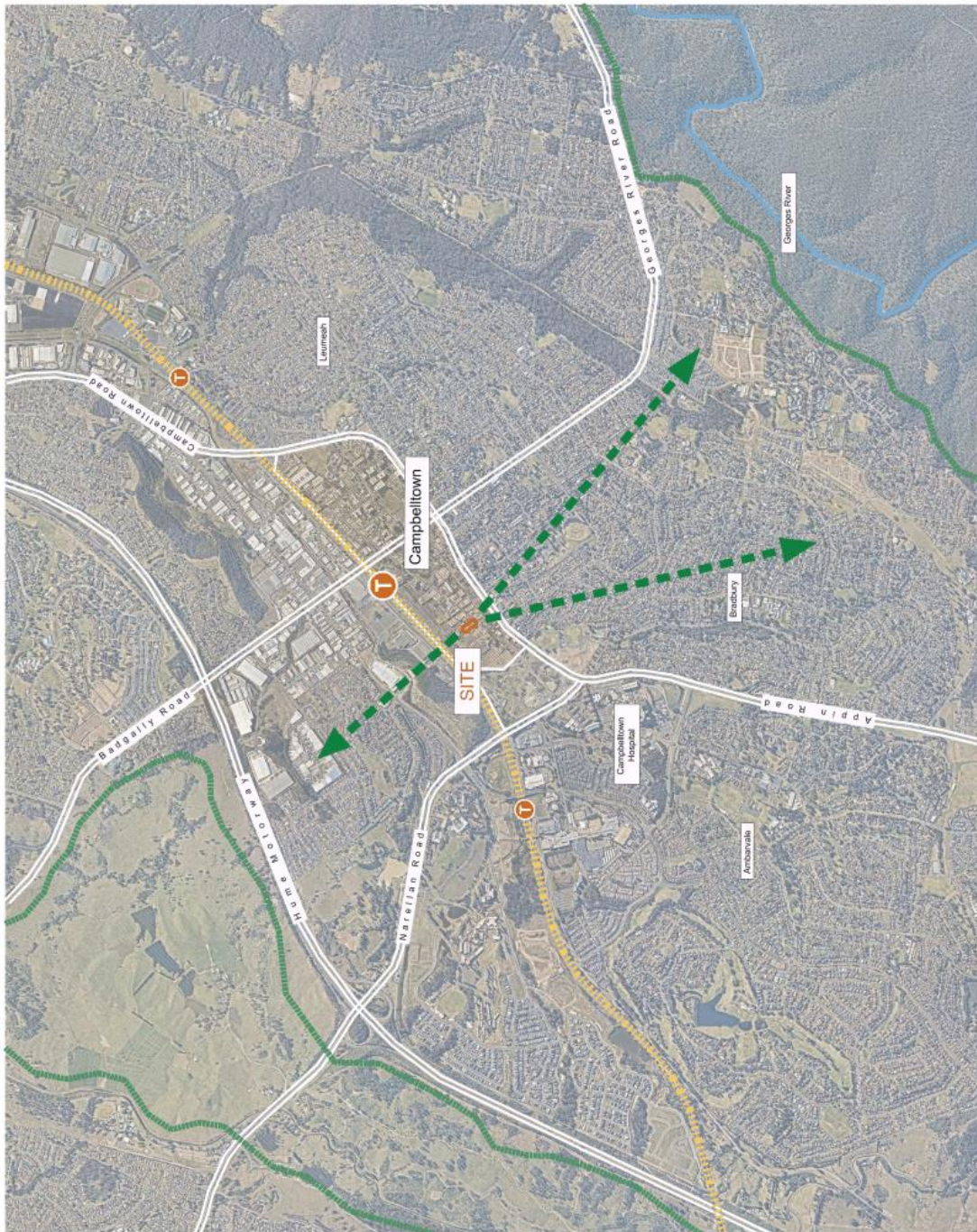
Project: 263 Queen Street, Campbelltown
 client: Gabe Nitz
 date: 13.10.2021
 prepared: MR
 drawn: MR
 checked: AL

TaylorBrammer
 TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
 100 South Street, Campbelltown, SA 5173
 Phone: 08 8532 1111
 Email: info@taylorbrammer.com.au

Regional description

Campbelltown is located in a broad valley in Sydney's South-Western suburbs. The surrounding hills to the west and north-west offer a dramatic backdrop of scenic hills and offer views to the West and North West. The site is located in the East of the River regional open space corridor.

Due to Campbelltown's unique geographical location with the local topography defined by rolling foothills, the growing town's urban areas can be clearly located. The site sits within the heart of the flourishing Campbelltown CBD, forming an important part of the original main street of Campbelltown.



Legend

- Site location
- Railway
- Arterial roads
- Hills
- District views
- River
- Campbelltown City Centre
- Campbelltown Cultural Precinct

Project: 200 Queen Street, Campbelltown
 date: 13.10.2021
 revision: ...
 drawn: ME
 checked: PL

TaylorBrammer
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 15/160 STATION
 Campbelltown, NSW 2571
 Australia
 Phone: +61 (0)2 5021 1000
 Fax: +61 (0)2 5021 1001
 Email: info@taylorbrammer.com.au

Regional Context





CBC Bank, circa 1934 showing minimal soft landscape maintaining visual dominance to streetscape of built form. Note small tree to right hand side of image.



Campbelltown Post Office located to the north of site showing small tree planting between the two sites.



Source: Nearmaps 27.07.21

Legend

- Site Location
- Heritage Listed Buildings (as defined by the State Heritage Register - 2 April, 1999)
- Queen Street Buildings Group - 284-296 Queen St. (as defined by the State Heritage Register - 2 April, 1999)
- 244 Street number
- Existing native tree
- Existing exotic tree
- Council Paving - Brick
- Council Paving - Pebbles/concrete

Queen Street Context - Heritage



Project: 283 Queen Street, Campbelltown
 client: Gabe Kitz
 date: 15.10.2021
 revision: 2
 drawn: AL
 checked: AL

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 e: taylor@taylorbrammer.com.au
 www.taylorbrammer.com.au



Streetview 2021 showing change in public domain materiality of pebblescrete (to site) changing to brick unit paving to Queen Street Buildings Heritage Group in background.



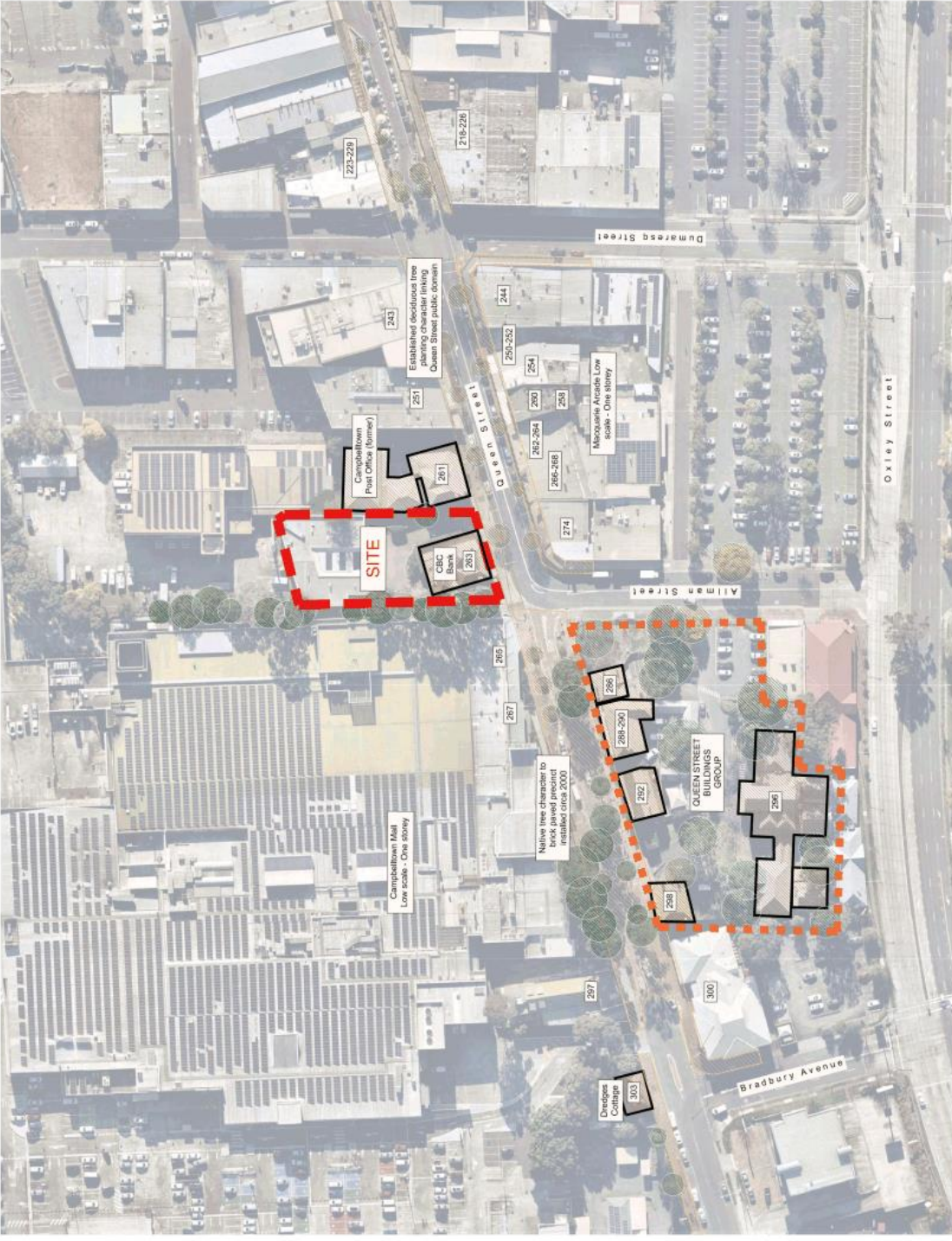
Streetview 2021 of 223-229 Queen Street showing pebblescrete coloured public domain materiality and cultural planting character for public domain.



Streetview 2021 showing termination of brick paving to the left of the old CBC bank with native trees creating boundary between the heritage property and low scale retail building.

Legend

- Site Location
- Heritage Listed Buildings (as defined by the State Heritage Register - 2 April, 1999)
- Queen Street Buildings Group - 284-296 Queen St. (as defined by the State Heritage Register - 2 April, 1999)
- Street number
- Existing native tree
- Existing exotic tree
- Council Paving - Brick
- Council Paving - Pebblescrete/concrete

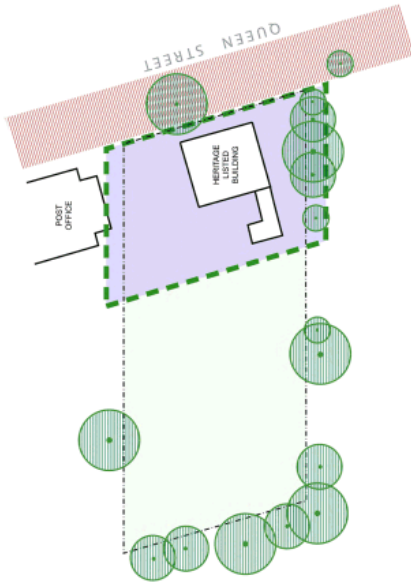


Source: Nearmaps 27.07.21

Queen Street Context - Public Domain

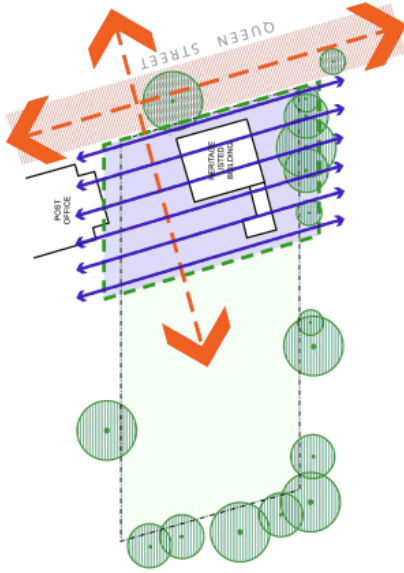


Project: 283 Queen Street, Campbellton
 client: Gabe McE
 date: 13.10.2021
 version: 2
 drawn: AL
 checked: AL



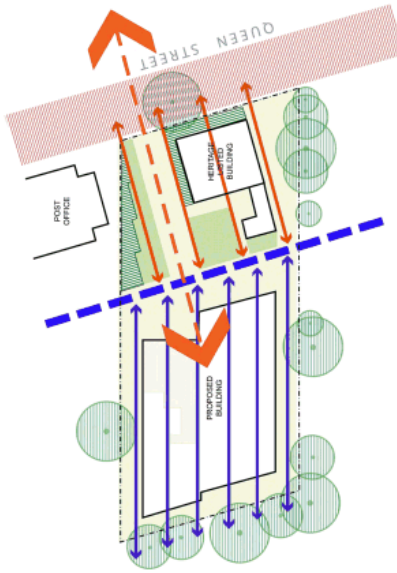
1. Restore heritage garden setting

- Retain significant CBC Bank building, including the entry porch, former attached double storey rear amenities outbuilding, upper level rear verandah and existing metal palisade fence
- Demolish 1990s addition to improve building clarity and curtilage



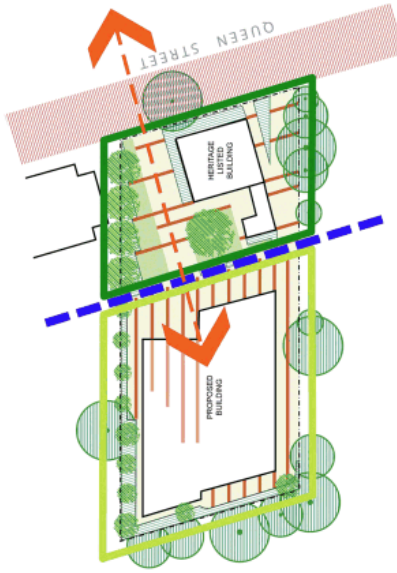
2. Reinforce historic axis & geometry

- Improve streetscape frontage and visual connection with former adjacent Post Office and other heritage listed items in Queen Street by extending existing heritage brick pavement
- Retain existing street tree character
- Restore existing metal palisade fence and posts to axis



3. Extension of axis within site

- Strengthen and respect heritage curtilage and setting of historic CBC bank through built and vegetated elements
- Re-introduce site layout complementary to original axis
- Activate site through facilitating access to proposed building



4. Transition of uses

- Modulate transition between heritage and proposed building scale through the use of a generous setback, creation of open space, and vegetative elements
- Proposed character to reflect layered cultural expression of old and new
- Activation of spaces that engage heritage element and proposed building
- Activation of streetscape
- Transition from cultural planting to indigenous planting/native character to rear of site

Design Principles of Proposed Courtyard

Ground Floor - Masterplan

- 01 New colonial planting to reinforce curtilage and detail to heritage building
- 02 Centrally located feature trees in turf area to provide backdrop between existing and new buildings in deep soil
- 03 Strict geometry of public domain and CBC building extended seamlessly into site through feature grid paving and form
- 04 Hedge planting in deep soil creating visual curtilage to setting
- 05 Open plaza provides opportunity for further site activation and cultural amenities
- 06 Carriewall area with seating and BBQ
- 07 Wall with opportunity for public heritage interpretation



project: 263 Queen Street, Campbelltown
 client: Gail Kie
 date: 13.10.2021
 drawn: MR
 checked: AL

- LEGEND
- SITE BOUNDARY
 - PROPOSED TREE
 - PROPOSED HEDGE
 - PROPOSED TURF
 - PROPOSED GROUNDCOVER
 - EXISTING TREE RETAINED
 - FEATURE TREE
 - FEATURE TURF
 - FEATURE HEDGE
 - FEATURE GROUNDCOVER



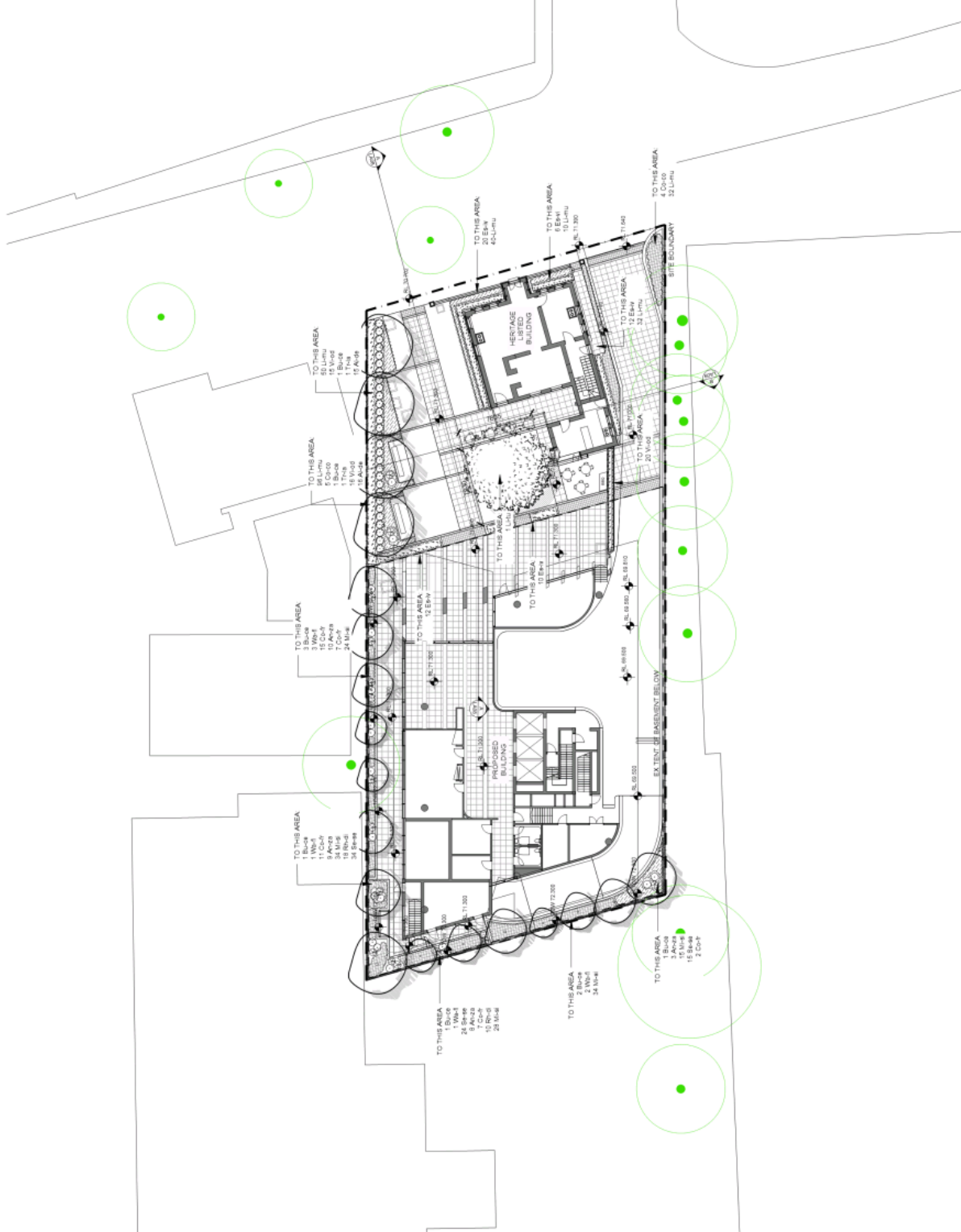
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 TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
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 111 Pitt Street, Campbelltown, NSW 2561 | L: 0800 000 000

LA05

Planting Plan

PLANT SCHEDULE - GROUND FLOOR

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SIZE	QTY
Trees					
Tb-01	Ternstroemia lucida	White Gum	10	100L	2
Bl-02	Buckinghamia celsissima	Ivory Cuff	10	100L	10
Rh-03	Rhododendron fortunei	Woolly Lily Ply	20	100L	7
Lm-04	Lonicera sikkimensis	Trump Tree	20	100L	1
Shrubs					
M-01	Melicope pumila	Ornamental Grass	1.5m	25L	135
Sh-02	Shorea robusta	Shorea robusta	2.0m	45L	9
Co-03	Calanthe sikkimensis	Shorea robusta	2.0m	45L	9
Co-04	Calanthe sikkimensis	Shorea robusta	2.0m	45L	9
Ar-05	Argemone mexicana	Kangaroo Paw	1.5m	25L	30
Er-06	Eragrostis amabilis	Common Grass	1.5m	25L	12
Es-07	Esskonia myrsinoides	Esskonia myrsinoides	1.5m	45L	54
Groundcovers					
Al-01	Alopecurus pratensis	Blue chaff stock	0.2m	140mm	31
Rh-02	Rhododendron fortunei	Blue chaff stock	0.2m	140mm	47
Se-03	Sesuvium portulacastrum	Blue chaff stock	0.2m	140mm	73



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t: +61 3 9419 1999 | e: info@taylorbrammer.com.au

Project: 283 Queen Street, Campbellton
 client: Gate 162
 date: 12.10.2021
 drawn: MR
 checked: AL

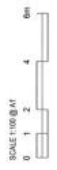
SCALE 1:200 @ A1
 0 2 4 8 12m

LEGEND
 SITE BOUNDARY
 85 85mm TREE
 150 150mm TREE
 225 225mm TREE
 300 300mm TREE
 450 450mm TREE
 600 600mm TREE
 750 750mm TREE
 900 900mm TREE
 1200 1200mm TREE
 1500 1500mm TREE
 2000 2000mm TREE
 3000 3000mm TREE
 4000 4000mm TREE
 5000 5000mm TREE
 PROPOSED TREES
 PROPOSED SHRUBS
 PROPOSED GROUNDCOVERS
 EXISTING TREES
 EXISTING SHRUBS
 EXISTING GROUNDCOVERS
 FUTURE TREE
 FUTURE SHRUB
 FUTURE PLANTING



Ground Floor - Section A

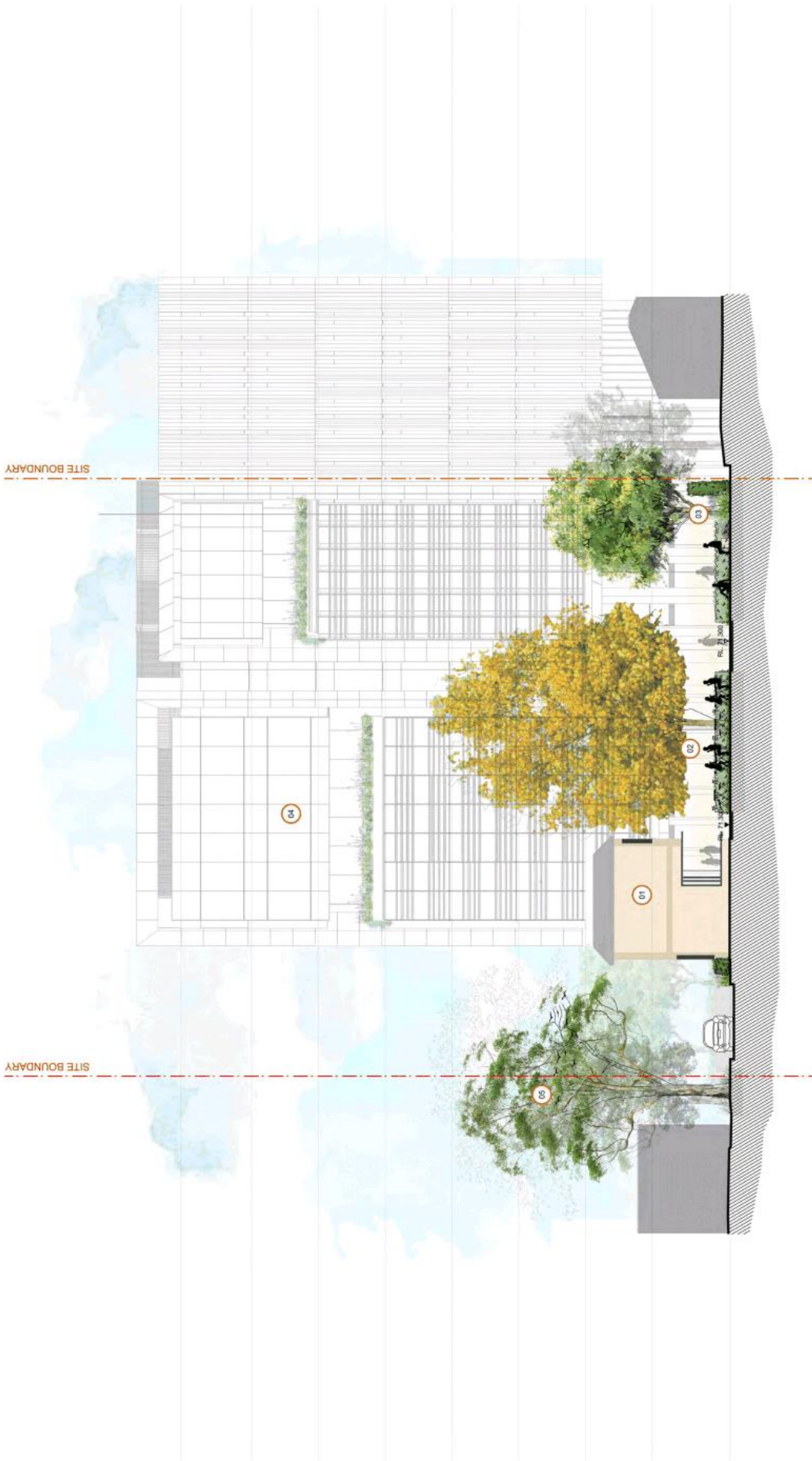
- (01) Existing heritage building to be retained
- (02) New colonial planning to reinforce curtilage and detail to heritage building
- (03) Feature tree to provide backdrop between heritage and proposed buildings over deep soil
- (04) New communal retail/cafe space to provide activation to courtyard
- (05) Existing trees on neighbouring property retained



project: 253 Owen Street, Campbellton
 client: Gail & Keri
 date: 13.10.2021
 prepared by: MR
 drawn: MR
 checked: AL

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 TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
 170/172 Owen Street, Campbellton NSW 2461
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LA08



Ground Floor - Section B

- 01 Existing heritage building to be retained
- 02 Turf area with feature tree providing creating oasis for central oasis for communal gathering
- 03 Screen planting and existing native trees mediates the scale of existing heritage building and proposed structure
- 04 Proposed building with planting to balcony on upper levels
- 05 Existing trees on neighbouring property retained



project: 253 Queen Street, Campbelltown
 client: Geshi K&E
 date: 13.10.2021
 prepared by: MR
 drawn: MR
 checked: AL

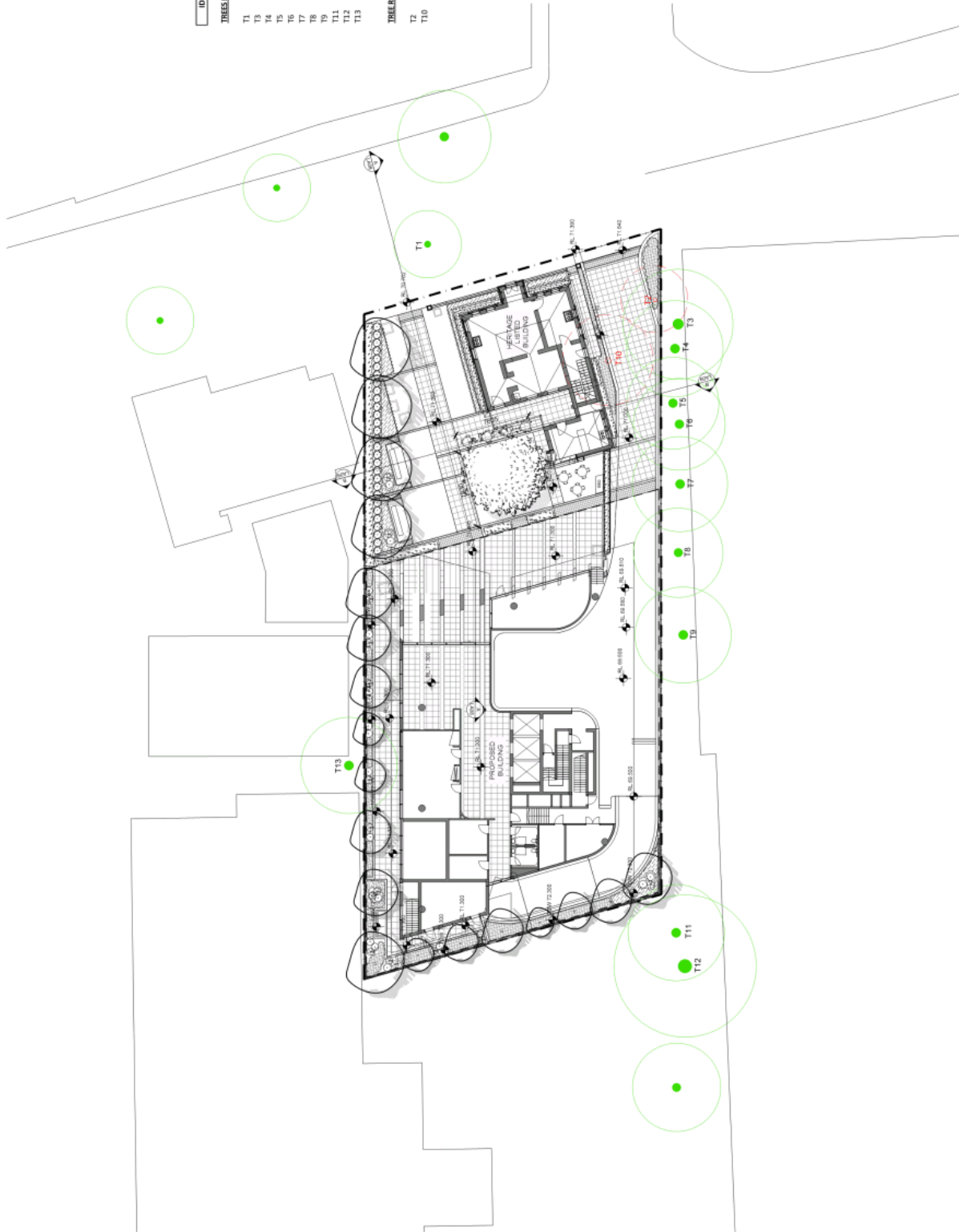
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 175 Stirling Street, Campbelltown, SA 5203 | T: 08 8528 9288

LA09

Tree removal and retention plan

EXISTING TREE SCHEDULE

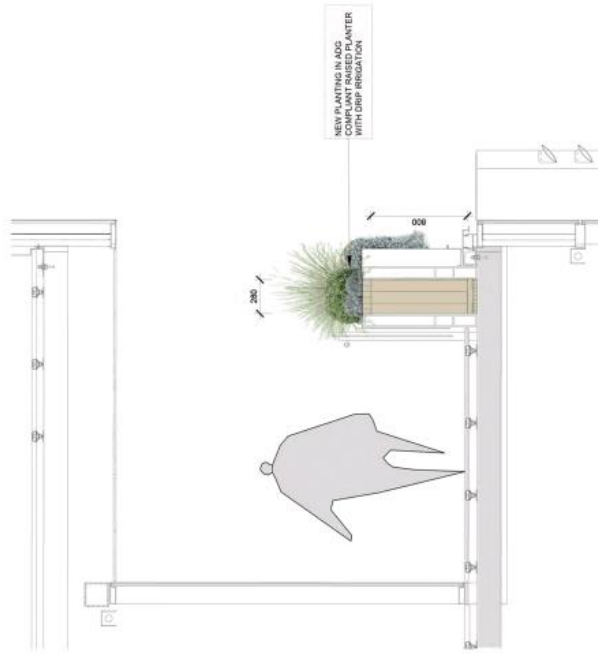
ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)
TREES RETAINED			
T1	Celtis australis	European Hackberry	5
T3	Eucalyptus microcorys	Tallowood	20
T4	Eucalyptus microcorys	Tallowood	20
T5	Eucalyptus microcorys	Tallowood	20
T6	Corymbia maculata	Spotted Gum	20
T7	Corymbia maculata	Spotted Gum	22
T8	Eucalyptus crebra	Narrow-leaved Ironbark	22
T9	Eucalyptus microcorys	Tallowood	18
T11	Eucalyptus microcorys	Tallowood	17
T12	Corymbia maculata	Spotted Gum	20
T13	Grevillea robusta	Silky Oak	15
TREES REMOVED			
T2	Schinus molle	Peppercorn	7
T10	Juniperus	Juniper	15



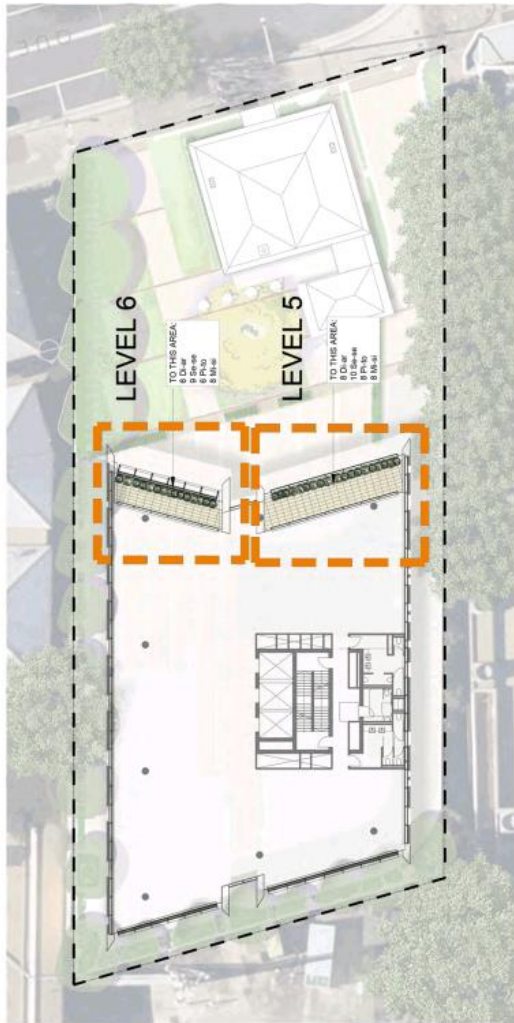
Project: 283 Queen Street, Campbelltown
 client: Gable K&C
 date: 15.10.2021
 drawn: MR
 checked: AL

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 TAYLOR BRAMMER LANDSCAPE ARCHITECTS PTY LTD
 270-274 (Street Address), 4021 - 41 (Lot) @ Campbelltown NSW
 0883 622 000

Terrace planting - Level 5 & 6

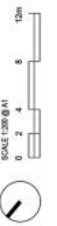


○ PLANTER SECTION
SCALE 1:20



PLANT SCHEDULE - GROUND FLOOR

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SIZE	QTY
Shrubs					
M-sl	Miscanthus sinensis 'Gracillimus'	Ornamental Grass	1.5m	25L	16
PI-bo	Pittosporum tobira	Pittosporum Misa Muffet	1m	25L	14
Groundcovers					
Se-se	Senecio serpens	Blue Chalk Sticks	0.2m	140mm	16
Di-ar	Dichondra argentea	Dichondra Silver Falls	0.1m	140mm	14



project: 263 Owen Street, Campbellton
 client: Gaili Kite
 date: 13.10.2021
 author: MR
 drawn: MR
 checked: AL

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LA11

**Auchenflower Investments Pty Ltd
atf Auchenflower Unit Trust
PO Box 860
South Yarra, Vic 3141**

30 August 2022

Attention: General Manager

By email: Zoran.Sarin@campbelltown.nsw.gov.au

Campbelltown City Council

Dear Sir/Madam,

PLANNING AGREEMENT OFFER | 263 QUEEN STREET CAMPBELLTOWN

Auchenflower Investments Pty Ltd wishes to make a formal offer (VPA Offer) under section 7.4 of the Environmental Planning and Assessment Act 1979 (EPA Act) to enter into a Voluntary Planning Agreement (VPA) with Campbelltown City Council (Council).

The VPA Offer is made in connection with a Development Application in respect of the site known as 263 Queen Street, Campbelltown (Council reference 3263/2021/DA-C).

In summary, the terms of the proposed VPA would be as follows:

Item	Terms
Parties	The parties to the VPA will be: <ol style="list-style-type: none"> Campbelltown City Council; and Auchenflower Investments Pty Ltd
Land	263 Queen Street, Campbelltown, legally known as Lots 1 and 2 SP41598, and CP/SP41598
Development Application 3263/2021/DA-C	<ol style="list-style-type: none"> Restore the existing heritage listed former CBC Bank building located at the front of the site. Demolition of existing commercial building at the rear of the site and construction of a new eight storey commercial building. The proposal incorporates associated basement carparking, ancillary staff amenities in the form of a small gym and function space, landscaping and public domain works.
Monetary Contribution Offer	A monetary contribution derived from a shortfall of 27 car parking spaces in accordance with the 'Public Car Parking Facilities in Campbelltown and Ingleburn

Business Centres Contribution Plan', adopted 31 August 2004, based on the Car Parking rate applicable at the time of payment. Indicatively, the current monetary obligation is \$567,842.13 valid to March 2023. The contribution will increase in accordance with the indexation applicable in the Plan after March 2023.

The developer agrees to pay, in full, the monetary contribution prior to the issuing of the first Occupation Certificate for the development of the Land that benefits from development application the subject of the offer.

Background

When applying the Campbelltown (Sustainable City) Development Control Plan 2015, the parking requirements generated by the development total 179. Council has informed us that in separate NSW Land and Environment Court (LEC) matters, Council has accepted 1 space per 60m² for commercial development. We also note that in terms of The Regional Strategy; "A Plan for Growing Sydney" Campbelltown centre is strategically comparable to centres like; North Sydney and Chatswood, and these centres restrict destination parking at commercial developments to minimise traffic. We have reviewed some of these centres and the parking requirements which are listed below:

North Sydney	North Sydney	1 space per 400 sqm (B3 Commercial Core)
Penrith	Penrith City	1 space per 100 sqm (Penrith City Centre)
Blacktown	Blacktown City	1 space per 100 sqm (within Blacktown CBD)
Bondi Junction	Waverly	Minimum 0, Maximum of 1 space per 100 sqm (Zone 1) Minimum 0, Maximum of 1 space per 150 sqm (Zone 2)
Burwood	Municipality of Burwood	1 space for first 400 sqm plus 1 space per 120 sqm (Land zone B4 Mixed Use)
Norwest	The Hills Shire	1 space per 60 sqm
Chatswood	Willoughby City	1 space per 110 sqm (within Railway Precincts) 1 space per 200 sqm (Zone B3)
North Sydney	Crows Nest, Neutral Bay, Cremorne	1 space per 60 sqm (B4 mixed use – non-residential)

Many of these Council policies have DCP controls that restrict parking to a maximum of 1 space per 100m² GFA, some even more stringent. It is however acknowledged that a more realistic measurement of calculating traffic generation is by considering the actual gross leasable floor space, rather than gross floor space, as the later doesn't entirely generate population / occupancy, therefore does not always translate to a need for parking. For example, the gym, theatre and recreation area in the basement has been added to improve the working environment of the tenants and are not for external use. On this basis, the development would require 49 parking spaces and as we are providing 22 spaces, there would be a 27-space shortfall.

The Contributions Plan for public carparking facilities in Campbelltown and Ingleburn Business Centres (2004) levies monetary contributions on certain development within these centres for the purpose of providing public car parking spaces within the centres. A contribution for car parking is payable when a proposal is unable to supply sufficient on-site car parking.

The contributions plan suggests a figure of \$13,772 per parking space which allowing for inflations would be approximately \$21,250. As outlined above, this figure will increase according to the CPI increase at the time of payment.

It is also noted that in the "Reimagining of Campbelltown City Centre" Document (2020) strategy, it is noted that "Parking provision within the City Centre is effectively managed using a strategic city-wide approach to parking provision that promotes sustainable travel choices". It also aims to "develop a City Centre Parking Strategy that reduces reliance on commuter car parking".

Consequently, the location of the site within the city centre and in proximity to public transport together with the quantum of parking proposed along with a

financial contribution to provide a consolidated commercial car park within the centre which could be used by all businesses, accords with these aims.	
Item	Terms
Works	Nil.
Dedication of Land	Nil.
Application of section 7.11, 7.12 and 7.24	<ol style="list-style-type: none"> 1. The application of section 7.11 of the Act is not excluded in respect of the Development. 2. The application of section 7.12 of the Act is not excluded in respect of the Development. 3. The application of section 7.24 of the Act is not excluded in respect of the Development.
Registration	Auchenflower Investments Pty Ltd agrees to register the VPA on the title of the Land.
Dispute Resolution	Usual dispute resolution mechanisms including mediation. The dispute resolution clauses are subject to further review by the Owner's Corporation once the draft VPA has been prepared.
No Fetter	This agreement is not intended to operate to fetter, in any manner, the exercise of any statutory power or discretion of the Council, including, but not limited to, any statutory power or discretion of the Council relating to the Planning Proposal, Development Application or any other application for Development Consent.
Security / Enforcement	<p>The VPA will include the following security and enforcement measures:</p> <ol style="list-style-type: none"> 4. Registration of the VPA on title of the Land; and 5. Requiring the payment of a monetary contribution prior to the issuing of the first Occupation Certificate for the development of the Land that benefits from the development application the subject of this offer.
Costs	The Auchenflower Investments Pty Ltd agrees to pay Council's reasonable costs of and incidental to the negotiation, preparation and entering into the VPA, as well as administration and enforcement of the VPA.

Kind regards,

✓
 Galeb Kilzi
 Director
 +61 3 965 9093
Galeb.kilzi@privity.com.au

The logo for URBIS, featuring the word "URBIS" in a bold, white, sans-serif font. The letters are contained within a white square frame that is open on the right side.

CLAUSE 4.6 VARIATION REQUEST

Building Height 263 Queen
Street, Campbelltown

Prepared for
PRIVITY DEVELOPMENTS PTY LTD
April 2022

URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

Director	Stephen White
Senior Consultant	Andrew Hobbs
Project Code	P0035393
Report Number	V2 For Submission

Urbis acknowledges the important contribution that Aboriginal and Torres Strait Islander people make in creating a strong and vibrant Australian society.

We acknowledge, in each of our offices, the Traditional Owners on whose land we stand.

All information supplied to Urbis in order to conduct this research has been treated in the strictest confidence. It shall only be used in this context and shall not be made available to third parties without client authorisation. Confidential information has been stored securely and data provided by respondents, as well as their identity, has been treated in the strictest confidence and all assurance given to respondents have been and shall be fulfilled.

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You must read the important disclaimer appearing within the body of this report.

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1. INTRODUCTION

This Clause 4.6 Variation Request ('the Request') has been prepared on behalf of Privity Developments Pty Ltd ('the applicant') and in support of a redevelopment of 263 Queen Street, Campbelltown (the site).

The Request seeks an exception from the maximum building height prescribed for the site under clause 4.3 of Campbelltown Location Environmental Plan 2015 (CLEP 2015). The variation is request is made pursuant to clause 4.6 of CLEP 2015.

This report should be read in conjunction with the Statement of Environmental Effects prepared by Urbis Pty Ltd and dated October 2021, and subsequent Response to Request for Information Pack dated May 2022.

The following sections of the report include:

- **Section 2:** Description of the site and its local and regional context, including key features relevant to the proposed variation.
- **Section 3:** Brief overview of the proposed development as outlined in further detail within the SEE and accompanying drawings.
- **Section 4:** Identification of the development standard, which is proposed to be varied, including the extent of the contravention.
- **Section 5:** Outline of the relevant assessment framework for the variation in accordance with clause 4.6 of the LEP.
- **Section 6:** Detailed assessment and justification of the proposed variation in accordance with the relevant guidelines and relevant planning principles and judgements issued by the Land and Environment Court.
- **Section 7:** Summary and conclusion.

2. SITE CONTEXT

2.1. SITE DESCRIPTION

The key features of the site are summarised in the following table.

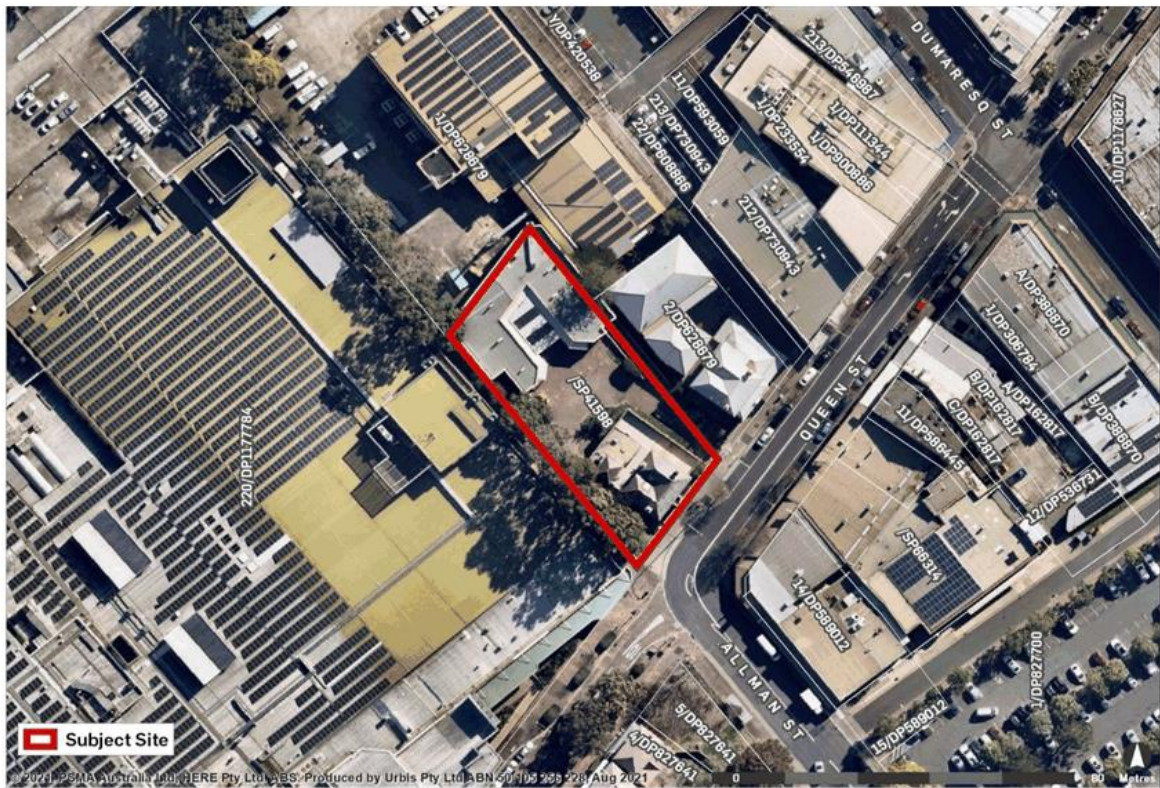
Table 1 Site Description

Feature	Description
Street Address	263 Queen Street, Campbelltown
Legal Description	Lots 1 and 2 SP 41598
Site Area	2216sqm
Site Dimensions	Queen Street – approx. 32m The site fronts Queen Street along the south-east boundary of the site. Queen Street functions as a local road, generally aligned in a north-east and south-west direction. In the immediate vicinity of the site, the street is configured with two traffic lanes, one in either direction, between Allman & Dumaresq Streets. In addition to this, short-term car parking restrictions are generally made available on either side of the road.
Easements and Restrictions	The site is the subject of a two-lot strata scheme, whereby the former CBC Bank building is contained within lot 1 whilst the single storey commercial building at the rear of the site is contained within lot 2. There is common property between the two buildings.
Site Topography	The site is relatively flat, with a slight fall of approx. 0.5m towards the rear of the site.
Vegetation	The site contains mature vegetation along the south-western boundary of the site. Additional low set landscaping is also present across the site.
Public Transport	The site is located within an 800-metre radius catchment from the Campbelltown railway station. A number of bus stops are also available around the site, on Dumaresq Street and Hurley Street adjacent to the Campbelltown Mall.

Figure 1 Location Plan



Figure 2 Aerial Photograph



2.2. EXISTING DEVELOPMENT

The site currently accommodates a two storey sandstone state heritage listed commercial building which was the former Banking Company Branch (CBC), built in 1880 (refer Picture 1). In addition, there is a separate single storey 1990s commercial building with underground basement car parking at the rear of the site that has no heritage significance (refer Picture 2). The site contains two driveways, with the southern driveway functioning as the site’s vehicular entry point and the northern driveway functioning as the site’s vehicular exit point.

The site is surrounded by other commercial buildings within Campbelltown’s commercial core. It is adjoined to the southwest by Campbelltown Mall, to the northwest by a Telstra Exchange building, to the southeast across Queen Street by commercial buildings and to the northeast by a state heritage listed building (Old Campbelltown Post Office). The site is located in close proximity to the Queen Street conservation area located to the south along Queen Street.

Figure 3 Site Photos



Picture 1 Site Frontage

Source: Google St View



Picture 2 Commercial Building At Rear Of Site

Source: Conservation Management Plan 17073

2.3. SITE HERITAGE

The subject property is listed on the NSW State Heritage Register as an item of State Significance, listing no. SHR00499. It is also listed as an item of local heritage significance on Schedule 5 of the Campbelltown Local Environmental Plan (LEP) 2015 as, “CBC Bank/Former Commercial Bank of Sydney”, item number I00499. It is also located within the vicinity of the Queen Street Conservation Area and in the vicinity of a number of other listed items.

Figure 4 The Commercial Banking Company of Sydney Building



Source: *A Century of Banking: The Commercial Banking Company of Sydney 1834-1934*

2.4. LOCALITY CONTEXT

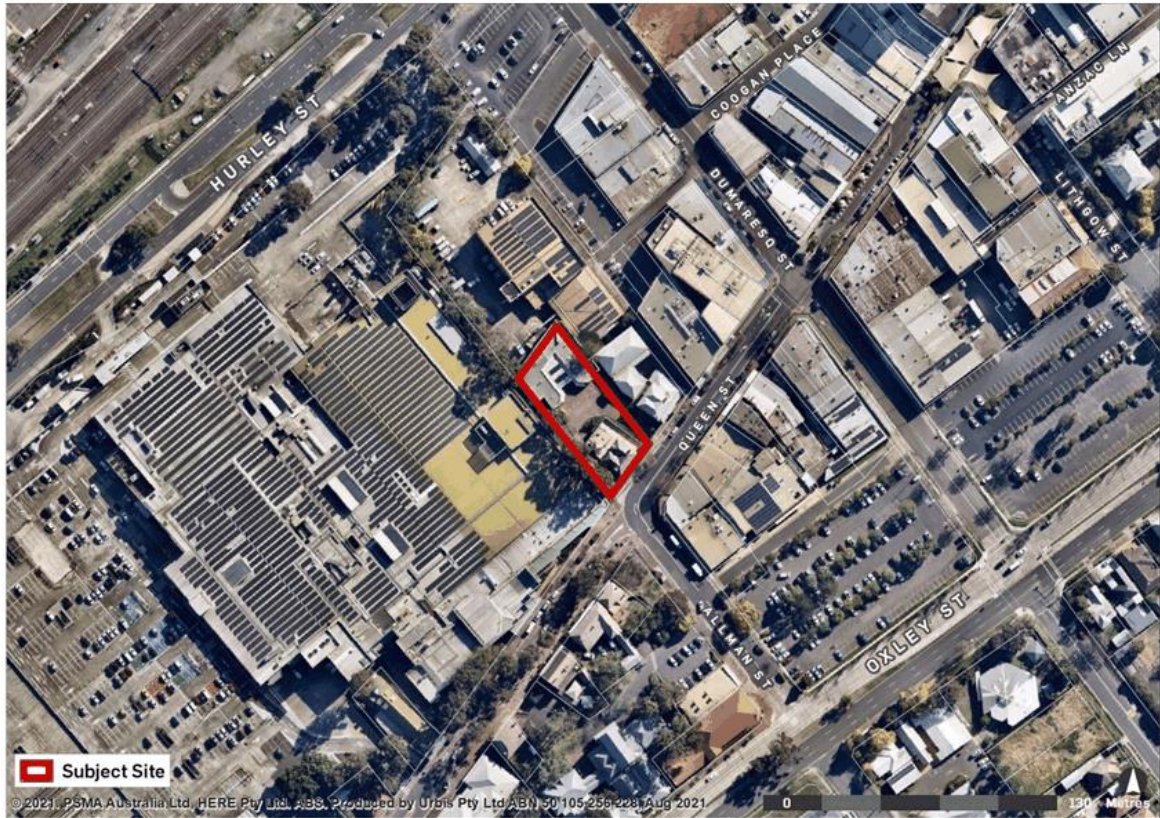
The site is adjacent to the former Campbelltown Post Office and in close proximity adjacent to a Conservation Area on the opposite side of Queens Street. This Conservation Area includes a group of buildings identified as the “Queen Street Buildings Group” on the State Heritage Register.

The site is located within the Campbelltown City Centre, the capital of the Macarthur Region. The city centre brings together a variety of land uses generally in a low scale built form, including civic, justice, commercial, industrial, education, retail, cultural and community facilities.

Positioned at the southern extent of Metropolitan Sydney, Campbelltown benefits from the following:

- Strategically located between Sydney’s three international trade gateways (Port Botany, Sydney Airport, Port Kembla).
- Within the Capital Corridor connecting Sydney with Canberra and immediately adjacent to the Hume Highway (M31) with two direct motorway access points to the City Centre via Narellan and Campbelltown roads.
- Transport connectivity between Wollongong and the Illawarra/Shoalhaven region.
- Direct road and rail passenger and freight connections to Sydney Airport and Port Botany.
- Three rail stations including an interchange at Campbelltown for regional services to Canberra and Melbourne, and an interchange at Macarthur between the electrified metropolitan Sydney services and the Southern Highlands services.

Figure 5 Local Context



3. PROPOSED DEVELOPMENT

This Clause 4.6 Variation Request has been prepared to accompany a DA for the restoration of the existing heritage listed former CBC Bank building located at the front of the site, demolition of existing commercial building at the rear of the site and construction of a new eight storey commercial building.

A detailed description of the proposed development is provided in the Statement of Environmental Effects prepared by Urbis Pty Ltd and dated October 263. The proposal is also detailed within the architectural, engineering and Landscape drawings that form part of the DA.

A summary of the key features of the proposed development is provided below:

- Demolition of five commercial suites built over a 22 car basement carpark built in 1990's, and demolition of the ground floor (1960s) extension adjoining the former CBC Bank building.
- Construction of an eight storey commercial building, comprising:
 - Ground floor retail and commercial, combined with storage and servicing areas.
 - Levels one to level seven contain commercial floor space of varying sizes relative to external articulation in the building façade.
 - Basement one for 22 car spaces and storage area for 54 bikes.
 - Basement two for end of trip facilities, mechanical plants such as fire pump rooms and communications, and staff gym and function space.
- Associated landscaping which aims to both restore and enhance the heritage garden setting with the retention of the CBC Bank Building.
- Conservation of the original fabric of the former CBC Bank Building to restore the original character, including the implementation of an appropriate external colour scheme and reconstruction of the rear veranda. Minor internal works to remove later changes to the building
- Ancillary works including to removal of the northern driveway and installation of a sub-station in the north east corner of the site.

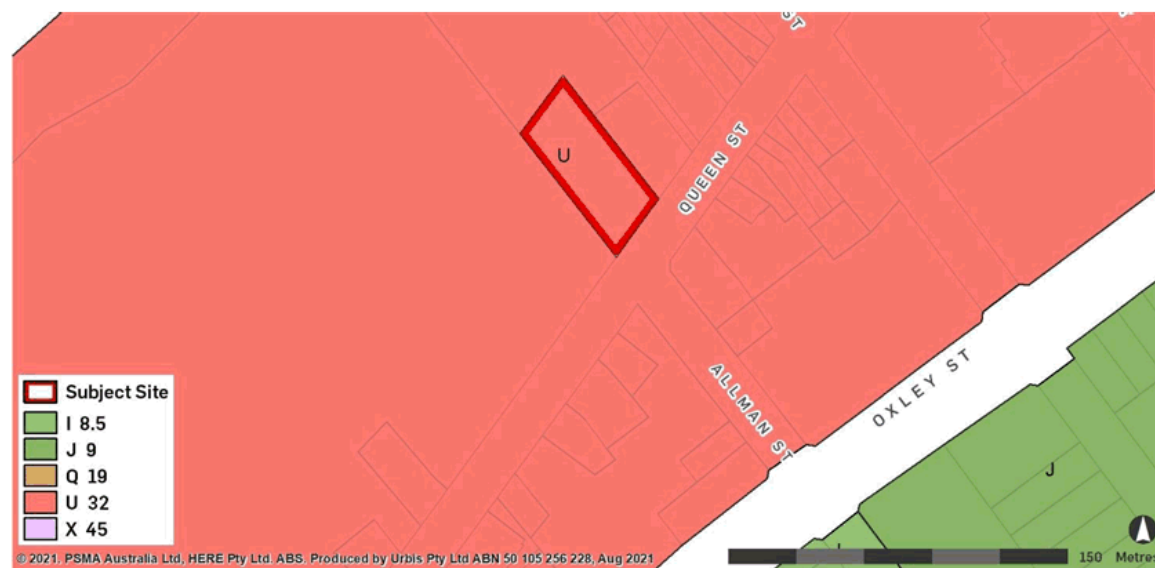
4. VARIATION TO HEIGHT OF BUILDINGS STANDARD

This section of the report identifies the development standard, which is proposed to be varied, including the extent of the contravention. A detailed justification for the proposed variation is provided in **Section 6** of the report.

4.1. DEVELOPMENT STANDARD

Clause 4.3 of the CLEP 2015 prescribes a maximum building height control for the site of 32m as shown in Figure 6 below:

Figure 6 Height of Building Map



Source: Urbis

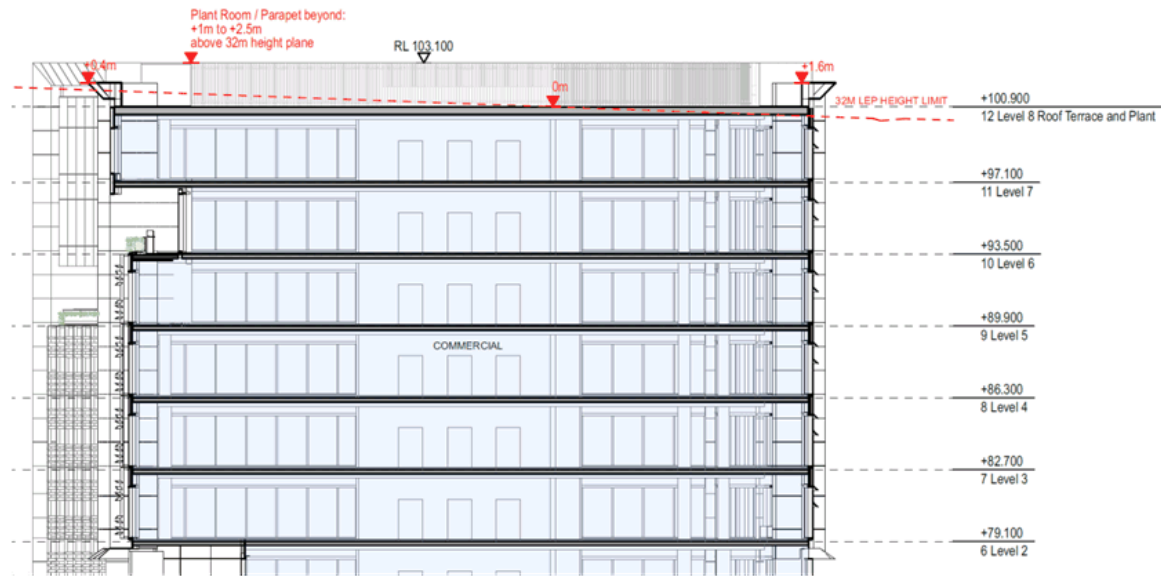
4.2. PROPOSED VARIATION

This Request seeks a variation to the development standard contained within clause 4.3 of CLEP 2015 which identifies the site as having a maximum height of 9.5m as illustrated in the CLEP 2015 height map in Figure 6 above. The proposed variation to the maximum height is detailed in **Table 2** below:

Table 2 Proposed Height Variation

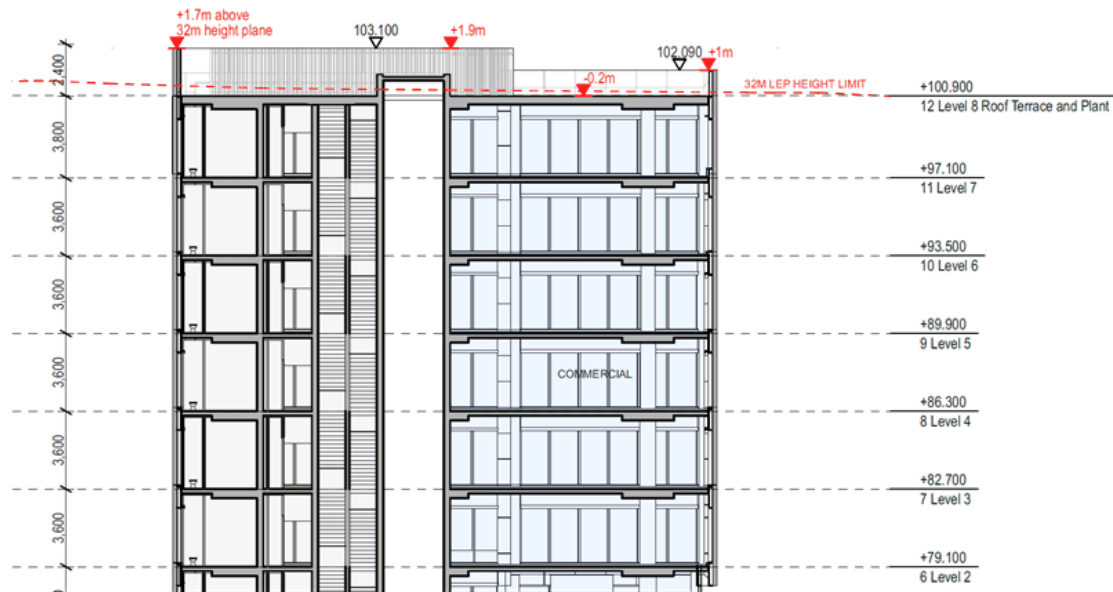
	Height Standard	Proposal (Highest Point)	Difference
Height	32m	RL103.100 (equivalent to 34.5m – need to compare metres with metres)	2.5m at the western edge of the building Average exceedance is approximately 1m.

Figure 7 Sections Showing Height Non-compliance



Picture 3 East West Section

Source: FJMT Studio



Picture 4 North / South Section

Source: FJMT Studio

5. RELEVANT ASSESSMENT FRAMEWORK

Clause 4.6 of the CLEP 2015 includes provisions that allow for exceptions to development standards in certain circumstances. The objectives of clause 4.6 of CLEP 2015 are:

- (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
- (b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

Clause 4.6 provides flexibility in the application of planning provisions by allowing the consent authority to approve a DA that does not comply with certain development standards, where it can be shown that flexibility in the particular circumstances of the case would achieve better outcomes for and from the development.

There are two critical provisions of clause 4.6 in the NSLEP 2013.

First, clause 4.6(3), referred to in this request as the "document clause" provides that development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.*

Secondly, clause 4.6(4) referred to in this request as the "satisfaction clause" provides that development consent must not be granted for development that contravenes a development standard unless:

- "(a) the consent authority is satisfied that—*
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
 - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
- (b) the concurrence of the Planning Secretary has been obtained. "*

6. ASSESSMENT OF CLAUSE 4.6 VARIATION

The following sections of the report provide a comprehensive assessment of the request to vary the development standards relating to the maximum building height in accordance with clause 4.3 of CLEP 2015.

Detailed consideration has been given to the following matters within this assessment:

- *Varying development standards: A Guide, prepared by the Department of Planning and Infrastructure dated August 2011.*
- *Relevant planning principles and judgements issued by the Land and Environment Court.*

The following sections of the report provides detailed responses to the key questions required to be addressed within the above documents and clause 4.6 of the LEP.

6.1. IS THE PLANNING CONTROL A DEVELOPMENT STANDARD THAT CAN BE VARIED? – CLAUSE 4.6(2)

The maximum building height prescribed by clause 4.3 of CLEP 2015 is a development standard capable of being varied under clause 4.6(2) of the CLEP 2015.

The proposed variation is not excluded from the operation of clause 4.6(2) as it does not comprise any of the matters listed within clause 4.6(6) or clause 4.6(8) of CLEP 2015.

6.2. IS COMPLIANCE WITH THE DEVELOPMENT STANDARD UNREASONABLE OR UNNECESSARY IN THE CIRCUMSTANCES OF THE CASE? – CLAUSE 4.6(3)(A)

Historically, the most common way to establish a development standard was unreasonable or unnecessary was by satisfying the first method set out in *Wehbe v Pittwater Council [2007] NSWLEC 827*. This method requires the objectives of the standard are achieved despite the non-compliance with the standard.

This was recently re-affirmed by the Chief Judge in *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118 at [16]-[17]*. Similarly, in *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7 at [34]* the Chief Judge held that “establishing that the development would not cause environmental harm and is consistent with the objectives of the development standards is an established means of demonstrating that compliance with the development standard is unreasonable or unnecessary”.

This Request addresses the first method outlined in *Wehbe v Pittwater Council [2007] NSWLEC 827*. This method alone is sufficient to satisfy the ‘unreasonable and unnecessary’ requirement.

The Request also seeks to demonstrate the ‘unreasonable and unnecessary’ requirement is met because the burden placed on the community by not permitting the variation would be disproportionate to the non-existent or inconsequential adverse impacts arising from the proposed non-complying development. This disproportion provides sufficient grounds to establish unreasonableness (relying on comments made in an analogous context, in *Botany Bay City Council v Saab Corp [2011] NSWCA 308 at [15]*).

The specific objectives of the maximum building height development standard as specified in clause 4.3 of CLEP 2015 are detailed in **Table 3** below. An assessment of the consistency of the proposed development with each of the objectives is also provided.

Table 3 Assessment of Consistency with Clause 4.3 Objectives

Objectives	Assessment
<i>(a) to nominate a range of building heights that will provide a transition in built form and land use intensity across all zones,</i>	The site is subject to a maximum building height control of 32m, which is consistent with all land surrounding the site. The site is not located adjacent to a transitional maximum building height boundary, and land zoning on the four property boundaries is consistent with the site's

Objectives	Assessment
	B3 designation. The site does abut B4 zoned land to the south, however is not required to transition to this land from a building height perspective.
<i>(b) to ensure that the heights of buildings reflect the intended scale of development appropriate to the locality and the proximity to business centres and transport facilities,</i>	<p>The site is located within the Campbelltown City Centre, which is characterised with a range of existing and future potential taller building forms compared with the residential areas located outside the city centre. As such, the proposed building height is considered reflective of the intended scale of development of the site, being centrally located within an 800m catchment of the Campbelltown railway station.</p> <p>An eight storey commercial building known as the 'Campbelltown City Centre Building' is within close proximity of the site is considered to be of a similar height and scale to the proposal, while forming an important landmark within the city centre.</p>
<i>(c) to provide for built form that is compatible with the hierarchy and role of centres,</i>	<p>The proposed built form allows for the creation of high quality employment floor space, that reinforces the role and function of the centre as an employment hub. The building height acts to reinforce the visual delineation of the site within the city centre, separate from the lower density areas outside of the city core.</p> <p>Optimising density in centres within walking distance of existing high frequency public transport serves not only serve the workers from surrounding regions but ensures that additional land is not required to facilitate these transport needs.</p> <p>The proposal reinforces the role and function of Campbelltown as a Strategic Centre as acknowledged in the Greater Sydney Regional Plan.</p>
<i>(d) to assist in the minimisation of opportunities for undesirable visual impact, disruption to views, loss of privacy and loss of solar access to existing and future development and to the public domain</i>	<p>The proposed additional building height is considered to result in inconsequential environmental impacts, namely that of additional overshadowing, overlooking, visual impact, or view loss.</p> <p>As confirmed in the additional overshadowing impacts drawings prepared by FJMT Architects accompanying this 4.6 and RFI package, the predominant additional height is located centrally within the building therefore resulting in little additional overshadowing. The proposal does not result in view loss as part of any key view corridors, nor result in additional overlooking or amenity impacts.</p>

Objectives	Assessment
	Predominant overshadowing resulting from the proposal is confined to the site boundaries, namely from 1pm onwards.

6.3. ARE THERE SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT STANDARD? – CLAUSE 4.6(3)(B)

The Land & Environment Court judgment in *Initial Action Pty Ltd v Woollahra Council* [2018] NSWLEC 2018, assists in considering the sufficient environmental planning grounds. Preston J observed:

“...in order for there to be 'sufficient' environmental planning grounds to justify a written request under clause 4.6, the focus must be on the aspect or element of the development that contravenes the development standard and the environmental planning grounds advanced in the written request must justify contravening the development standard, not simply promote the benefits of carrying out the development as a whole; and

...there is no basis in Clause 4.6 to establish a test that the non-compliant development should have a neutral or beneficial effect relative to a compliant development”

There is an absence of environmental harm arising from the contravention and positive planning benefits arising from the proposed development as outlined in detail above. These include:

- **Negligible Additional Environmental Impacts:**

The proposed additional building height is considered to result in inconsequential adverse impacts, namely that of additional overshadowing, overlooking, visual impact, or view loss. As confirmed in the additional overshadowing impacts drawings prepared by FJMT Architects, the predominant additional height is located centrally within the building therefore resulting in little additional overshadowing. Further, the proposal does not result in view loss as part of any key view corridors, nor result in additional overlooking or amenity impacts.

Based on the above, it has been demonstrated that there are sufficient environmental planning grounds to justify the proposed maximum building height non-compliance in this instance.

6.4. HAS THE WRITTEN REQUEST ADEQUATELY ADDRESSED THE MATTERS IN SUB-CLAUSE (3)? – CLAUSE 4.6(4)(A)(I)

Clause 4.6(4)(a)(i) states that development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied that the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3).

Each of the sub-clause (3) matters are comprehensively addressed in this written request, including detailed consideration of whether compliance with a development standard is unreasonable or unnecessary in the circumstances of the case. The written request also provides sufficient environmental planning grounds, including matters specific to the proposal and the site, to justify the proposed variation to the development standard.

6.5. IS THE PROPOSED DEVELOPMENT IN THE PUBLIC INTEREST? – CLAUSE 4.6(4)(B)(II)

Clause 4.6(4)(a)(ii) states development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied the proposal will be in the public interest because it is consistent with the objectives of the development standard and the objectives for the zone. The consistency of the development with the objectives of the development standard is demonstrated in **Table 3** above.

Other considerations to demonstrate sufficient environmental planning grounds are:

- Consistency with Objects of the Environmental Planning and Assessment Act 1979
- Consistency with land use zone objectives

These aspects are assessed below.

Consistency with Objects of EP&A Act

In *Initial Action*, the Court stated that the phrase “environmental planning grounds” is not defined but would refer grounds that relate to the subject matter, scope and purpose of the EP&A Act, including the objects in section 1.3 of the Act.

While this does not necessarily require that the proposed development should be consistent with the objects of the Act, nevertheless, in **Table 4** we consider how the proposed development is consistent with each object, as and if relevant, notwithstanding the proposed variation of the building height development standard.

Table 4 Objects of the EP&A Act

Object	Comment
<p><i>(a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State’s natural and other resources,</i></p>	<p>The proposal promotes the social and economic welfare of the community the delivery of a much needed high quality commercial development within an existing strategic town centre. In doing this, the proposal ensures the protection of an important heritage item, being the existing bank building on the site.</p> <p>The proposed development will support new jobs during the construction and operational phases of the project in close proximity to existing high frequency public transport opportunities.</p>
<p><i>(b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,</i></p>	<p>The proposal has been based around the following key sustainability initiatives:</p> <ul style="list-style-type: none"> ▪ Integrate passive design elements, as far practically possible, to naturally provide comfort, quality daylight and minimise energy consumption ▪ Create healthy interiors, including reduction in the use of harmful VOCs in glues, sealants and paints, and protection from dust and other external airborne pollutants ▪ Minimise consumption of natural resources, including water and virgin resources ▪ Minimise environmental impacts through construction, including embodied energy and the ecological cost of materials ▪ Minimise environmental impacts through operation, including energy consumption, resource recovery and discharge of pollutants ▪ Promote urban ecology through biophilic design elements, the use of green roofs, riparian vegetation and extensive landscaping ▪ Provide sustainable, integrated convenient travel

Object	Comment
	<ul style="list-style-type: none"> ▪ Promote biodiversity through careful building and landscape design that benefits indigenous or endangered plant and animal species
<p><i>(c) to promote the orderly and economic use and development of land,</i></p>	<p>The proposed development promotes the orderly and economic use and development of the site by demolishing the existing commercial building and delivering a new commercial development which provides a significant increase in employment generating floorspace in the Campbelltown City Centre and close to transport.</p> <p>The proposed minor height variation is considered an orderly design outcome that enables the delivery of a feasible development providing high quality commercial floor space without resulting in unreasonable additional environmental impacts.</p>
<p><i>(d) to promote the delivery and maintenance of affordable housing,</i></p>	<p>This Object is not relevant to this proposed development.</p>
<p><i>(e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,</i></p>	<p>The proposed development including the minor height variation will have no impact on threatened species or ecological communities and their habitats.</p>
<p><i>(f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),</i></p>	<p>The proposal results in the sustainable management of a key heritage item on site through incorporating item into the spatial planning of the site. The proposal has been considered suitable in the context of this item and surrounding heritage items as confirmed by the project heritage consultant.</p>
<p><i>(g) to promote good design and amenity of the built environment,</i></p>	<p>The proposed development has been designed by award winning architects FJMT. The proposal has evolved through design testing, incorporating feedback received from the NSW Heritage Council, sustainability initiatives, and key urban design and spatial planning considerations. The resulting proposal blends in with the existing site and former CBH Building, while delivering a flexible working environment for future users of the site.</p>
<p><i>(h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,</i></p>	<p>The proposed development is capable of complying with relevant BCA requirements. Furthermore, the minor variation in building height does not compromise the development from complying with the BCA. Potential construction related impacts will be managed</p>
<p><i>(i) to promote the sharing of the responsibility for environmental planning and</i></p>	<p>This Object is not relevant to the proposed development.</p>

Object	Comment
<i>assessment between the different levels of government in the State,</i>	
<i>(j) to provide increased opportunity for community participation in environmental planning and assessment.</i>	The proposed development has been publicly notified to which only one submission was received from an adjacent land owner. The key point of this submission related to parking which Council has also raised concern with. This point was adequately responded to as part of the proponents RFI response package.

Consistency with Land Use Zone objectives

The proposal is also consistent with the land use objectives that apply to the site under CLEP 2015. The site is located within the B3 Commercial Core zone. The proposed development is consistent with the relevant land use zone objectives as outlined in **Table 5** below.

Table 5 Assessment of Compliance with Land Use Zone Objectives

Objective	Assessment
<i>(a) To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.</i>	The additional building height does not inhibit the proposal's ability to remain consistent with this objective, as it will deliver 5,913sqm of high grade commercial floor space, resulting in a significant improvement to the current offering provided by the site.
<i>(b) To encourage appropriate employment opportunities in accessible locations.</i>	The additional building height does not inhibit the proposal's ability to remain consistent with this objective. The proposed development is within walking distance of the Campbelltown Train Station, connecting workers from surrounding regions via high frequency public transport to the site. Further, the proposal seeks to minimise the provision of onsite parking to encouraging public transport patronage.
<i>(c) To maximise public transport patronage and encourage walking and cycling.</i>	The additional building height does not inhibit the proposal's ability to remain consistent with this objective. Incorporated in the basement 2 level are high quality end of trip facilities for users of the site. This will encourage walking and cycling patronage to the site.
<i>(d) To accommodate the redevelopment, enhancement and vitality of centres by facilitating mixed use development.</i>	The additional building height does not inhibit the proposal's ability to remain consistent with this objective. When considering the broader impact of the redevelopment of the site in conjunction with the improvements to the existing heritage building, the development will enhance the vitality of the broader Campbelltown centre.

The proposal is considered to be in the public interest as the development is consistent with the objectives of the development standard, and the land use objectives of the zone.

6.6. HAS THE CONCURRENCE OF THE PLANNING SECRETARY BEEN OBTAINED? – CLAUSE 4.6(4)(B) AND CLAUSE 4.6(5)

The Secretary can be assumed to have concurred to the variation under Department of Planning Circular PS 18–003 'Variations to development standards', dated 21 February 2018. This circular is a notice under 64(1) of the *Environmental Planning and Assessment Regulation 2000*.

The Secretary can be assumed to have given concurrence as the matter will be determined by an independent hearing and assessment panel or a Sydney district or regional planning panel in accordance with the Planning Circular.

The matters for consideration under clause 4.6(5) are considered below.

- **Clause 4.6(5)(a) – does contravention of the development standard raise any matter of significance for State or regional environmental planning?**

The proposed non-compliance with the height development standard will not raise any matter of significance for State or regional environmental planning. It has been demonstrated that the proposed variation is appropriate based on the specific circumstances of the case and would be unlikely to result in an unacceptable precedent for the assessment of other development proposals.

- **Clause 4.6(5)(b) - is there a public benefit of maintaining the planning control standard?**

The proposed development achieves the objectives of the height development standard and the land use zone objectives despite the technical non-compliance.

There is no material impact or benefit associated with strict adherence to the development standard and there is no compelling reason or public benefit derived from maintenance of the standard. Further, the environmental impacts which result from additional building height are negligible, and result only in minor additional overshadowing.

- **Clause 4.6(5)(c) – are there any other matters required to be taken into consideration by the Secretary before granting concurrence?**

Concurrence can be assumed, however, there are no known additional matters that need to be considered within the assessment of the clause 4.6 variation request prior to granting concurrence, should it be required.

7. CONCLUSION

For the reasons set out in this written request, strict compliance with the height development standard contained within clause 4.3 of the CLEP 2015 is unreasonable and unnecessary in the circumstances of the case. Further, there are sufficient environmental planning grounds to justify the proposed variation and it is in the public interest to do so.

It is reasonable and appropriate to vary the height standard to the extent proposed for the reasons detailed within this submission and as summarised below:

- The proposal is compliant with clause 4.6(3)(a) because a strict compliance with the height development standard is unreasonable and unnecessary in the circumstances of the case. The proposal achieves the objectives of the development standard as provided in clause 4.3 of CLEP 2015 and is consistent with the objectives for development within the B3 Commercial Core Zone despite non-compliance.
- There are sufficient environmental planning grounds to justify contravening the height development standard. As demonstrated by the proposal, the built form has been developed in response to site limitations and the need to accommodate the existing heritage item on the site while still achieving a feasible development outcome.

For the reasons outlined above, the clause 4.6 request is well-founded. The development standard is unnecessary and unreasonable in the circumstances, and there are sufficient environmental planning grounds that warrant contravention of the standard. In the circumstances of this case, flexibility in the application of the maximum building height development standard should be applied.

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HERITAGE IMPACT STATEMENT

Development Application



263 Queen Street Campbelltown

21 OCTOBER 2021

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Cover Image: Queen Street looking north, c1910. (Source: Campbelltown and Airds Historical Society)

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ISSUED	REVIEW	ISSUED BY
20 September 2021	Draft for Review	S Polkinghorne
1 October 2021	Revised Draft for Review	S Polkinghorne
18 October 2021	Revised Draft for Review V01	S Polkinghorne
20 October 2021	Final	S Polkinghorne
21 October 2021	Final V01	S Polkinghorne

HERITAGE IMPACT STATEMENT - 263 Queen Street Campbelltown

https://nbrsarchitecture.sharepoint.com/PROJECTS/21/21321/05_DOC/02_Reports/05_Heritage/21321_HIS_263 Queen Street_211021.docx

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HERITAGE IMPACT STATEMENT FOR 263 QUEEN STREET CAMPBELLTOWN

1.0 INTRODUCTION

1.1 BACKGROUND

This Heritage Impact Statement has been prepared in accordance with the standard guidelines of the NSW Heritage Division to accompany an application for proposed works at 263 Queen Street, Campbelltown.

The proposal involves restoration and adaptation works to the former CBC Bank building located towards the front (southeast) portion of the site, as well as the addition of a new commercial office building towards the rear (northwest) portion of the site.

Details of the development proposal have been prepared by FJMT STUDIO.

The current proposal has been informed by an earlier scheme for the site which was the subject of a course case and extended negotiations with Campbelltown City Council and Heritage NSW. What was learnt through this process has been incorporated into the current scheme.

The subject property is listed on the NSW State Heritage Register as an item of State Significance, listing no. SHR00499. It is also listed as an item of local heritage significance on Schedule 5 of the *Campbelltown Local Environmental Plan (LEP) 2015* as, "CBC Bank/Former Commercial Bank of Sydney", item number I00499. It is also located within the vicinity of the Queen Street Conservation Area and in the vicinity of a number of other listed items.

Accordingly, this Heritage Impact Statement reviews the proposal in terms of the relevant heritage provisions of the *Campbelltown LEP 2015* and the requirements of the *Campbelltown Sustainable Cities Development Control Plan (DCP) 2015*, and the Impact Assessment Criteria guidelines endorsed by the NSW Heritage Council.

In addition, this report formally evaluates the proposal against the policies outlined in the *Conservation Management Plan 263 Queen Street Campbelltown (CMP)*, prepared by **NBR**SARCHITECTURE in November 2017.

This report has also been informed by the updated Conservation Schedule of Works prepared for the site by **NBR**SARCHITECTURE, dated 20 October 2021.

1.2 METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the guidelines set out in the *Australia ICOMOS Charter for Places of Cultural Significance*, 2013, known as The Burra Charter, and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) publication, *NSW Heritage Manual*.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, is as defined in Article 1 of The Burra Charter. The NSW Heritage Manual explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

1.3 SITE LOCATION

The site is located on the northwest side of Queen Street. It is identified as Lot 2 SP41598 by the NSW Land Registry Services (LRS).

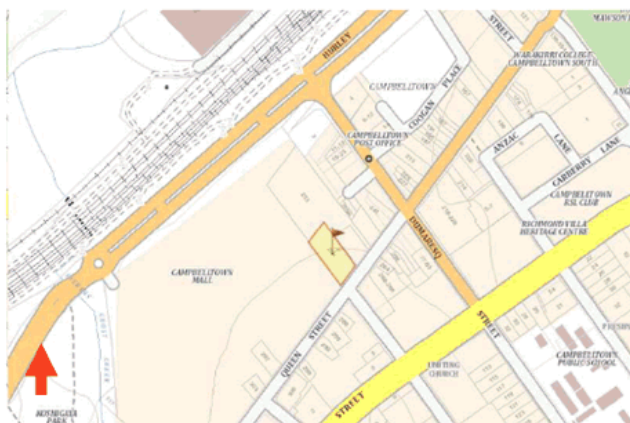


Figure 1: Street map with the subject site indicated by the red arrow. (Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)

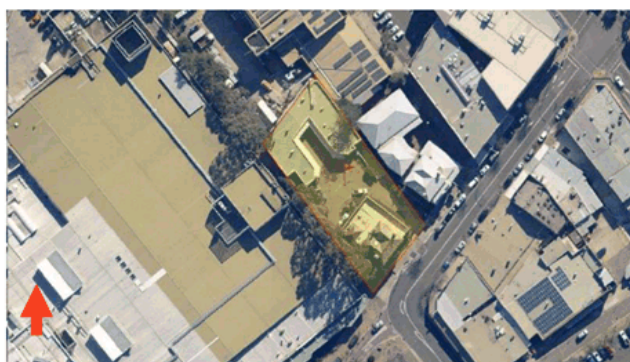


Figure 2: Aerial map with the subject site indicated by the red arrow. (Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)

1.4 HERITAGE MANAGEMENT FRAMEWORK

The site is identified on the following statutory lists:

- State Heritage Register 00499; and
- *Campbelltown Local Environment Plan 2015*, "Commercial Bank of Sydney (former)" heritage item number I00499.

As such, the property is subject to the heritage provisions of the *Campbelltown Local Environment Plan 2015* and the *Campbelltown Development Control Plan (DCP)* under the Planning and Assessment Act 1979. Campbelltown Council must take into consideration the potential impact of any proposed development on the heritage significance of the heritage items and nearby conservation areas. The site is also subject to approval by Heritage NSW as it is included on the State heritage register.

1.5 AUTHORSHIP

This report was prepared by Christiane Moodie, Heritage Consultant, and Samantha Polkinghorne, Director, both of NBR SARCHITECTURE, using research and a history included in the Conservation Management Plan for the site prepared by NBR SARCHITECTURE in November 2017.

1.6 LIMITATIONS

This report is limited to the assessment of potential impacts on the European cultural heritage values of the site and does not include Aboriginal and Archaeological assessment.

This report only addresses the relevant planning provisions that relate to heritage.

1.7 COPYRIGHT

Copyright of this report remains with the author, **NBR**SARCHITECTURE. Unless otherwise noted, all images are by the author.

2.0 DOCUMENTARY EVIDENCE

This section summarises the history in the Conservation Management Plan prepared for the site by NBR SARCHITECTURE, dated March 2017.

2.1 HISTORY OF THE SUBJECT SITE

The subject site is located on part of 140 acres (56 hectares) granted to Joseph Phelps on 8 October 1816. Less than one year later, Phelps conveyed 30 acres (12.14 hectares) to Thomas Clarkson of Eagle Vale, and he mortgaged it to Daniel Cooper. In April 1826, Cooper foreclosed on the mortgage and conveyed the land to a former convict and employee, Frederick Fisher. He was murdered later the same year leading to the execution of his murderer, Worrall, who was later tried and executed for the crime. Fisher died intestate with substantial property, cash, animals, two or three farms and some buildings. In 1837, after various claims on the estate, Samuel Fisher, brother and next of kin to Frederick Fisher, and his wife, Elizabeth, conveyed the land to John Edye Manning. Following his death in England in January 1870, Charles Morris conveyed five acres one rood and nine perches of land to Samuel Parker.

In February 1877, Samuel Parker of Campbelltown lodged an application to convert five acres thirteen perches of land to Torrens title. According to Primary Application 4400, the land was then in the occupation of Parker and had an estimate value (including all improvements) of £450. The plan of the land is illustrated in Deposited Plan 54400 (Figure 3). Accompanying this application was a contract for sale of same to the Commercial Banking Company of Sydney limited dated 14 December 1876.

The subject land (now five perches one rood and nine perches) was registered in June 1878 on Certificate of Title Vol 342 Fol 207 in the name of the Commercial Banking Company of Sydney Limited (CBC).

In October 1879, Mansfield Brothers, Architects, invited tenders "for the erection and completion of new banking premises for the Commercial Banking Company, at Campbelltown".¹ There appears to have been problems during construction as in January 1880, the contractors, Langley and Thompson of Balmain, put Mr Booth, stonemason on notice "that if he does not proceed with his contract for base course, the same will be finished at his risk".² Progress of the building was noted in the *Campbelltown Herald*, for instance on 14 February (p2): "we observe the improvements that are going on in Campbelltown, the building of new premises for the Commercial Bank, and a very commodious residence for the office in charge of the police, for instance". The Commercial Banking Company of Sydney completed the building by June 1880 when the *Australian Town and Country Journal* reported that "the new Commercial bank is now near completion and reflects a great credit on the contractors, Messrs Langley and Thompson".³

¹ "To builders", *Evening News*, 11 October 1879, p3

² "Notice", *Sydney Morning Herald*, 13 January 1880, p2

³ "Town architecture", *Australian Town and Country Journal*, 5 June 1880, p38

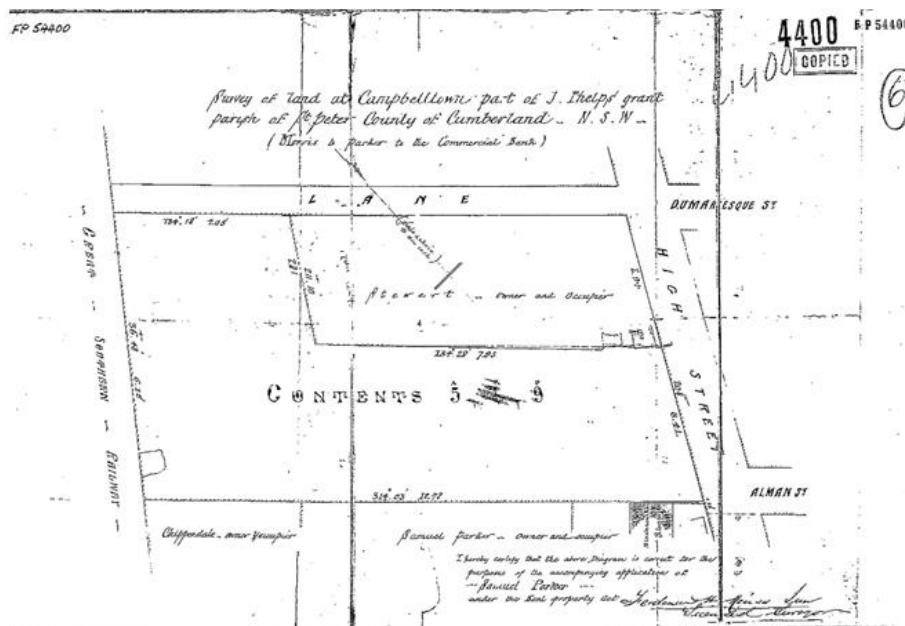


Figure 3 – Plan of part of J Phelps Grant Campbelltown, Parish of St Peter, County of Cumberland, Morris to Parker to the Commercial Bank, 1877.



Figure 4 – Commercial Bank, 1881. (Source: CBC Officers' Club Inc www.cbcbank.com.au)

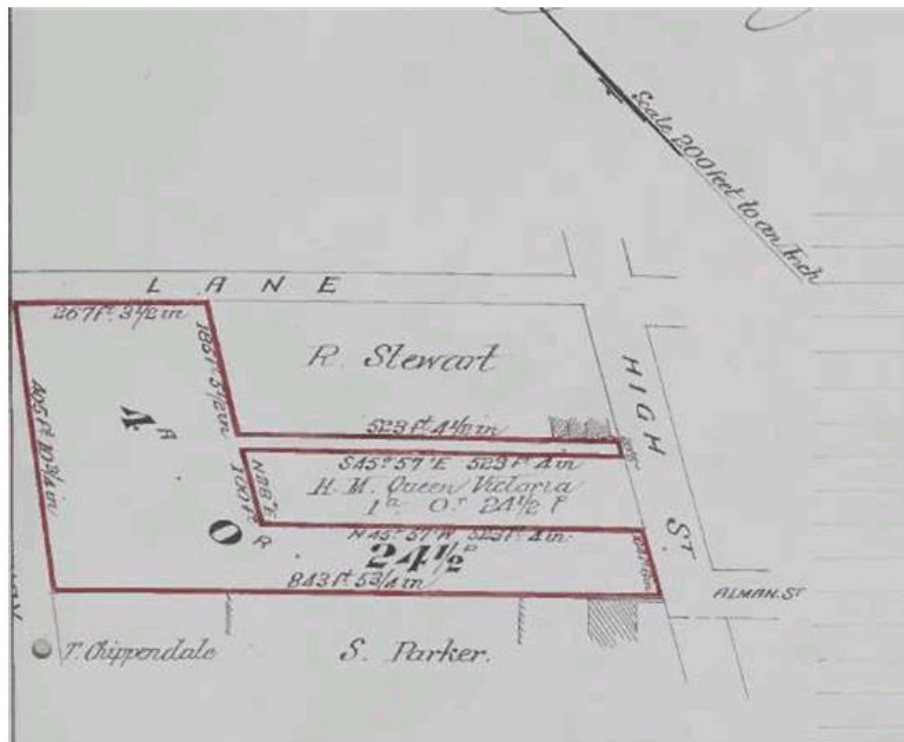


Figure 5 – Block plan accompanying Certificate of Title Vol 494 Fol 10, May 1880. (Source: NSW Land & Property Information)



Figure 6 – Queen Street Campbelltown looking north, c1910. (Source: Campbelltown & Airds Historical Society)



Figure 7 – CBC, 1934? (Source: A Century of Banking: The Commercial Banking Company of Sydney 1834-1934)

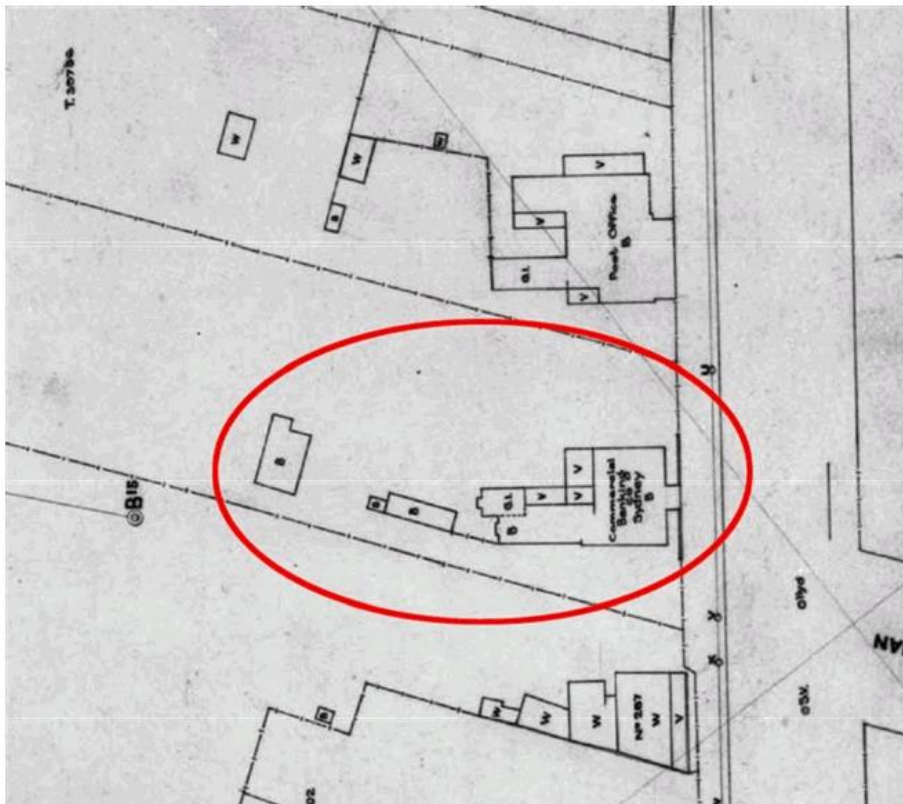


Figure 8 – Extract from DTS2228, Campbelltown Sheet 2, 26 July 1938. CBC circled red thereon. (Source: Sydney Water / WaterNSW Historical Research Facility)

Coinciding with the construction of the bank, in 1880, CBC transferred part of their site to the Government for a post and telegraph office. The residue of the site comprised four roods and twenty-four and one half perches of land as shown in Figure 5.

Ernest R Laver, architect, Cootamundra invited tenders in August 1907 for "general repairs, painting etc." at Commercial Bank, Campbelltown.⁴ The successful tenderer for these works is not known. Gas lighting was installed in the bank in 1913. There appears to have been minimal building work until 1958 when a single-storey addition was built at a cost of £5610 and the interior of the building was extensively remodelled to provide a modern banking chamber, additional working space and staff amenities. This addition was a standard addition by the Bank to premises of this kind, it being almost identical to works at Blayney and Picton.

In 1948 and 1949, conveyed part of their land to Keith Charles Smart and Samuel William Bursill⁵ but retained Lot D comprising one acre thirty-five and one quarter perches of land. In 1959, they transferred another portion of their land (Lot C) to the Commonwealth of Australia, leaving a residue of two roods and four 4 perches (Lot D).⁶ In the 1960s, a newer commercial building was built to the rear of the site, however there was no physical connection between the buildings and this 1960s building was demolished for the existing commercial development at the rear.



Figure 9 – Block plan accompanying Certificate of Title Vol 7904 Fol 176, May 1960. (Source: NSW Land & Property Information)

⁴ "Tenders", *Cootamundra Herald*, 10 August 1907, p3

⁵ Certificates of Title Vol 494 Fol 10, NSW Land & Property Information

⁶ Certificate of Title Vol 6130 Fol 240, NSW Land & Property Information



Figure 10 – Street elevation of CBC, c1960-70 / Steven Roach. (Source: Steven Roach Collection - Campbelltown City Library. Local Studies Collection)



Figure 11 – Rear elevation of CBC, October 1981 / Verlie Fowler. (Source: Campbelltown City Library Local Studies Collection)



Figure 12 – Shed at rear of CBC, October 1981 / Verlie Fowler. (Source: Campbelltown City Library Local Studies Collection)

In 1985, following the merger with NAB, the bank moved into shopfront premises in Queen Street, later into Lithgow Street, and more recently into Macarthur Square, Campbelltown.⁷ Following a change of ownership, the Campbelltown City Council approved an application in 1985 for internal modifications being removal of some existing walls, reuse of existing cedar joinery with additions to match, restoration of a magnificent plaster ceiling, over the former banking chamber. Accordingly, the banking chamber was altered and original bank fittings removed, but the stone domed vault was retained, as was the original staircase and other joinery.

The new owners of the property at this date were Janango Pty Ltd. There is a lease registered on the land title dated 13 April 1986 to Pancakes Australia Pty Ltd "of restaurant on ground floor and offices on first floor". A permanent conservation order was imposed on the site on 01 May 87. On 30 May 1987, a lease of offices on the first floor is registered to Stephen J Wood. The property was transferred in Jan 1988 to Presitro Pty Ltd. Pancakes Australia Pty Ltd surrendered their lease in 1991. The following year a major redevelopment took place in the rear yard of the property whereupon the stables/coach house was demolished after being archivally. Simultaneously, the subject site was strata subdivided in September 1992. The permanent conservation order was converted to State Heritage Register listing on 02 Apr 99.

263 Queen Street was then converted to offices of Campbelltown-Macarthur, while the rear of the premises was developed with a small number of shops, underground parking. The newspaper occupied the building for some time but by 2011 the building was used as a medical centre.

⁷ Information supplied by Norm White, April 2011



Figure 13 – Plan of subdivision of Lot 1 in DP 123556, 1992. Sheet 1 of 2. (Source: NSW Land & Property Information)

3.0 PHYSICAL EVIDENCE

3.1 CONTEXT

The streetscape of Queen Street is a particularly long, low-scale suburban high street shopping strip. The commercial buildings are predominantly one or two storeys, and the building range in age from the Georgian period to recent decades. There are nearby carparking areas.

The rear sections of the allotments on the north-west side of Queen Street have been zoned for high-rise development.



Figure 14 – The former Campbelltown Post Office at 261 Queen Street has a similar scale, form and Victorian Italianate detail as the subject building next door. These two buildings have a visual relationship and contribute to the streetscape.



Figure 15 – The commercial building with underground car parking at the rear of the site.



Figure 16 The subject heritage item (centre) in its context, in a view looking north-west along Allman Street. The nearby former Post Office can be seen.

3.2 VIEWS

The subject building is prominently located along the Queen Street commercial strip of Campbelltown. The front façade terminates the northern vista along Allman Street. The subject former Commercial Banking Company of Sydney bank branch and former post office next door represent a common pairing in late nineteenth-century towns. Their common scale and Victorian Italianate detailing makes for a cohesive small historic group in the streetscape.

3.3 CURTILAGE

The curtilage of the former CBC Bank at 263 Queen Street, Campbelltown is a reduced-lot heritage curtilage. This type of heritage curtilage is less than the lot boundary of the property. It arises where the significance of the item may not relate to the total lot, but to a lesser area, and is often only defined when recent development has occurred. In this case, the rear section of the backyard has had nothing of heritage value since the 1992 development at the rear of the property was completed. The rear 27m of the property occupied by the 1992 commercial building should be excluded from the heritage curtilage because it is a large commercial building that is unrelated to the 1880 bank branch, that also removed the archaeological record when the underground carpark was built.

The effective curtilage of the property extends into the public domain, across Queen Street and for some distance up Allman Street because these areas are necessary for views of the building.

The heritage curtilage of the property includes the full width front section of the property to contain the remaining original building, front fence, and two trees on the south-west side. The north-western wall of the service wing has no original openings that look further towards the rear of the property. There is potential to reconstruct the rear veranda, which would have views towards the rear, and engage with the central part of the site for the first time in several decades.

3.4 IDENTIFICATION OF EXISTING FABRIC

3.4.1 STRUCTURAL SYSTEM

The structure consists of load-bearing brick walls, which likely splay outward where they rest on the earth foundation. The floors and roof are a timber sub-structure of bearers and joists that rest on the brick walls. The roof structure is a triangulation of rafters supporting the battens for the slates.

The rear service wing has a more complicated structural system due to the modifications for bathrooms in 1985. The north-eastern bay at ground level has light-weight partition walls where the original brick walls were. The original first floor perimeter walls are intact, and are supported on rolled steel joists at the north-eastern end.

3.4.2 EXTERNAL DESCRIPTION

The building is a substantial two-storey late-Victorian bank with residence above that has been extended to the rear and northern side. It is constructed of rendered masonry with a slate roof. The walls are predominantly brick, set on a sandstone plinth approximately 60mm wider than the brickwork. The window sills are also sandstone to ensure drainage through the width of the wall. The building has the stylistic characteristics of the Victorian Italianate period, including a symmetrical block form with an enclosed entrance porch, and a hip roof that appears to be simple at the front, with the parallel ridges and box gutter only visible at the back. The roof pitch is sufficiently steep for the slates to shed water. Typical decorative features of the Victorian Italianate style include the lime-cement rendering of the brickwork in classical style, with the openings articulated with arched hoods on consoles, the sandstone sills project with render consoles appearing to support them. The eaves are seemingly supported with pairs of masonry consoles. Mansfield often used pairs of windows in groups about the entrance. The chimneys have a classical frieze at the top of their shafts.

The steps and thresholds are dark grey slate. The front boundary fence has a palisade fence made of a sandstone plinth and piers, with wrought iron fence set into the stone in a lead lining. The palisades have decorative cast spear heads and two horizontal bands of iron. The wrought iron gate has been missing for many decades.



Figure 17 – The front elevation of the subject building. The single level extension to the right is a later addition. NBRSArchitecture February 2017.

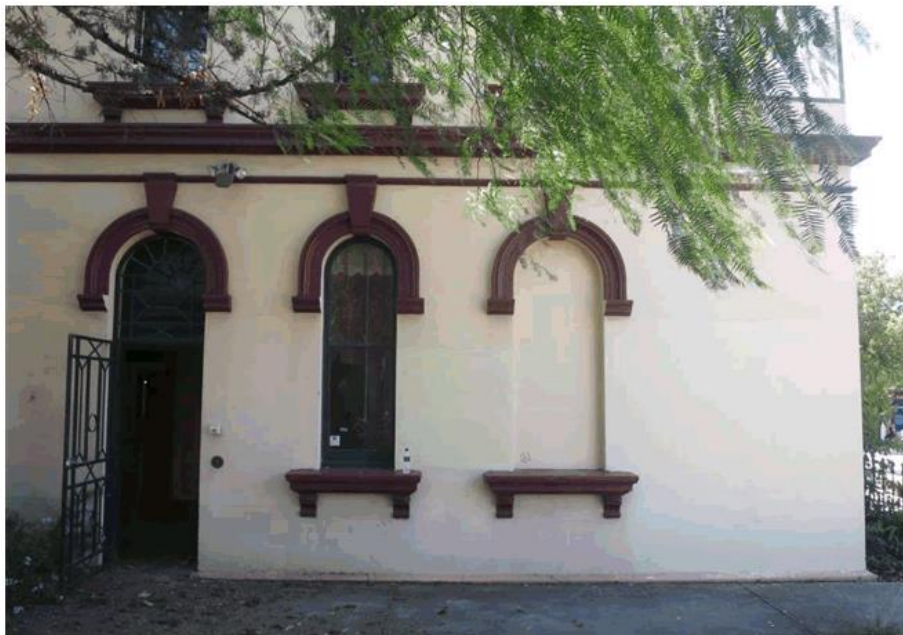


Figure 18 – The entry to the residence and window of the bank manager's study on the south-west elevation. The timber door is original. NBRSArchitecture February 2017.



Figure 19 – The south-west elevation of the remains of the service wing. The two-storey section is original but altered. The single-storey section on the left is 1990s fabric on the side of the much longer single-storey service wing that contained the laundry and coal stores. The tree is a Virginian juniper. NBRSArchitecture February 2017.



Figure 20 – The rear extension of the former bank was built in the period 1985-95. It is not significant. NBRSArchitecture February 2017.



Figure 21 – Easterly view showing the non-significant single-storey rear section, and beyond, the two-storey section that is largely original. NBRSArchitecture February 2017.



Figure 22 – Southerly view showing the non-significant single-storey extension in the foreground that should be removed from the original building. NBRSArchitecture February 2017.



Figure 23 – The rear veranda is from the 1985–95 period. It screens the air-conditioning equipment. NBRSArchitecture February 2017.

3.4.3 INTERNAL DESCRIPTION

The core of the building has two storeys, separated by former storerooms at each level under a low-pitched corrugated steel roof, from a two-storey smaller service wing that may have contained functions such as toilet, coal store and scullery at the ground floor, and a maid's room at the first floor. The core building has its banking chamber behind the enclosed porch, extending to the original north-west side wall. This is the largest space in the original building and has the most elaborate cornice and skirting. To the left of the main entry is the bank manager's office with access to the banking chamber and the stair hall to the residence above. A large back room for clerical staff is behind the banking chamber; this was originally the dining room for the residence and there would have been no door between this room and the banking chamber. The bank vault was originally accessed from the clerical room. The end walls of the vault have been removed, exposing the barrel-vaulted ceiling.

The timber stair rises to the former apartment above that contains four large rooms and a smaller room looking over the ground floor porch, linked by a central corridor. There is a timber-framed back verandah with lattice screening, likely reconstructed.

The joinery is typical of a prestige late Victorian building. The joinery is profiled, not carved. The skirtings are tall and consist of several types scaled according to the prominence of the space. There appears to be no original skirting in the banking chamber. The skirting here is grander than the other original spaces and is likely to be a faithful reconstruction from 1985. The remaining habitable rooms of the bank and the residence have a slightly smaller skirting that is the same across rooms designed for residential and commercial purposes. A smaller skirting is in the linen cupboard.

The original ceilings were most likely originally lath-and-plaster with the cornices in run profiles in plaster. None of the lath-and-plaster ceilings are visible, but the circumstances suggest that these ceilings have failed and have been covered with later suspended systems. The entry foyer (G.04) and office (G.05) have suspended battened ceilings typical of the 1920s, which likely fixed the remains of the lath and plaster ceiling to the joists above and provided a new ceiling that covers the upper section of the cornice in the case of G.05, while the only place where the original cornice can be seen is in G.04. The banking chamber G.02 has a substantial cornice, but it is clearly modern, from c1985. The lower section is a timber moulding, the central frieze panel is plasterboard with cast plaster consoles (wrong way up) fixed to it, then a conventional Victorian profile design fixed on top of this. Ultimately, it is a set of Victorian style elements combined in an unconvincing way. On the first floor, the corner bedrooms facing the street have the lower section of their original cornices exposed, and a suspended panel conceals whatever else remains of the original ceiling. The banking chamber's ceiling rose is likely to be a reconstruction, but it is an appropriate selection. The other first floor rooms have suspended ceilings that hide evidence of the original treatment.

The entry porch (G.01) has a pressed metal ceiling with a small-scale pattern that was popular in the Federation period. It might be original to 1880, or an early change, following a leak in the building's early decades that caused the original lath and plaster ceiling to collapse.



Figure 24 – The banking chamber G.02 showing the recent desk, openings to G.05 and G.06 (former strong room on the right). the skirting is reconstructed, but appropriate. NBRSArchitecture February 2017.



Figure 25 – The banking chamber G.01 showing the original entry doors and windows. NBRSArchitecture February 2017.



Figure 26 – Original windows and skirting in G.03, bank manager's office. NBRSArchitecture February 2017.

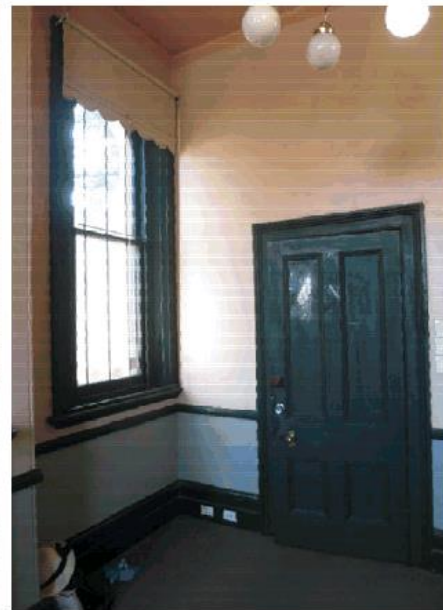


Figure 27 – Original door and side elevation window in G.03 to be replicated in the conservation works.



Figure 28 – Likely original cast iron coal grate in G.03. The timber mantelpiece is recent and should be replaced with a Victorian design, preferably in marble. NBRSArchitecture February 2017.



Figure 29 – The original door to the residence on the south-west side, original cornice. The splayed trim at the bottom of the leaf is not original.



Figure 30 – The original stair, with more recent carpet and stays, in G.04. NBRSArchitecture February 2017.



Figure 31 – The original dining room G.05 on the ground floor. The niches, skirting and cornice are original, but the central fireplace has been turned into a doorway to the former strong room. The chimney rises over the left niche.



Figure 32 – View across the stair hall to the former maid's room, now bathrooms



Figure 33 – The intact original door to the former drawing room 1.02. NBRSArchitecture February 2017.



Figure 34 – Room F.04 has original skirting, window, door and cornice. Later services have been cut into the, and mounted onto, the timber skirting. NBRSArchitecture February 2017.

4.0 ESTABLISHED HERITAGE SIGNIFICANCE

The site is identified on the following statutory lists:

- Heritage Act - State Heritage Register (SHR) 00499;
- Campbelltown Local Environmental Plan 2015, "Commercial Bank of Sydney (former)" heritage item number I00499.

As such, the property is subject to the heritage provisions of the *Campbelltown Local Environment Plan 2015* and the *Campbelltown Development Control Plan (DCP)* under the Planning and Assessment Act 1979. Campbelltown Council must take into consideration the potential impact of any proposed development on the heritage significance of the heritage items and conservation areas.

The property, due to its listing on the SHR, is also subject to Section 60 approval from Heritage NSW.



Figure 35: Excerpt from the Campbelltown LEP 2015 heritage map. Heritage items are shown brown and Conservation Areas are hatched red. The subject site is outlined in blue. (Source: Campbelltown LEP 2015, Heritage Map HER_008BC)

4.1 SIGNIFICANCE OF THE SUBJECT SITE

The following Statement of significance is sourced from the State Heritage Register.

The Commercial Banking Company of Sydney set up its first Campbelltown office in McGuannes House in 1874 and moved into its own premises at 263 Queen Street, in 1881. The Italianate style building was designed by Victoria's Mansfield Brothers, the architects responsible for a number of the bank's projects.

The bank complements the old Post Office next door in period, scale and style and together these make an important contribution to this area of Queen Street (Branch Manager's Report, 1985 & press release, Michael Knight, MLA for Campbelltown, 19/4/1985).

NBRSArchitecture prepared the following, more detailed, statement of significance in the 2017 CMP (as updated)

The former bank with residence above and its site provide evidence for the growth of Campbelltown as a local commercial centre in the late Nineteenth Century. The building demonstrates the extensive branch network of the former Commercial Banking Company of around 1880, and is a good example of a prestigious commercial building in the Victorian Italianate style. The site is associated with the architect GA Mansfield and his office, who designed about 70 branches for the former CBC, and hundreds of other buildings in the late Victorian era.

The building is largely intact with grandly scaled interiors that are fitted out with joinery work for a prestige building. The former bank building has capacity to demonstrate period building techniques and fixtures. The footings of the single-storey rear service wing may remain, but they are unlikely to provide information about the building in addition to what is available in the documentary record. The former bank and adjacent post office contribute to the setting of the Georgian commercial buildings to the south-west along Queen Street.

The following grading diagrams are taken from the CMP and identify the various levels of significance of the existing building.



Figure 36 - Significance grading diagrams. It should be noted that all fabric of High significance will be retained, with only minor changes to the structure graded as being of Moderate significance at the rear of the former bank. Sourced from the CMP.

4.2 SIGNIFICANCE OF ITEMS IN THE VICINITY

4.2.1 CAMPBELLTOWN POST OFFICE (FORMER)

The following Statement of Significance for the Campbelltown Post Office (former) is sourced from the NSW Heritage Database, reference number 5045301:

- Item: I00265 (SHR 0265)
Campbelltown Post Office (former)
261 Queen Street

Campbelltown Post Office has historical significance as one of the the seven first country postal depots in New South Wales, with postmaster John Scarr appointed in 1828. Design by James Barnet and constructed in 1881 in the Italianate style it is a significant building in the Campbelltown streetscape and is a good example of a small country town post office. (Heritage Office file)



Figure 37 - View of the former Post Office from Queen Street. The subject site view to the left of the image and the modern main street retail buildings lie to the right. Source: Google Street view



Figure 38 - View south west showing the relationship between the former and Bank and Post Office buildings on Queen Street. Source: Google Street view

4.2.2 QUEEN STREET BUILDING GROUP & QUEEN STREET HCA

The Queen Street HCA contains a heritage item comprising a group of buildings. The extent of the conservation area also includes other buildings which have retained their historic character, and so contribute to the significance of the HCA.

- Item: I00007 (SHR 0007)
Queen Street Building Group, comprising McGuanne House, former Railway Hotel, Bursill's Shop and former coach house
286, 288, 292–294 and 298 Queen Street

The Queen Street Buildings are among the earliest buildings surviving in Campbelltown, which was one of the first centres of population to be established outside of Sydney. The buildings were owned and used by many families who played a leading role in the foundations and development of Campbelltown during the 19th Century (Phillips, 1995, Section 5.2).

The buildings retain a good deal of evidence about the way of life at the time they were constructed, the buildings were one of the first instances of the State Government buying privately owned property for the purpose of conservation. The Cumberland County Council purchased them in 1963, and was seen as a landmark movement in the history of the conservation movement in NSW. The Buildings were also among the first to be given an A classification by the National Trust (Phillips, 1995, Section 5.3).

Of the remaining Georgian design building left in Australia, even fewer are of the standard which is seen in the Queen Street terraces, they are examples of commercial and domestic buildings from the 19th Century (Phillips, 1995, Section 5.4).



Figure 39 - View of the heritage items at the northern end of the heritage conservation area. Source: Google Street view



Figure 40 - View north east from the Queen Street conservation area, the red arrow indicates the proximity of the former Bank Building set below the HCA due to the sloping topography. Source: Google Streetview.

5.0 THE PROPOSAL

5.1 DESCRIPTION OF THE PROPOSAL

The proposed development, designed by FJMT Studio, includes the following:

- Demolition of an existing non-significant commercial building at the rear of the site;
- Development of a new multi storey commercial building at the rear of the site;
- Development of a landscaped entry off Queen Street, with clear views into site;
- Inclusion of an 18m setback creating a forecourt area between the new building and the rear of the existing historic structure;
- Demolition of later, non-significant additions and accretions to the north and rear of the heritage building;
- Conservation of the original fabric to restore the original character of the heritage building, including the implementation of an appropriate external colour scheme and reconstruction of the rear verandah;
- Minor internal works to remove later changes to the building;
- Adaptation of a later bathroom block at the rear of the heritage building for use as a café, opening out onto the forecourt area; and
- Landscaping works, including establishment of a sympathetic setting around the former bank building and interpretation of the palisade fence and provision of an access ramp along the south western elevation.

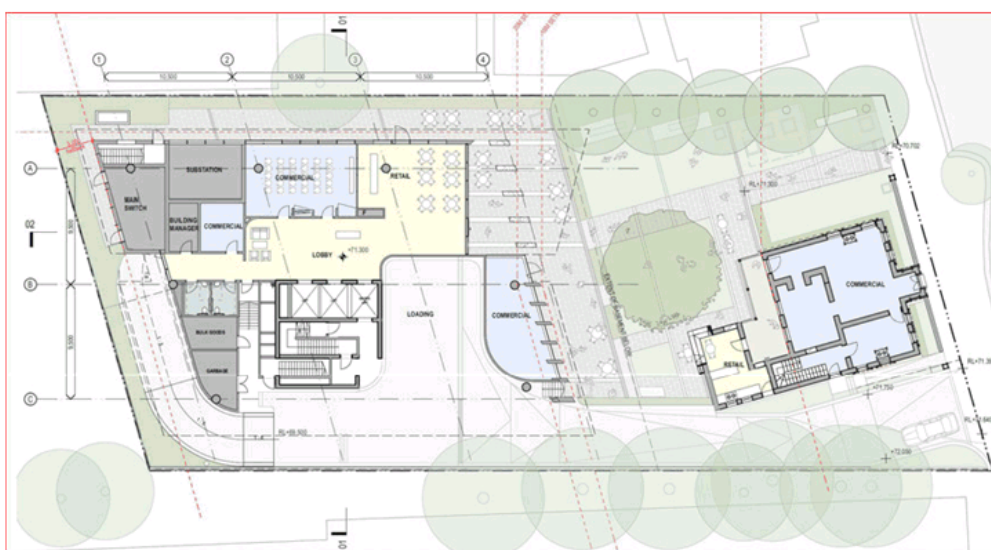


Figure 41 - Site plan showing the relationship of the proposed commercial tower to the west of the heritage building. This drawing also shows the recaptured footprint of the former bank building as it addresses Queen Street. The setting of the building is supported by the implementation of an appropriate landscape setting, including the retention of mature trees on the site. Source: FJMT Studio

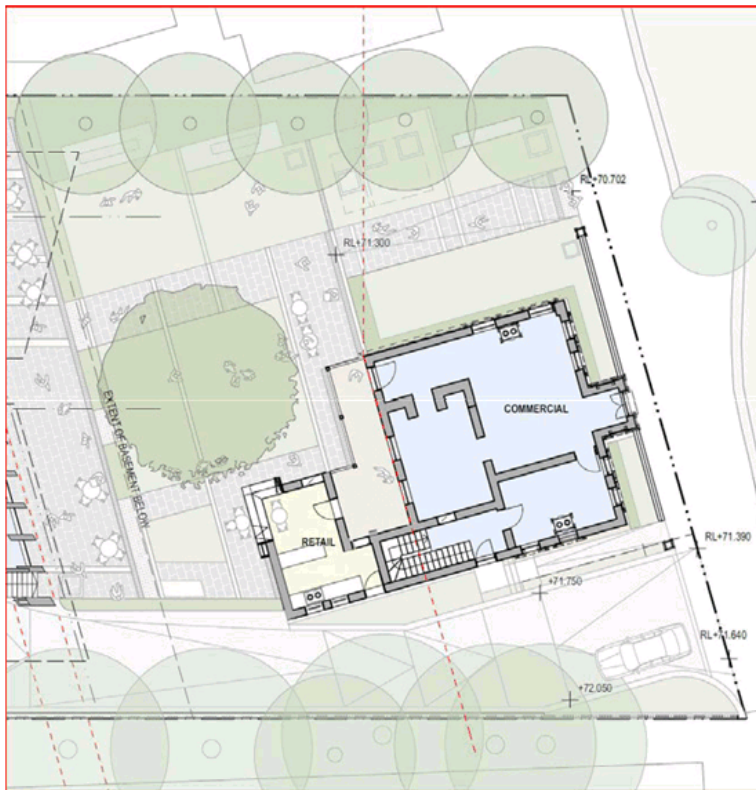


Figure 42 - Plan of the ground floor layout of the existing building, including the proposed adaptation of the rear addition for use as a small cafe opening onto the landscaped forecourt area. The rear structure is graded as being of moderate significance in the CMP, and as such careful and considered change to this area is acceptable. There are no significant changes to the existing ground floor layout, with some reconstruction of lost elements to recapture the earlier character of the spaces. The proposal includes some releveling of the site requiring an access ramp and steps to the south western side of the building. Source: FJMT Studio

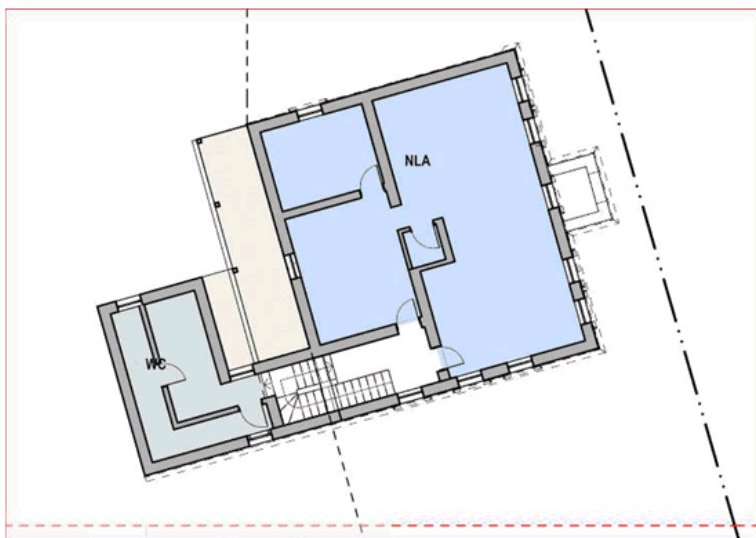


Figure 43 - Plan of the first floor layout showing the reconstructed rear verandah and the provision of WC facilities in the non-significant rear addition. Some minor internal walls have been removed to facilitate open working areas – it is intended that ribs and bulkheads be retained to conserve the legibility of the original layout. Source: FJMT Studio

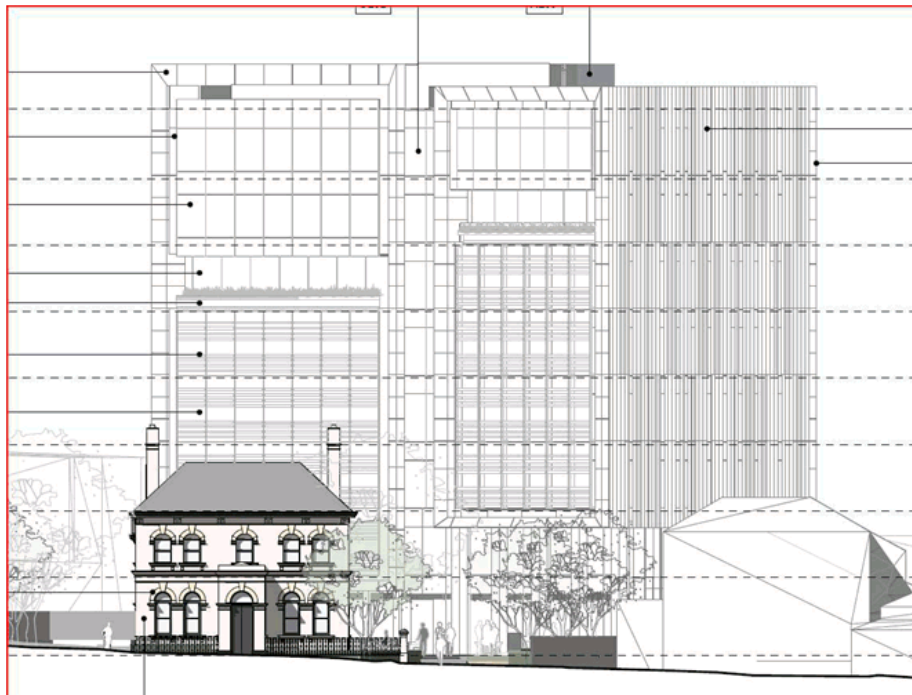


Figure 44 - Queen Street elevation showing the restored former bank building with the new development behind. The arrangement of the new building on the site retains the prominence of the subject building and the former Post Office building adjacent to retain a strong streetscape presence. Source: FJMT Studio



Figure 45 - View of the relationship between the existing building and the new development behind. This image demonstrates the northern facade of the heritage building following the removal of the later single storey additions forming the backdrop to the entry to the site, as well demonstrating that the adapted rear addition remains secondary to the form and scale of the heritage building. This image also indicates the restored rear verandah as well as demonstrating the relationship of the café window facing onto the forecourt area, effectively allowing the rear of the heritage building to engage with the new open area between the buildings without diminishing any appreciation of the heritage significance of the item. Source: FJMT Studio

5.2 ARCHITECTS STATEMENT

The following description of the project has been provided by FJMT Studio.

The proposal seeks to restore the existing heritage listed former CBC Bank building located at the front of the site, demolish an existing commercial building at the rear of the site and construct an 8-storey commercial building with 2-basement carparking, landscaping and public domain works. The heritage building comprises of a ground floor extension built in the 1960's. This extension will be demolished as part of the works so as to return the building to its original design.

The proposal comprises of 5,913m² of Commercial GFA and 75m² of Ground Floor Retail GFA including the heritage building floor area. There is 2 levels of basement car parking accessed from a vehicular ramp along the south-western boundary of Queen St providing 22 car spaces (including 1 accessible space), 48 bike spaces, 6 visitor bike spaces and associated EOT facilities. The access driveway will be single-lane adjacent to the retained rear service wing of the 1880 building.

5.3 DOCUMENTATION EVALUATED

The following drawings, prepared by FJMT Studio, were reviewed as part of the preparation of this report:

DRAWING NO.	DRAWING TITLE	ISSUE	DATE
10_01	Cover Sheet	00	For Approval
20_00	Ground Floor Plan	00	For Approval
20_01	Level 1 Plan	00	For Approval
20_02	Level 2 Plan	00	For Approval
20_03	Level 3 Plan	00	For Approval
20_04	Level 4 Plan	00	For Approval
20_05	Level 5 Plan	00	For Approval
20_06	Level 6 Plan	00	For Approval
20_07	Level 7 Plan	00	For Approval
20_08	Level 8 Plan	00	For Approval
20_B1	Basement 1 Plan	00	For Approval
20_B2	Basement 2 Plan	00	For Approval
30_01	South East Elevation	00	For Approval
30_02	South West Elevation	00	For Approval
30_03	North West Elevation	00	For Approval
30_04	North East Elevation	00	For Approval
40_01	Section 01	00	For Approval
40_02	Section 02	00	For Approval

6.0 ASSESSMENT OF HERITAGE IMPACT

6.1 INTRODUCTION

This Heritage Impact Statement has been prepared in relation to the following impact assessment criteria: the *Campbelltown Local Environmental Plan (LEP) 2015*, the Campbelltown Development Control Plan (DCP) and the New South Wales Heritage Office (now Heritage NSW) guidelines, *Altering Heritage Assets* and *Statements of Heritage Impact*, contained within the NSW Heritage Manual. This report also assesses the proposal against the policies established in the Conservation Management Plan (CMP) for the site, prepared by NBR SARCHITECTURE, dated March 2017.

6.2 OVERVIEW OF POTENTIAL HERITAGE IMPACTS

PROPOSED WORKS	HERITAGE IMPACT
<p>Development of the rear of the site to support a multi storey commercial building of a contemporary design.</p>	<ul style="list-style-type: none"> • Adverse, but acceptable heritage impact <p>The character of the new building has been detailed to read as a contemporary backdrop to the heritage building, with the height having been determined by earlier view analysis and an appreciation of the desired future urban character contemplated in the surrounding planning controls. The new building is understood in the context of a changing urban character in the center of Campbelltown, reflected in the consent authority's adopted planning controls.</p> <p>The subject site lies to the north of the Queen Street heritage conservation area, where the topographical relationship between the two sites has the HCA sitting higher than the site. The result is that the new tower will be read as part of the urban development in views from the HCA, however the tower will not alter the appreciation of the heritage items contained within the HCA.</p> <p>Importantly, the proposed setback of 18 meters between the heritage item and the new tower creates a forecourt area that enhances opportunities for informal gathering and additional public domain uses. This area is reached via an open, landscaped pathway from Queen Street which runs along the northern elevation of the heritage item. This access route enables views of the heritage item essentially 'in the round' and so supports an enhanced appreciation of the recaptured character of this Victorian era building.</p>
<p>Retention of the commercial use of the historic building.</p>	<ul style="list-style-type: none"> • Positive heritage impact <p>Whilst it is unlikely that the place will be occupied by a bank, the retention of a commercial use for the buildings is a desirable outcome as it will have the least physical impact on the fabric.</p> <p>A commercial use will support the ongoing care and maintenance of the place without requiring unacceptably high changes to the fabric of the building.</p>

<p>Retention and conservation of the fabric of the Victorian era former bank building, including removal of the later additions and accretions to reinstate the original form and scale of the historic building.</p>	<ul style="list-style-type: none"> • Positive heritage impact <p>The removal of later additions to the building, most notably the single story structures to the north and rear, will result in a positive heritage outcome. This action will enable views of the original form, scale and architectural character to be recaptured.</p> <p>The restored form and façade detailing will also contribute to an enhanced appreciation of the earlier, historic nature of the streetscape, specifically as the former bank building is read together with the adjacent former Post Office building immediately to the north.</p> <p>The restoration works are further supported by the development of a sympathetic landscaped setting and exterior colour scheme.</p>
<p>Adaptation of the rear two storey structure for café and WC uses.</p>	<ul style="list-style-type: none"> • Positive heritage impact <p>The two-storey structure at the rear is not visible from the street; for this reason its adaptation to provide a café at ground level and upgraded bathroom facilities to the first floor is a positive heritage outcome.</p> <p>The two-storey structure is graded as having a moderate level of heritage significance in the CMP. The ground level structure also includes some intrusive structure which would be removed as part of the corner window design.</p> <p>Retaining the bathroom facilities in this separated structure outside the primary building envelope reduces the need for change to significant heritage fabric, whilst still supporting the ongoing use of the place for commercial occupation.</p> <p>The proposed ground level café addresses the forecourt area, and includes a large corner window. The contemporary detail and use is contained within fabric of Moderate heritage significance and is not confused as part of the original bank building.</p>
<p>Addition of an access ramp</p>	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The provision of a new ramp to the south western side of the building is acceptable; it is required to enable safe access to the existing building doorway where the surrounding ground levels have been adjusted to facilitate effective overland stormwater pathways.</p>

	<p>The ramp is set away from the wall of the building, ensuring the element is easily reversible, and more importantly sufficient space is allowed to provide sufficient drainage and ventilation.</p>
<p>Minor internal works to remove later changes to the interiors, including some opening up of the first floor spaces.</p>	<ul style="list-style-type: none"> • Adverse, but acceptable heritage impact <p>The intention of these works is to conserve the significant fabric and spaces of the interiors of the building identified in the CMP. Alongside this is the need to support a future, as yet unidentified, use for the building to ensure the place is maintained and protected.</p> <p>Changes to the ground level include reinstatement of blocked up openings and infilling of later openings. These changes recapture the sense of the original ground floor layout. These are positive changes to the item.</p> <p>The intent of changes to the first floor interiors are to open up the existing small rooms through the creation of openings in walls. The impact of this work will be mitigated through the provision of nibs and bulkheads so as to retain the legibility of the original layout and special character of the upper floor.</p>
<p>Implementation of a new colour scheme</p>	<ul style="list-style-type: none"> • Positive heritage impact <p>Section 4.5 of the CMP contains an analysis of the original, and subsequent colour schemes for the Victorian era building.</p> <p>The proposed colour scheme has been developed to reflect the traditional approach of a high contrast between the joinery elements and the body of the building. A warm dark grey is proposed.</p> <p>The colours selected for the exterior of the building are two, warm, cream based colours, which allow decorative architectural features to be picked out, providing a subtle contrast across the building.</p> <p>The selected colours compliment the traditional greys of the slate roof, with the darker colour being applied to the palisade fencing.</p> <p>It is a recommendation of this report that site testing of the exterior colour selections be undertaken prior to the works being carried out to refine the colour tones in context.</p>

<p>Provision of new landscaping immediately around the historic building, including conservation of the existing palisade fence.</p>	<ul style="list-style-type: none"> • Positive heritage impact <p>The palisade front fence, including sandstone base wall and pillar, will be retained and conserved.</p> <p>The heritage building is set close to the street frontage and as such has a limited area for landscaping here. The intention is for minimal planting so as not to detract from an appreciation of the restored Victorian façade; it is also not appropriate to provide, for example, a Victorian residential planting scheme as the setting for this commercial building.</p> <p>The landscaping to the northern side of the building forms an integral part of the entry to the site proper and will as a result of the new development bring new users to the site, which will allow more of the heritage significance of the restored heritage building to be appreciated. The proposal is for more open planting with additional large trees along the northern boundary, and a walkway linking Queen Street to the new forecourt.</p> <p>At the rear of the heritage item a new café is proposed that will address the forecourt, and specifically a landscaped square. This landscape design, including a large feature tree at the rear of the heritage building, will assist in integrating this connection between what would traditionally have been a back of house area to the Victorian building and the entry to the commercial tower. It will bring the two buildings together in a way which does not cut off visual or physical access to the heritage building; rather enhancing its ability to contribute to the site through the provision of a new, activated public space.</p> <p>More contemporary planting schemes are appropriate to the side and behind the heritage item.</p> <p>The retention of the open, landscaped space between the heritage item and the northern boundary retains the existing visual relationship between the former Post Office and Bank buildings. In doing this the existing contribution this relationship makes to the heritage character of the Queen Street streetscape is retained.</p>
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6.3 EVALUATION OF THE GUIDELINES OF HERITAGE NSW

This Statement of Heritage Impact has been prepared in relation to the following impact assessment criteria, the *Campbelltown Local Environmental Plan (LEP) 2015*, the *Campbelltown Development Control Plan (DCP)*, and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) guidelines, *Altering Heritage Assets* and *Statements of Heritage Impact*.

The following assessment of this application is based on the guidelines set out by the NSW Heritage Office (now Heritage NSW) publication *Statements of Heritage Impact*, 2002. The standard format has been adapted to suit the circumstances of this application.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

- The State heritage-listed former CBC bank branch built in 1880 in the Victorian Italianate style would be retained and conserved;
- The original fabric of the front fence would be retained and conserved;
- The contribution of the site to the heritage character of Queen Street, including retention of the existing visual and physical relationship with the heritage items and conservation area in the vicinity would be conserved and protected;
- The intrusive elements built around the former bank branch since 1958 would be removed;
- The Schedule of Conservation Works for the former bank branch would be carried out as part of this development application. This schedule follows a thorough investigation of the built fabric of the former bank branch and its fencing, and a comparison of drawings and photos of the many other similar bank branches designed in the same period by GA Mansfield. The building defects have been identified by Nicola Ashurst, scheduled and specified for conservation.
- The proposed adaptation of the rear two storey structure for a café use would support a visual and physical relationship between the existing and proposed buildings as a contributing element of the landscaped forecourt area.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

- The larger part of the development is the construction of a commercial and residential tower at the rear of the site. Whilst there would be a dramatic contrast in scale between the 1880 former bank branch and this tower, it would reflect the desired future character of the wider area envisaged in the current planning controls.
- Other complying towers are proposed for the B3 Commercial Core of Campbelltown, which once completed will result in a more highly densified urban character – with high buildings set close by smaller heritage buildings being a common relationship. The impact of these varying heights on this site will be mitigated by the ability of the scheme to ensure a consistency of low scale of development along the frontage to Queen Street that is similar to the existing scale, with taller development behind that forms a background that is as neutral and respectful as possible.

6.3.1 MAJOR PARTIAL DEMOLITION (INCLUDING INTERNAL ELEMENTS)

- *Is the demolition essential for the heritage item to function?*
- *Are important features of the item affected by the demolition (eg fireplaces in buildings)?*
- *Is the resolution to partially demolish sympathetic to the heritage significance of the item (eg creating large square openings in internal walls rather than removing the wall altogether)?*
- *If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?*

Comment:

The demolition of the post-war additions to the 1880 former bank branch would have a positive heritage impact by removing changes that disfigure and conceal original fabric of the building. The demolition of post-war fabric will enable fabric to be reconstructed at the 1880 bank building based on documentary and physical evidence.

Creation of large openings between rooms on the first floor are proposed to support future use of the building; this action is proposed to be mitigated by the retention of nibs and bulkheads so as to retain the legibility of the original layout of the floor.

The demolition of the 1990s commercial building at the rear of the site would have no adverse impact on the heritage significance of the site because it is a recent building of no architectural distinction.

6.3.2 NEW DEVELOPMENT ADJACENT TO A HERITAGE ITEM (INCLUDING ADDITIONAL BUILDINGS AND DUAL OCCUPANCIES)

- *How is the impact of the new development of the heritage significance of the item or area to be minimised?*

Comment:

The new mixed-use tower would be set back from the rear of the 1880 former bank building. This setback allows for landscaping and a semi-public forecourt to be created to ensure that the former bank can be appreciated as a distinct building. The tower behind would be an entirely separate building. The proposed landscaping within the site, and specifically the forecourt area, would help to create and sustain a dialog between the old and new buildings in the form of an activated semi public space

The proposed development would generate the funds for the very extensive works required to conserve the 1880 former bank building according to the Schedule of Conservation Works. This aspect of the development would have a thoroughly positive impact on the heritage item.

- *Why is the new development required to be adjacent to heritage item?*

The development responds to the desired future character for the B3 Commercial Core zoning for mixed-use buildings up to 32m tall, close to the railway station and in the central business district of Campbelltown. Extensive negotiations between the consent authorities developing an appropriate setback resulted in the current position.

- *How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?*

The tower would be set within the property boundary of the heritage item, however the existing effective curtilage of the site is smaller, and excludes the rear section of the site as it is occupied by the 1990s-commercial building. This 1990s-building removed any archaeological record within its footprint and diminished the original sense of a yard at the rear of this site;

The landscaping of entry and forecourt spaces between the conserved building and the development will have an improved spatial quality, providing a much improved context for the conserved rear verandah and service wing;

The 1990s commercial building at the rear of the site was built to the boundaries. The proposed new building will have minimum 3m setback at the rear and side boundaries at ground level.

- *How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?*

The proposed tower would not diminish the visibility of the 1880s former bank building from the public domain.

Considering that there are no existing views to the rear (north-west) from original openings in the 1880s building, the proposed tower would not diminish existing views from the 1880s building to the hills to the west of Campbelltown. The proposed tower responds to the desired future character of the zoned precinct. This would diminish the recoverable views to the rear when the rear verandah is reconstructed. There was a traditional view from the verandah over the rear of the former bank's yard, over the railway line, and onto the grazing hills of the horizon; this has been diminished by later development beyond the subject site.

- *Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?*

See the review by Casey & Lowe of the Archaeological Assessment of the site by Martin Carney, 1994.

- *Is the new development sympathetic to the heritage item? In what way (eg form, siting, proportions, design)?*

The new development is set well away from the heritage item, with a 18 meter setback creating a forecourt between the buildings which provides a physical and visual curtilage for the heritage item. It further supports a more generous appreciation of the rear of the building, one not traditionally provided by the building and its very formal manner of addressing Queen Street.

The proposed tower has a two-storey commercial section that would be exposed in distant views from Queen Street, so that this element would have a similar scale to the 1880 period bank building. The tower would have a degree of spatial complexity and articulated shading systems that reflect a distant affinity with the Victorian Italianate forms of the former bank; whilst being of a clearly contemporary design distinguishing the new from the old.

The new tower has a façade design that reads as secondary to the heritage item, reading as a backdrop to the former bank building as well as to the late Victorian heritage items along Queen Street.

- *Will the additions visually dominate the heritage item? How has this been minimised?*

The proposed tower will change the wider setting of the item, however as these views are those at the rear of the building it will not diminish an appreciation of the form, scale and detail of the Victorian Italianate building from the public domain.

The recapturing of the original form of the building through the removal of later accretions results in a clearer understanding of the original building and its character; this in turn improves its contribution to views of the streetscape.

- *Will the public, and users of the item, still be able to view and appreciate its significance?*

The proposed development will enable the 1880 former bank to be appreciated by the public more clearly, since the intrusive northern side addition would be removed and the original fabric made good. The development will continue to provide public access to the rear of the site, so the reconstructed rear verandah will enhance public perceptions of the building. The former bank is likely to be put to a commercial use, so the public is likely to

6.3.3 REPAINTING

- *Have previous (including original) colour schemes been investigated? Are previous schemes being reinstated?*
- *Will the repainting affect the conservation of the fabric of the heritage item?*

Comment:

The early colour schemes have been investigated and are recorded in the section 4.5 of the CMP. The 1880s building will be repainted in a scheme that has been informed by the original and likely second colour schemes.

- *Will the repainting affect the conservation of the fabric of the heritage item?*

Materials that are traditionally painted will continue to be painted as part of the long-term maintenance of the heritage item.

6.3.4 NEW LANDSCAPE WORKS AND FEATURES (INCLUDING CARPARKS AND FENCES)

- *How has the impact of the new work on the heritage significance of the existing landscape been minimised?*
- *Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated?*
- *Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented?*
- *Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered?*
- *How does the work impact on views to, and from, adjacent heritage items?*

Comment:

The subject site contains two trees, a Peruvian pepper and a Virginian juniper. Both were likely planted around the middle of the Twentieth Century and have moderate landscape significance, though they are unrelated to the early period of the bank in Campbelltown. These trees would be removed for the new driveway. The row of trees to the south side of

the site would be retained and they would provide a buffer between the subject site and Campbelltown Mall.

The garden behind the front palisade fence has no heritage significance, and must be removed in order to conserve the adjacent sandstone building fabric. It would be replanted with low-height plants.

The photographic record does not indicate that the site ever had a significant cultural landscape of planting.

The landscape works in themselves would not have any archaeological impacts. The archaeological impacts of the project generally are discussed in the review of the Archaeological Assessment by Casey & Lowe.

The landscape works are intended to help blur some views between the conserved former bank building and the high-rise tower at the rear of the site through the planting of a feature tree capable of growing large in the space between the two buildings. Otherwise, the former bank building would be quite well exposed in views from within the front half of the site.

6.3.5 NEW SIGNAGE

- *How has the impact of the new signage on the heritage significance of the item been minimised?*
- *Have alternative signage forms been considered (eg free standing or shingle signs). Why were they rejected?*
- *Is the signage in accordance with Section 6, 'Areas of Heritage Significance', in Outdoor Advertising: An Urban Design-Based Approach?²⁸ How?*
- *Will the signage visually dominate the heritage item/heritage conservation area or heritage streetscape?*
- *Can the sign be remotely illuminated rather than internally illuminated?*

Comment

No signage is proposed in this application.

The Conservation Management Plan for the former bank building contains policies to conserve the heritage significance of the building, while allowing for commercial use of the building. A commercial use would continue the traditional use of the building and is likely to be the least impactful on the original and reconstructed fabric of the building. A commercial use with sufficient signage to identify the business conducted inside is likely to be necessary to raise funds for the maintenance of the heritage building.

Any proposed new signage would be assessed as part of a future development application.

²⁸ A joint publication by the Department of Planning (NSW) & Department of Planning and Housing (Vic). Published by the Department of Planning (NSW), Sydney, 1991

6.4 COMPLIANCE WITH THE CONSERVATION MANAGEMENT PLAN

The following table summarises the conservation policies in the CMP that are relevant to this Statement of Heritage Impact.

Policies or recommendations	This Proposal Relates to these Policies as follows:
<i>Policy 4 – Conformity with Burra Charter Principles</i>	Complies
<i>Policy 6 – Conservation in Accordance with Significance</i>	Complies: fabric with high significance would be conserved, fabric with moderate fabric would be conserved, but allows some opportunity for adaptation, intrusive fabric would be removed.
<i>Policy 12 – Conservation of the former bank in Accordance with the CMP. The former bank should be conserved in accordance with the policies of this Conservation Management Plan (CMP).</i>	<p>The 1880 bank and fence would be conserved in accordance with the policies of the Conservation Management Plan, and the specific works of the Schedule of Conservation Works.</p> <p>This will have considerable positive heritage impacts on the physical form and condition of the fabric.</p>
<i>Policy 19 – Allowing for High-rise Development with a Strata Plan on the Site</i>	<p>The Campbelltown LEP 2015 allows for development to 32m over the subject site. Considering that this is the desired future character of the planning documents, policies have been prepared and adopted to minimise adverse heritage impacts on the 1880 building. Since a large part of the site cannot be developed due to the heritage item, and due to the many very positive heritage impacts resulting from conservation of the heritage building of 1880, the proposed tower building is acceptable. The additional height is proportional to the increased setback from the rear of the former bank building.</p>
<i>Policy 20 – Consistency of Future Uses with Cultural Significance</i>	<p>While the use of the 1880 building is not known at the time of writing, the conservation policy for the building to have a commercial office use is intended to be adopted.</p>
<i>Policy 21 – Development potential</i>	<p>The development at the rear would be substantially offset from the rear of the main section of the former bank.</p> <p>An important objective in determining an appropriate setback between the conserved bank and development in the rear of the site is the capacity for large trees to grow in this space, alongside enabling the conserved building to be seen in the round.</p>

6.5 COMPLIANCE WITH CAMPBELLTOWN LOCAL ENVIRONMENTAL PLAN 2015

The subject site is located in close proximity to a number of heritage items of local significance. The *Campbelltown Local Environmental Plan 2015* (CLEP) is the planning instrument relevant to the proposed works. CLEP, Part 5 Miscellaneous Provisions, Clause 5.10 Heritage conservation provides the following Objectives:

- The objectives of this clause are as follows:*
- (a) to conserve the environmental heritage of Campbelltown,*
 - (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
 - (c) to conserve archaeological sites,*
 - (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Campbelltown LEP 2015	This Proposal Relates to CLEP as follows:
<p>Part 5 Miscellaneous Provisions, Clause 5.10 Heritage conservation: <i>(5) Heritage assessment</i> <i>The consent authority may, before granting consent to any development:</i></p> <ul style="list-style-type: none"> <i>(a) on land on which a heritage item is located, or</i> <i>(b) on land that is within a heritage conservation area, or</i> <i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</i></p>	<p>The subject site is a heritage item (local and State).</p> <p>Accordingly, this Statement of Heritage Impact (SHI) has been prepared to accompany the development application for a mixed-use tower on the site.</p> <p>The SHI will assess the positive and negative heritage impacts of the proposed development and identify approaches taken to minimise the impacts.</p>

Campbelltown LEP 2015	This Proposal Relates to CLEP as follows:
<p><i>Part 5 Miscellaneous Provisions, Clause 5.10 Heritage conservation:</i></p> <p><i>(7) Archaeological sites</i> <i>The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the Heritage Act 1977 applies):</i></p> <p><i>(a) notify the Heritage Council of its intention to grant consent, and</i></p> <p><i>(b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.</i></p>	<p>A historical archaeological study of the site has been prepared by Casey & Lowe archaeologists, updating the 1994 Archaeological Assessment of the site by Martin Carney. The study forms part of this development application and assesses impacts on the historic archaeology of the subject site.</p>

6.6 COMPLIANCE WITH THE CAMPBELLTOWN DEVELOPMENT CONTROL PLAN 2015

The purpose of the *Campbelltown Development Control Plan* (CDCP) is to supplement the Campbelltown LEP 2015 and provide more detailed provisions to guide development.

Campbelltown DCP 2015	This Proposal Relates to CDCP as follows:
<p><i>2.11 Heritage Conservation Objectives:</i></p> <ul style="list-style-type: none"> ■ <i>Ensure that new development takes appropriate account of the significance of heritage items, heritage conservation areas, relics and their settings.</i> ■ <i>Respect the City's heritage resource. Promote the protection or conservation of those resources wherever possible.</i> ■ <i>To conserve the environmental and cultural heritage of the City in accordance with the principles contained within the Burra Charter.</i> 	<p>The proposed development would retain and conserve the original parts of the heritage item, which includes the former bank, its Queen Street fencing and some of the archaeological resources. The development would be setback from the rear wall of the main section of the 1880 bank building. The landscape of the site is not of high significance and would not be conserved.</p> <p>The 1880 Victorian Italianate building would continue to be prominent in the Queen St streetscape. Its aspects of significance not apparent from external inspection would be interpreted on site in a semi-public space.</p> <p>The development follows the policies and Schedule of Conservation Works in the Conservation Management Plan of March 2017, guided by the <i>Burra Charter</i>.</p>
<p><i>2.11.2 Heritage Design Requirements</i></p> <p><i>a) Any development application made in respect to development on land that is:</i></p>	<p>This Statement of Heritage Impact is intended to satisfy this requirement</p>

<p><i>i) occupied by a heritage item; or ii) adjoining land occupied by a heritage item; or iii) located within a heritage conservation area, shall provide a Statement of Heritage Impact (SHI) that assesses the impact of the proposed development on the heritage significance, visual curtilage and setting of the heritage item or conservation area.</i></p> <p><i>b) Any development on land occupied by an item of heritage, or land located within a heritage conservation area shall be designed by a suitably qualified person and have regard to the provisions of any relevant study or Conservation Management Plan (CMP).</i></p> <p><i>c) Unless otherwise advised by council, a Conservation Management Plan (CMP) shall be required for all proposed development involving the adaptive reuse of a heritage item, or major alterations and additions.</i></p>	<p>The development is designed by FJMT Studio, guided by the heritage advice of NBRSArchitecture and Adriel Consultancy, who wrote the March 2017 Conservation Management Plan.</p> <p>A Conservation Management Plan has been prepared for the site and is submitted as part of this application.</p>
--	---

7.0 RECOMMENDATIONS AND CONCLUSION

7.1 RECOMMENDATIONS

We would make the following recommendations to be implemented as part of the detailed design development of the scheme;

- R1: Ground Floor Entry: Inner doors to be retained.
- R2: First Floor: Openings in walls to include the retention of nibs and bulkheads so as to retain the legibility of the original layout.
- R3: That the ramp is set away from the south western wall of the building, ensuring the element is easily reversible, and that sufficient space is allowed to provide effective drainage and ventilation.
- R4: Exterior Colour Palette: The proposed colour scheme is sympathetic and appropriate to the historic character of the former Bank building; it is recommended that the final colour selection be refined through the testing of suitably sized colour samples on site and included as part of the construction certificate documentation.
- R5: Conservation Works: Details of the conservation works contained in the Conservation Works Schedule, dated October 2021, and other modifications to the fabric of the building are to be detailed and specified as part of any future Construction Certificate.

7.2 CONCLUSIONS

Based on the analysis in this heritage impact assessment the proposed redevelopment of the property at 263 Queen Street, Campbelltown, will have an acceptable impact on the heritage significance of the former CBC Bank building.

The proposed mixed-use tower responds to the desired future character of the Campbelltown B3 Commercial Core zoning. The tower would be located as far back in the site as possible, to maximise the distance between the tower and retained 1880 former bank building. This would create a contrast in scale that is anticipated in the planning controls.

This adverse heritage impact of the taller development at the rear of the site is acceptable with the following mitigating measures:

- Full conservation of the 1880 former bank building and its fence according to the Schedule of Conservation Works;
- Removing the intrusive post-war additions to the heritage item, enabling reconstruction to interpret the former bank in its original form;
- A landscape proposal that provides an appropriate setting in which enhanced views of the heritage item are available from both the public domain as well as from within the site; and
- The interpretation plan will be implemented to explain the significance of the heritage item to the public.

While allowing for the proposed tower to affect the setting of the heritage item as anticipated in the B3 Commercial Core zoning, the mitigating measures as proposed are appropriate and support the reconstruction of the original form of the building, conserve its original fabric, improve the setting of the original fabric by reconstructing missing fabric as interpretation, and providing management policies to guide an appropriate range of uses that will provide for the on-going use of this significant building.

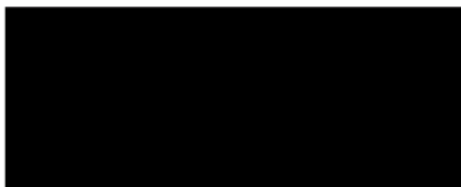
The proposed development will have no adverse heritage impacts on the Queen Street Conservation Area, nor the nearby heritage items in the vicinity.

The contemporary design of the multi storey mixed use development at the rear of the property has been sited to achieve an acceptable separation between the heritage item, and a landscaped forecourt has been designed which supports an active dialog between the existing and new buildings. This is a positive heritage outcome as it supports the future reuse and security of the historic building.

All existing views to and from the heritage items in the vicinity, and the character of the Queen Street Conservation Area will be retained and conserved.

The proposed development is generally consistent with the heritage objectives of the *Campbelltown LEP 2015* and the *Campbelltown DCP 2015*.

In our view, the consent authorities should have no hesitation, from a heritage perspective, in approving this application.



Samantha Polkinghorne
Director | Studio Principal - Heritage
NBRSARCHITECTURE

CONSERVATION SCHEDULE OF WORKS



Former C.B.C. Bank
263 Queen Street Campbelltown

21 OCTOBER 2021

NBR&PARTNERS PTY LTD

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Cover Image: Detail of the rear upper verandah enclosure.

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This report has been prepared under the guidance of the Expert Witness Code of Conduct in the Uniform Civil Procedure Rules and the provisions relating to expert evidence

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ISSUED	REVIEW	ISSUED BY
7 Mar 2017	Draft	Brad Vale
15 Mar 2017	Architect Review	Brad Vale
21 Mar 2017	Final	Brad Vale
20 October 2021	Minor Update Issue	Samantha Polkinghorne
21 October 2021	Final Issue	Samantha Polkinghorne

Conservation Schedule of Works - 263 Queen Street Campbelltown
https://nbrsarchitecture.sharepoint.com/PROJECTS/21/21321/05_DOC/02_Reports/05_Heritage/21321_CSW_Queen St_211021.docx

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DIAGRAMS

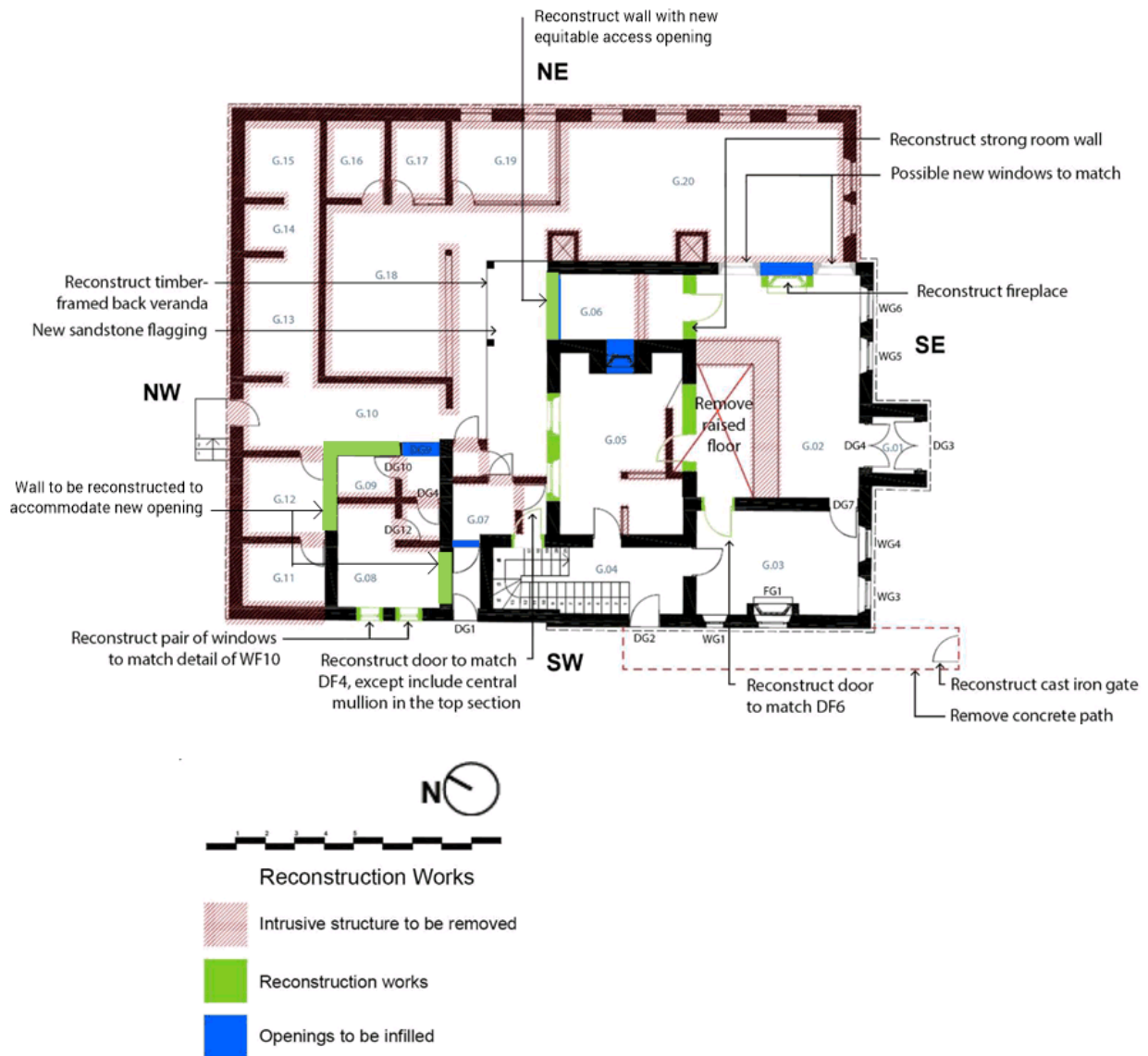
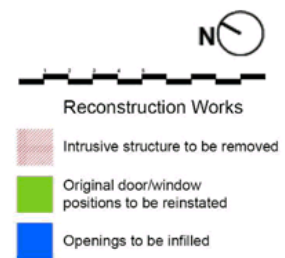


Figure 1 – Ground Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)

This Schedule of Conservation Works was prepared by Nicola Ashurst of Adriel Consultancy PTY LTD for NBRSArchitecture, with graphical input by Annabel Blackman of NBRSArchitecture. Minor updates to diagram by Samantha Polkinghorne in October 2021.



Figure 2 – First Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)



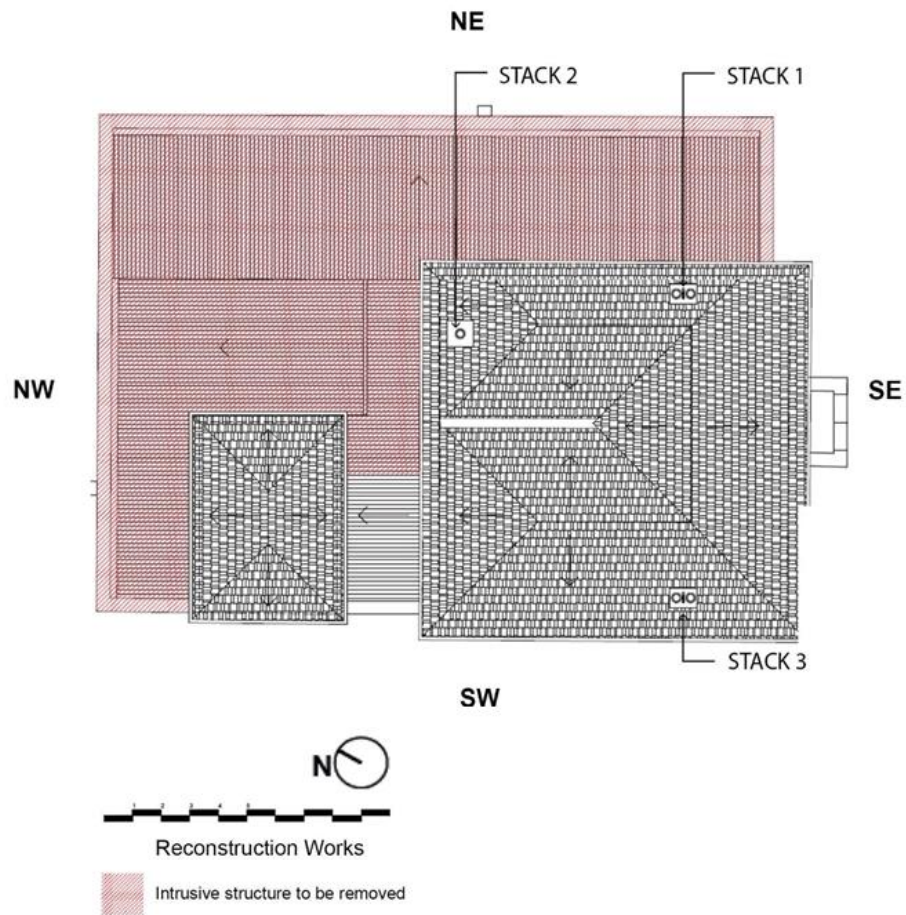


Figure 3 – Roof Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)

PART A: INTERIOR

A1.1 GROUND FLOOR ROOMS

ROOM G.01, ENTRANCE PORCH

Ceiling:

Zinc panels:

- Check for sound fixing. Resecure where necessary. Redecorate.

Walls (all):

- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Remove all impervious paint layers back to a sound surface.
- Redecorate to colour scheme agreed with the Heritage Architect.

SOUTH EAST

DOOR DG 3: INTERNAL SURFACE

Glazed fanlight, sheet metal cladding to internal surfaces of doors

Retain door and architraves.

Adjust door and make fully functional.

Sheet Metal Lining:

Retain and redecorate.

Hardware:

Remove Yale lock and make good sheet metal and timber to door.

Retain all other hardware including drop bolt.

Render all retained hardware fully functional.

Repairs:

Take down doors and move to workshop.

Repair broken joints to timber at the bottom of the door.

Architrave (Internal):

Indent bottom 200mm in timber TME.

Architrave (external):

Indent bottom 200mm in timber TME.

Decoration: Door & Architrave

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST

DOOR DG 4: DOUBLE SWUNG, Glazed Fanlight

SURFACE TO LOBBY

Retain door and architraves.

Adjust door and make fully functional.

Repair damages from previous Yale lock and light switch with inserts in matching timber.

Repairs:

Take down doors and move to workshop.

Repair broken joints to timber at the bottom of the door.

Hardware:

Push plates:
 Replace in brass to match kick plates.
 Brass kick plates:
 Secure. Polish.
 Repair or replace floor mounted opening mechanisms.

Decoration: Door & Architrave

Remove dark green paint and prepare for shellac finish.
 Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.

Tessellated Tile Floor:

- Clean all tile surfaces using steam and detergent.
- Hammer test all tiles to identify loose tiles. Lift individually and refix.
- Cut back surface to edge of threshold. Replace missing bed of tiles TME, 250mm deep.
- Replace all excessively heavily worn tiles TME following agreement with the Conservation Architect.
- RegROUT. Apply microcrystalline wax and buff.

ROOM G.02, ORIGINAL BANKING CHAMBER**Ceiling:**

- Modify cornice in accordance with Conservation Policy.
- Redecorate to colour scheme approved by the Heritage Architect.
- Replace light with HA approval
- Retain ceiling rose, though it is not original.

Redundant Structures:

- Remove counter and raised floor behind. Remove partition wall to rear.
- Make good damages to retained original walls and floors.
- Inspect flooring at original level. Repair and finish as required.
- Remove partition wall to NE wall. Make good damages to retained original walls and floors.

Walls (all):

- Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Redecorate to colour scheme approved by the Heritage Architect.

Skirting:

- Retain existing.
- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.
- Used removed sections to undertake repairs following removal of redundant structures.

SOUTH EAST

DOOR DG 4: DOUBLE SWUNG, Glazed Fanlight SURFACE TO G.02
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Repairs: Take down doors and move to workshop. Repair broken joints to timber at the bottom of the door.
Hardware: Push plates: Replace in brass to match kick plates. Brass kick plates: Secure. Polish. Repair or replace floor mounted opening mechanisms.
Decoration: Door & Architrave Remove dark green paint and prepare for shellac finish. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WG 5: Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.
Hardware: Sash lock: Clean and repair existing. Polish. Sash lifts: -
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WG 6:
Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.
Hardware: Sash lock: Clean and repair existing. Polish. Sash lifts: -
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST

- Remove 2 vent grilles and infill holes in masonry.

Large Opening:

- To be infilled to match line of internal wall and external wall.
- Replace area of flooring in narrow boards in wide timber boards to match the rest of the room.

NORTH WEST**Large Opening (over Modern Counter area):**

- To be reduced in size or infilled to match line of both sides of original wall.

SOUTH WEST**Reinstate previous door and opening:**

- Door to match DG 7.
- Install lintel and form opening as required.
- Extend existing floor boards.

DOOR DG 7: Door original, architrave is replaced.
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware: Handle: Brass and ceramic: Replace to match original. Escutcheon: Brass. Replace to match original.
Decoration: Door & Architrave Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

Floors:

- Review condition and appearance of timber flooring. Undertake necessary repairs to match existing flooring including replacement of sections of boarding and infilling of holes in matching timber.
- Sand and redecorate all areas that will not be covered by carpet.

ROOM G.03, BANK MANAGER'S OFFICE
Ceiling:

Remove existing lighting and ventilation grille.
 Open- up discrete area to investigate construction.
 Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

Walls (all):

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
 Repair fractures.
 Redecorate to colour scheme approved by the Heritage Architect.

Skirting:

Remove all power points, phone outlets, cabling and conduits.
 Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST

WINDOW WG 3:
Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.
Hardware: Sash lock: Clean and repair existing. Polish. Sash lifts: -
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WG 4:
Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove security grille and make good holes. Remove air-conditioner and make good. Remove modern blind and associated fixings. Make good holes.
Hardware: Sash lock: Clean and repair existing. Polish. Sash lifts: -
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads.

Replace sash cords, adjust sash weights as required.
--

Redecoration:

Paint strip dark green paint. Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.
--

NORTH EAST

DOOR DG 7:

Retain door and architraves.

Adjust door and make fully functional.
--

Repair damages from previous Yale lock and light switch with inserts in matching timber.
--

Hardware:

Handle:

Brass and ceramic: Replace to match original.

Escutcheon:

Ceramic: Replace to match original.

Decoration: Door & Architrave
--

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.
--

Reinstate Previous Door and Opening:

- Door to match DG 7.
- Install lintel and form opening as required.
- Extend existing floor boards.

NORTH WEST

DOOR DG 6:

Retain door and architraves.

Adjust door and make fully functional.
--

Repair damages from previous Yale lock and light switch with inserts in matching timber.
--

Glue and clamp large split to door.

Hardware:

Handle:

Brass and ceramic: Replace to match original.

Escutcheon:

ORIGINAL. Paint strip, clean and wax.

Decoration: Door & Architrave
--

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.
--

SOUTH WEST

WINDOW WG 1:

Small timber sash window.

Retain original window.

EXTERNAL SURFACES:

Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
Hardware: Sash lock: Original brass and ceramic. Clean, repair, wax. Sash lifts: Original brass. Paint strip, clean and wax.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

FIREPLACE FG1:
Retain existing ironwork and tiling.
Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.
Hearth: Inspect for evidence of original hearth. Replace in tessellated tiles, details to be agreed with the Conservation Architect.

Floors:

- Take up carpet, underlay and all fixings. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.

ROOM G.04, SIDE ENTRANCE, HALL & STAIRS**Ceiling:**

Remove existing lighting and ventilation grille.
Open- up discrete area to investigate construction.
Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

SOFFIT TO LANDING & STAIRS:

Replace/repair plaster beneath landing to stairs.

Walls (all):

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Repair fractures.

Redecorate to colour scheme approved by the Heritage Architect.

Skirting:

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST

DOOR DG 6:
Retain door and fielded architraves.
Adjust door and make fully functional.
Remove modern handle and lock. Repair damages with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Brass: Strip paint, polish and wax.
Decoration: Door & Architrave
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST

DOOR DG 5:
Retain door and fielded architraves.
Adjust door and make fully functional.
Remove modern handle and lock. Repair damages with inserts in matching timber.
Hardware:
Handle:
Ceramic & brass: Replace to match original.
Escutcheon:
Brass: Replace to match original.
Decoration: Door & Architrave.
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST

Repair cracks to wall under stairs.

DOOR DG TO BE REINSTATED:

Form original door opening to rear veranda. Rebuild segmented brick arch above. Install timber architrave and door, exterior quality, similar to DG6.

SOUTH WEST

Repair crack to wall beneath edge of landing.

DOOR DG 2:

Retain door, architraves and fanlight.
--

Adjust door and make fully functional.
--

INTERNAL SURFACES:

Remove door closer, modern locks and handle.
--

Repair damages from previous locks, door closer and signage with inserts in matching timber.
--

Replace lock box in brass to match the original.
--

Retain and refurbish door chain

Hardware:

Handle:

Brass and ceramic: Replace to match original.

Decoration: Door & Architrave
--

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.
--

EXTERNAL SURFACES:

Remove locks and handles as per the interior.

Remove weather strip and make good damages.

Hand prepare and sand all surfaces.

Redecorate in accordance with colour scheme agreed with the Conservation Architect.

Floors:

- Take up carpet, underlay and all fixings.
- Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.

Staircase:**Timber work (handrails and skirting)**

- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.
- Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

Stairs and Landings:

- Remove carpets and nosing.
- Hand prepare/sand outer 400mm wide strips of steps, risers and all associated mouldings.
- Redecorate in tinted shellac as per handrails.

ROOM G.05, FORMER DINING ROOM
Ceiling:

- Open- up discrete area to investigate construction, to determine the plaster work support structure and the feasibility of removing the surface mounted battens, to create a plain ceiling surface.
- Remove surface mounted battens and make good plaster damage. Refix ceiling rose.
- Redecorate ceiling and cornice to colour scheme agree with the Conservation Architect.

Walls:
Intrusive Structures

- Carefully dismantle glazed office partitioning to South corner. Make good damage to plaster wall, skirting and flooring.
- Carefully dismantle full height wall to South East side corner. Make good damage to plaster wall, skirting and flooring.

All

- Remove dado rail and make good surfaces.
- Remove all signage, redundant fixings, lights, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Redecorate to colour scheme approved by the Heritage Architect.

Skirting:

- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.

North-West
Infill of opening to end of vault:

Remove boarding and framing to walls and soffit to expose masonry beneath. Review with Conservation Architect. And finalise positions of internal and external infill wall surfaces. To be infilled in solid masonry.

Reinstate external door to opening match rear verandah doors of other Mansfield ban branches:

- Install lintel and form opening as required.
- Install Mintaro slate threshold.
- Install external grade panelled door similar to DG7.
- Install brass hinges and lock box and handles.

NORTH EAST

- Repair fractures above lintel to door DG7.
- Install Victorian style marble mantelpiece in reconstructed fire place.

NORTH WEST

- Remove 2 vent grilles. Infill wall to match original surface both sides.
- Redecorate original vent grilles.

SOUTH WEST

- Remove 1 vent grille. Infill wall to match original surface both sides.
- Redecorate original vent grilles.
- Repair fracture wall above door DG%.

DOOR DG 5:
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Ceramic: Replace to match original.
Decoration: Door & Architrave
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

Floors:

- Take up carpet, underlay and all fixings.
- Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.
- Install slate threshold in position of original fireplace.

ROOM G.06, BANK VAULT**Arch:**

- Remove plaster and other levelling materials to expose original brickwork masonry. Review with Conservation Architect and agreed necessary repair and reinstatement works.

Walls:

- Remove plaster and other levelling materials to expose original masonry. Review with Conservation Architect and agreed necessary repair and reinstatement works.

Redundant structures:

Remove partition wall and make good damages.

SOUTH EAST

Preferred to be infilled with a heavy steel strong room door, but may remain open if needed as such in the adaptive reuse.

NORTH EAST

-

NORTH WEST

In wall above opening, remove vent grille and in fill masonry to match existing both sides.

LARGE OPENING (end of vault):

To be infilled to match line, material and texture of internal wall and external wall.

Skirting:

- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.

- Make good missing lengths with skirting salvaged from nearby rooms.

SOUTH WEST

Opening (previous fireplace):

To be infilled to match original.

Floors:

Remove levelling screed to floor.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas that will not be covered by carpet.

ROOM G.07, FORMER STORE ROOM & THE WALL OF THE ORIGINAL BUILDING**Ceiling:**

- Remove suspended ceilings and associated lighting, grilles, ducts, and cabling.
- Make good damage to original walls.

Walls: All:

- Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Scrape off all loose or flaking paint.
- Redecorate to colour scheme approved by the Heritage Architect.

Intrusive Structures: Toilet & Cupboards

- Carefully dismantle toilet walls, toilet, basin, floor, and wall tiling to South corner. Make good damage to plaster wall, skirting and flooring.
- Remove all redundant meters, meter boards, conduits, plumbing.

Skirting:

- Remove existing and make good holes.

SOUTH EAST

- Care is to be taken in the removal of any parts of this room which abut the original wall to the main building.
- All battening and associated linings are to be removed by hand to uncover the original walling beneath with minimum damage.
- All joists and other structural members are to be hand excavated from the original wall.
- The large opening at the Eastern end is to be infilled to match the original masonry and then rendered both sides to match the original finishes respectively (internal – plain, external – coursed to match the original pattern).
- Holes deeper than 1000mm are to be built out in masonry and then rendered.
- Once exposed the wall is to be inspected in detail to determine details of necessary repair works.
- Re render in a 3-coat external lime render, top coat coursed to match original external walling elsewhere.

NORTH EAST

Reconstruct timber-framed verandah following example of other Mansfield banks. Use heavy timber columns (min 125x125 hardwood) at ground floor with a lattice framed valance. Use cast iron filigree columns at first floor.

NORTH WEST

DOOR: Build undecorated Victorian style framed and ledged timber door from hardwood.

REINSTATE PREVIOUS DOOR TO OPENING:

External quality timber door to be like DG 7.
 Install lintel and form opening as required.
 Install slate threshold.

SOUTH WEST**DOOR DG 8:**

Reinstate to an opening.
 Remove existing architrave. Reform masonry to original opening width.
 Rebuild segmented brick arch above.

Original Breezeway: Walls

- Remove all electrical boxes, conduits, etc. and associated fixings.
- Make good holes.
- Repair fracture to SE wall.

DOOR DG 1:**REINSTATE PREVIOUS DOOR TO OPENING:**

External quality timber door to be like DG 7.
 Install lintel and form opening as required.
 Install slate threshold.

Floors:

- Flooring to be replaced as part of new construction.

Floor to Original Breezeway:

- To be replaced in external grade timber.

ROOM G.08, TOILETS/ORIGINAL SERVICES BUILDING

Door DG11 – Not original

Door DG12 – Not Original

Ceiling:

- Remove suspended ceiling, fixings, supports, lighting, vents and ducts.

WALLS:**Intrusive Walls & Door to Air Lock:**

- Remove.

All:

- Remove all tiling, basins, cubicles, plumbing, conduits etc. related to the modern toilet fit out.

SOUTH EAST

DOOR DG: Construct undecorated Victorian style framed and ledged door from hardwood, to be located in the northern end of this wall, facing the reconstructed verandah.

REINSTATE PREVIOUS DOOR AND OPENING:

External quality timber door to be like DG 7.
 Install lintel and form opening as required.
 Install slate threshold.

NORTH EAST

Window News: to match detail of window WF12 in room 1.11

REINSTATE PREVIOUS DOOR TO OPENING:

External quality timber door to be like DG 7.
 Install lintel and form opening as required.
 Install slate threshold.

NORTH WEST

-

SOUTH WEST

- Reinstate 2 windows.
- Form openings, install lintels and sills, install timber windows to match WF11.

Floors:

- Lift all tiling, plumbing to exposure structure beneath.

ROOM G.09, TOILETS/ORIGINAL SERVICES BUILDING**CEILING:**

Remove suspended ceiling, fixings, supports, lighting, vents, and ducts.

Floors:

Lift all tiling, plumbing to exposure structure beneath.

Walls:**SOUTH EAST, NORTH EAST & NORTH WEST:**

Remove all timber frame walls to SE, NE, and SW sides.
 Rebuild in solid masonry to the line of the walls above.

- External surfaces to be in lime-based render with course lines as per the original walling.
- Internal surfaces to be in lime-based render, plain surface finish.

ROOM G.20, TO BE DEMOLISHED

Care is to be taken in the removal of any parts of this room which abut the original wall to the main building.

SOUTH WEST WALL:

All battening and associated linings are to be removed by hand to uncover the original walling beneath with minimum damage.

All joists and other structural members are to be hand excavated from the original wall.

The large opening at the Eastern end is to be infilled to match the original masonry and then rendered both sides to match the original finishes respectively (internal – plain, external – coursed to match the original pattern).

Holes deeper than 1000mm are to be built out in masonry and then rendered.

Once exposed the wall is to be inspected in detail to determine details of necessary repair works.

Re render in a 3-coat external lime render, top coat coursed to match original external walling elsewhere.

A1.2 FIRST FLOOR ROOMS

ROOM 1.01 HALL & STAIRCASE

CEILING:

Above the top landing and stairs:
 Open up discrete area to investigate construction.
 Replace in plain plaster with cornice all around.
 Above landing:
 Open up discrete area to investigate construction.
 Replace in plain plaster with cornice all around.
 Low ceiling outside toilet entrances:
 Open up discrete area to investigate construction.
 Replace in plain plaster with cornice all around.

WALLS:

ALL:

Retain all high-level picture rails with a decorated profile. Other picture rails are less significant.
 Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits.
 Make good damages.
 Redecorate to colour scheme approved by the Heritage Architect.

SKIRTING:

Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.
 Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

SOUTH WEST:

Make good to wall surrounding fire hose reel following any advice to change the system from the fire services engineer. Assuming the fire hose reel remains, build timber doors to match cabinet, and label for BCA code requirements-
 Wall above landing: Remove area of skim waterproof render. Prepare surface to receive new render top coat.

DOOR DF10 (Men's):
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
Hardware:
Handle: Clean and conserve original.
Escutcheon: Replace to match original.
Decoration:
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WF2:
Timber sash window with external decorative timber. Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. De-corrode 3 security bars and redecorate.
GLAZING:
Reglaze bottom sash. Remove silicone pointing. Putty glaze. Make good putty to top sash.
INTERNAL SURFACES:
Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.
Hardware:
Sash lock:
Clean and conserve original brass and ceramic.
Sash lifts:
Clean and conserve original brass.
Operation Overhaul:
Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs:
Remove security lock. Repair damages with inserts in matching timber.

SOUTH EAST:

Repair 2 fractures above end of lintel to doorway.

DOOR DF1:
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Brass: Replace to match original.
Decoration:
Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST:**Arched opening to 1.07 (Hall):**

Repair fractures above right side of arch, both sides of wall.

Repair fracture to wall around window WF11.

WINDOW WF11:
Small timber sash window. Retain original window.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING: Reglaze both sashes with putty glazing.
INTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

Hardware:
Sash lock: Clean and refurbish original.
Sash lifts: Clean and wax original brass.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST:

Remove modern light and signage. Repair plaster.
Arched opening:
Repair fracture above arched opening, both sides of the wall.

DOOR DF11 (Ladies):
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
Hardware: Handle: Brass and ceramic clean and conserve. Escutcheon: -
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be carpeted.

STAIRCASE:**Timber work (handrails and skirting):**

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

Stairs and Landings:

Remove carpets and nosing.

Hand prepare/sand outer 400mm wide strips of steps, risers and all associated mouldings.

Redecorate in tinted shellac as per handrails.

ROOM 1.02 FORMER DRAWING ROOM**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:**ALL:**

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Remove Timber chair rail:

Plaster walls:

Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits.

Paint strip dark green paint. Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH WEST:**WINDOW WF 3:**

Small timber sash window.

Retain original window.

EXTERNAL SURFACES:

Survey in detail for necessary repairs. Undertake traditional timber repairs.

Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.
Hardware: Sash lock: Original brass and ceramic. Clean, repair, wax Sash lifts: Original brass. Paint strip, clean and wax.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

FIREPLACE: Retain existing ironwork and tiling. Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.
Hearth: Inspect for evidence of original hearth. Fix matching tiles to hearth, details to be agreed with the Conservation Architect.

SOUTH EAST:

WINDOW WF 4: Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

<p>Hardware:</p> <p>Sash lock: Replace to match original (brass and ceramic). See Window W2.</p> <p>Sash lifts: Original brass. Paint strip, clean and wax.</p>
<p>Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p>Repairs: Remove security lock. Repair damages with inserts in matching timber.</p>
<p>Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p>WINDOW WF 5: Small timber sash window. Retain original window.</p>
<p>EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p>GLAZING: Make good putty glazing.</p>
<p>INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p>Hardware:</p> <p>Sash lock: Original brass and ceramic. Clean, repair, wax.</p> <p>Sash lifts: Original brass. Paint strip, clean and wax.</p>
<p>Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p>Repairs: Remove security lock. Repair damages with inserts in matching timber.</p>
<p>Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

NORTH EAST: Plain Wall

See WALLS: ALL.

NORTH WEST:

DOOR DF1:
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove security lock, light switch, and coat hook. Repair damages with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Remove, clean and refix.
Escutcheon:
Ceramic: Replace.
Repair damaged timber around opening.
Decoration:
Paint strip dark green paint. Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match existing flooring.

Sand all areas which are not too be carpeted.

ROOM 1.03**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:**ALL:**

Retain high level picture rail.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Plaster walls:

Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST:

WINDOW WF 6:
Retain original window.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Remove security lock and make good damage in matching timber.
Hardware: Sash lock: Replace to match original. Sash lifts: Original brass. Clean and wax.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST:

DOOR DF9:
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware: Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
Decoration: Door & Architrave Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST:

DOOR DF7:
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Clean and conserve.
Escutcheon:
Ceramic: Clean and conserve.
Decoration: Door & Architrave
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

SOUTH WEST: Plain Wall

See WALLS: ALL.

Repair fracture to plaster and brickwork, full height of wall. Replace associated defective render.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match existing flooring.

Sand and redecorate all areas which are not to be carpeted.

ROOM 1.04 – FORMER BEDROOM**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS: ALL:

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST:

WINDOW WF 7:
Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
Hardware: Sash lock: Replace to match original (brass and ceramic). See Window W2. Sash lifts: Original brass. Paint strip, clean and wax. Original blind nobs: Replace 2 No. original brass blind nobs, to match original – See WF8.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WF 8:
Original timber sash window. Retain. Repair and conserve.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

<p>Hardware:</p> <p>Sash lock: Replace to match original (brass and ceramic). See Window W2.</p> <p>Sash lifts: Original brass. Paint strip, clean and wax.</p> <p>Original blind nobs: Clean and wax No. original brass blind nobs, to match original.</p>
<p>Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p>Repairs: Remove security lock. Repair damages with inserts in matching timber.</p>
<p>Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

NORTH EAST:

Redecorate vent grille.

Fireplace lintel:

Inspect substructure to determine cause of fracturing to lintel zone.

Undertake necessary repairs to substructure and re render area of damaged plaster.

<p>FIREPLACE:</p>
<p>Retain existing ironwork and tiling.</p>
<p>Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.</p>
<p>Hearth: Inspect for evidence of original hearth. Fix matching tiles to hearth, details to be agreed with the Conservation Architect.</p>

NORTH WEST: Plain Wall

See WALLS: ALL.

Repair fractures to plaster/brickwork:

- 1 full height diagonal fracture

Re render whole wall, 3 coat traditional render.

SOUTH WEST:

Repair fractures to plaster/brickwork:

- 1 fracture, SE corner
- 2 fractures to ends of lintel to DF9.
- 1 full height fracture
- 2 fractures to ends of lintel to DF6.
- 1 fracture, NW corner

Re render whole wall, 3 coat traditional render.

DOOR DF6:
Retain architraves.
Replace door in solid timber to match original.
Hardware: Handle: Brass and ceramic: New to match original. Escutcheon: Ceramic: New to match original.
Decoration: Architrave: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen. New Door: Hand prepare and sand all surfaces. Decorate in tinted shellac in agreed colour and sheen.

DOOR DF9 :
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware: Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
Decoration: Door & Architrave Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

FLOORS:

Take up carpet, underlay and all fixings.
Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring. Sand and redecorate all areas which are not to be carpeted.

ROOM 1.05

CEILING:

Remove existing lighting and ventilation grille.
Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:
ALL:

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen.
 Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
 Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits. Make good damages in matching timber inserts.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST: Plain Wall

See WALLS: ALL.

Repair long diagonal crack to plaster and brickwork beneath.

NORTH EAST:

Redecorate wall vent.

WINDOW WF 9: Retain original window.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Replace 2 horizontal security bars to match the original. Retain, decorrode and decorate remaining original. Redecorate in accordance with the colour scheme determined above.
GLAZING: Make good putty glazing.
INTERNAL SURFACES: Retain original blind holder on one side and evidence of second holder on the other side. Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
Hardware: Sash lock: Replace in brass and ceramic to match original. Sash lifts: Original brass. Clean and wax.

<p>Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p>Repairs: Remove security lock. Repair damages with inserts in matching timber.</p>
<p>Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

NORTH WEST: Plain Wall with engaged piers

See WALLS: ALL.

Redecorate wall vent.

SOUTH WEST:

Repair diagonal cracks to plaster and brickwork beneath:

- 1 to top right corner
- 2 to ends of door lintel

<p>DOOR DF5:</p>
<p>Retain door and architraves.</p>
<p>Adjust door and make fully functional.</p>
<p>Repair damages due to previous lock and light switch with inserts in matching timber.</p>
<p>Hardware: Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.</p>
<p>Decoration – Door & Architrave: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match existing flooring.

Sand and redecorate all areas which are not to be carpeted.

ROOM 1.06**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:**ALL:**

Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect.

SKIRTING:

Remove all power points, phone outlets, cabling and conduits. Make good damages in matching timber.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST:

DOOR DF3:
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove signage.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Remove, clean and refix.
Escutcheon:
Ceramic: Replace.
Repair damaged timber around opening.
Decoration:
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

DOOR DF2:
Retain door and architraves.
Adjust door and make fully functional.
Remove Yale lock. Repair damages with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Ceramic: Clean and conserve.
Repair damaged timber around opening.

Decoration:

Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST: Plain Wall

See WALLS: ALL.

NORTH WEST:**DOOR DF4:**

Retain door and architraves.
 Adjust door and make fully functional.
 Remove security lock. Repair damages with inserts in matching timber.

Hardware:

Handle and lock:
 Brass: Remove, clean and refix.

Glazed panel:

Remove single pane of glazing.
 Replace glazing beads and glazing to match original details.

Decoration:

Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.

External decoration:

Survey in detail for necessary repairs. Undertake traditional timber repairs.
 Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

WINDOW WF 10:

Small timber sash window.
 Retain original window.

EXTERNAL SURFACES:

Survey in detail for necessary repairs. Undertake traditional timber repairs.
 Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

GLAZING:

Re-glaze top and bottom sashes, using putty glazing.

INTERNAL SURFACES:

Strip off white paint.
 Hand prepare and sand all surfaces.
 Redecorate in tinted shellac in agreed colour and sheen.

Hardware:**Sash lock:**

Replace in brass to match WF11.

Sash lifts:

Original brass. Replace 2 No. to match originals (see WF11).

Operation Overhaul:

Make sashes fully functional.
 Remove sashes and replace timber parting beads.

Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.

SOUTH WEST: Plain Wall

See WALLS: ALL.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be recarpeted.

ROOM 1.07 HALL

CEILING:

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:

ALL:

Retain high level picture rail.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST: Wall with opening to Lobby.

Replace defective render above high level picture rail.

Repair fractures above arched opening, both sides of wall.

NORTH EAST:

DOOR DF5 :
Retain door and architraves.
Adjust door and make fully functional.
Remove sticker/signage.
Repair damages with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Remove, clean and refix.

Escutcheon: Ceramic: Remove, clean and refix. Repair damaged timber around opening.
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST:

DOOR DF2:
Retain door and architraves.
Adjust door and make fully functional.
Remove Yale lock. Repair damages with inserts in matching timber.
Hardware:
Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Clean and conserve. Repair damaged timber around opening.
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

DOOR DF3:
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove signage. Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware:
Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace. Repair damaged timber around opening.
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

SOUTH WEST:

Arched opening to landing.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be recarpeted.

ROOM 1.07A LOBBY & CUPBOARD

CEILING:

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

WALLS:

ALL:

All doors and timber paneling to be retained and conserved.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

SKIRTING:

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

SOUTH EAST:

DOOR DF7 :
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
Hardware:
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Ceramic: Replace to match original.
Decoration: Door & Architrave
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

NORTH EAST:

DOOR DF6:
Retain architraves.
Replace door in solid timber to match original.
Hardware:
Handle:
Brass and ceramic: New to match original.
Escutcheon:

Ceramic: New to match original.
Decoration:
Architrave: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.
New Door: Hand prepare and sand all surfaces. Decorate in tinted shellac in agreed colour and sheen.

NORTH WEST:

Arched opening to Hall 1.07.

SOUTH WEST: Electrical Services Cupboard

Remove all service boxes and associated cabling and conduits.

Make good damages to walls in plaster to match.

Make good damage to timber framing in timber inserts.

DOOR DF8 :
Retain door, architraves and associated paneling.
Adjust door and make fully functional.
Remove junction box and cabling. Repair damages with inserts in matching timber.
Hardware:
Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

FLOORS:

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and polish all areas which are not to be recarpeted.

ROOM 1.08 EXTERNAL VERANDAH**BIRD GUANO:**

Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning.

All deposits and runoffs are to be collected and disposed of as Special Waste.

Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath.

A final clean of all surfaces is to be made after the removal of all redundant equipment as described above.

LEAN TO CORRUGATED IRON ROOF:

Replace to match original, including associated flashings, gutter and down pipes.

RENDERED WALLS (S.E. & S.W. WALLS):

Remove all plant, ducts, cabling, conduits, junction boxes

Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

RENDER REPAIRS & REDECORATION:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect.

TIMBER LATTICE ENCLOSURE (N.E. & N.W. WALLS):

Remove lattice and first floor columns. Review the veranda beam structure at first floor and roof levels for original timbers. If likely original timbers are found, use as much salvaged timber in good condition as possible.

Rebuild the rear veranda to detail consistent with Mansfield's other designs for similar banks.

Reform 2 doors in their openings.

NORTH-WEST WALL:

DOOR DF4:
Retain door and architraves.
Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
Hardware:
Handle and key hole:
Brass: Remove, clean and refix.
Glazed panel:
Remove single pane of glazing.
Replace glazing beads and glazing to match original details.
External decoration:
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

WINDOW WF 10:
Small timber sash window.
Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING:
Re-glaze top and bottom sashes, using putty glazing.

SOUTH-WEST WALL:

WINDOW WF11:
Small timber sash window. Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING:
Reglaze both sashes with putty glazing.
Redecoration:
Hand prepare and sand all surfaces. Redecorate as part of colour scheme agree with the Conservation Architect.

ROOM 1.09 MODERN TOILETS

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.
Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
Sand and redecorate all areas which are not to be carpeted.
Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

DOOR DF11 (Ladies):
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
Hardware:
Handle: Brass and ceramic I clean and conserve. Escutcheon: -
Decoration:
Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

ROOM 1.10 MODERN TOILETS

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
Sand and redecorate all areas which are not to be recarpeted.
Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

DOOR DF10 (Men's) :
Retain door and architraves.

Adjust door and make fully functional.
Remove signage.
Hardware: Handle: Clean and conserve original. Escutcheon: -
Decoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

WINDOW WF11: Small timber sash window. Retain original window.
EXTERNAL SURFACES: Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING: Make good putty glazing as necessary.
INTERNAL SURFACES: Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
Hardware: Sash lock: Brass: replace to match original. Sash lifts: Clean and wax original brass.
Operation Overhaul: Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs: Remove security lock. Repair damages with inserts in matching timber.
Redecoration: Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

ROOM 1.11 MODERN TOILETS

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Sand and redecorate all areas which are not to be recarpeted.

Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

WINDOW WF12:
Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING:
Reglaze both sashes with putty glazing (4 panes).
INTERNAL SURFACES:
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
Hardware:
Sash lock:
Replace in brass to appropriate design.
Sash lifts:
Paint strip, clean and wax original brass.
Operation Overhaul:
Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
Repairs:
Remove security lock. Repair damages with inserts in matching timber.
Redecoration:
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

PART B EXTERIOR

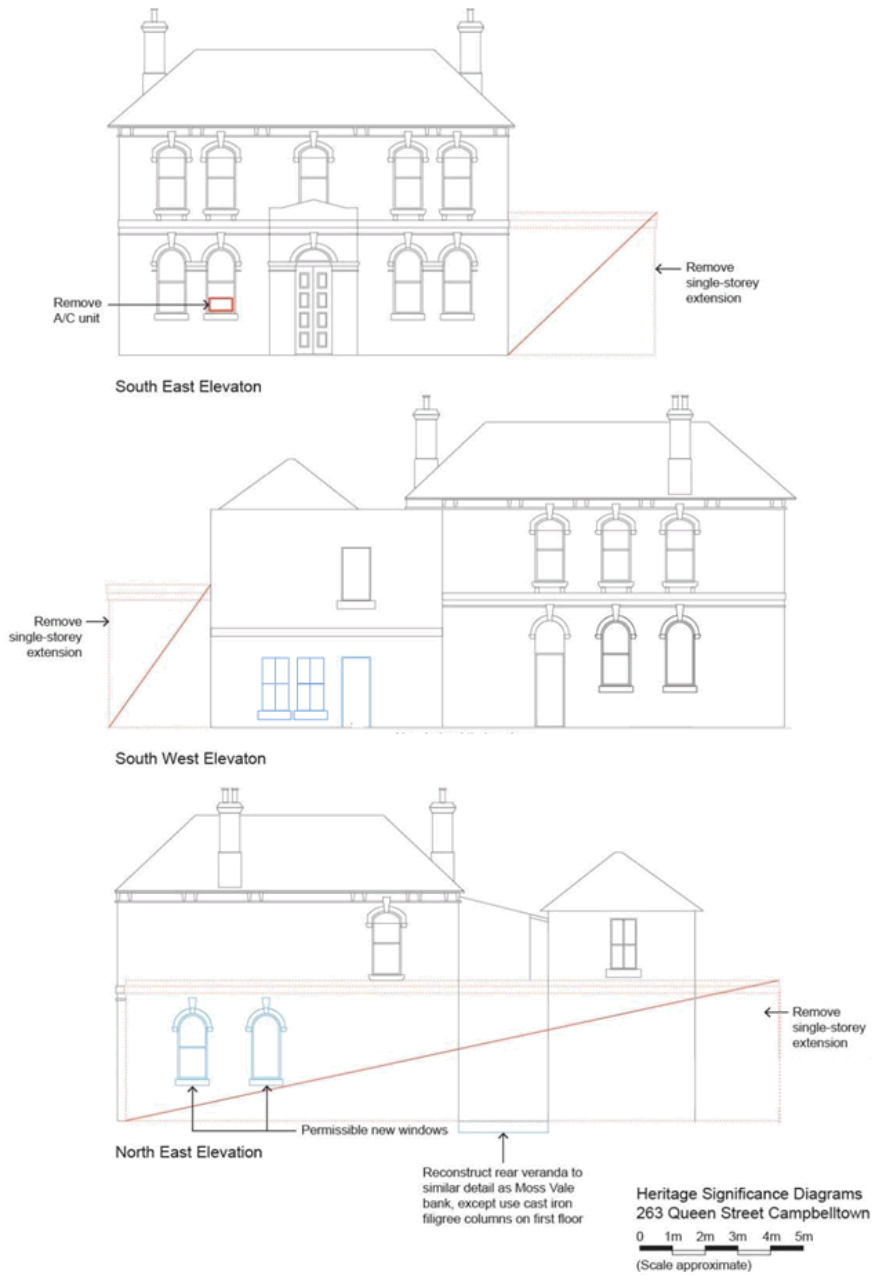


Figure 4 – Heritage Significance Diagram Elevations

B 1.0 ROOFS AND CHIMNEY STACKS

B1.1 ROOFS

B1.1.1 RE-DESIGN OF THE RAINWATER DISPOSAL SYSTEM

- The sizes of gutters and the sizes and numbers of downpipes to the roofs to the Main Building and the Services Building are to be assessed and reviewed by a specialist roofing surveyor experienced in determining the adequacy of existing grey water disposal systems. The valley gutter and its water disposal system is to be included in this review.
- Install two additional downpipes to the main building, to match the existing.
- Correct and rebuild the rain water disposal from the gutter at the southern corner of the main building.
- Reconstruct the collection and disposal all rainwater between the main building and the Services building.
- All existing down pipes and the additional ones required as part of the redesign are to be extended to ground level and connected to the building's new storm water system.

B1.1.2 DOUBLE HIPPED ROOF TO THE MAIN BUILDING (SLATE WITH TERRACOTTA RIDGE CAPS)

Repairs to Slate and Terracotta:

Slate roofing contractor specialised in the prepare and conservation of Heritage Roofing is to be engaged to access the roof surfaces and assess details conditions and necessary repairs. A report with illustrations and recommendations for repairs and ongoing maintenance works is to be provided.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Replacement of flashings and soakers to 3 chimney stacks.
- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.
- Repair and replacement work to be undertaken in matching slate with copper fixings.
- Replace 3m2 area of missing Slate to the NE face of the southern roof, including battens and lining.

Valley Gutter

- Specialist roofing contractor is also to inspect the valley gutter, its flashings and outlets.
- Allow to replace the gutter in sheet lead with neoprene joints, plus flashings. Also, rebuild transition under edge of slate roof. Replace spreader hopper.

Rainwater Goods – Main Building

- Replace gutter to south end of SE elevation.
- Replace associates timber fascia.
- Repair select areas of fascia to main building elsewhere.

B1.1.3 HIPPED ROOF TO SERVICES BUILDING (SLATE WITH TERRACOTTA RIDGE CAPS)

This roof is to be part of the inspections in B1.1.2 and the redesign in B1.1.1.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.

Repair and replacement work to be undertaken in matching slate with copper fixings.

Rainwater Goods – Services Building

Replace gutter to SE elevation and 3m returns to associated elevations.

Replace timber fascia and soffit to the same areas.

B1.1.4 LEAN TO ROOF BETWEEN THE BUILDINGS

To be replaced as part of the replacement of the veranda to this level. This includes all associated flashings and rainwater disposal.

Carefully remove the existing roofing taking care to minimise disturbance to the original masonry as much as possible. Repair all cavities so formed.

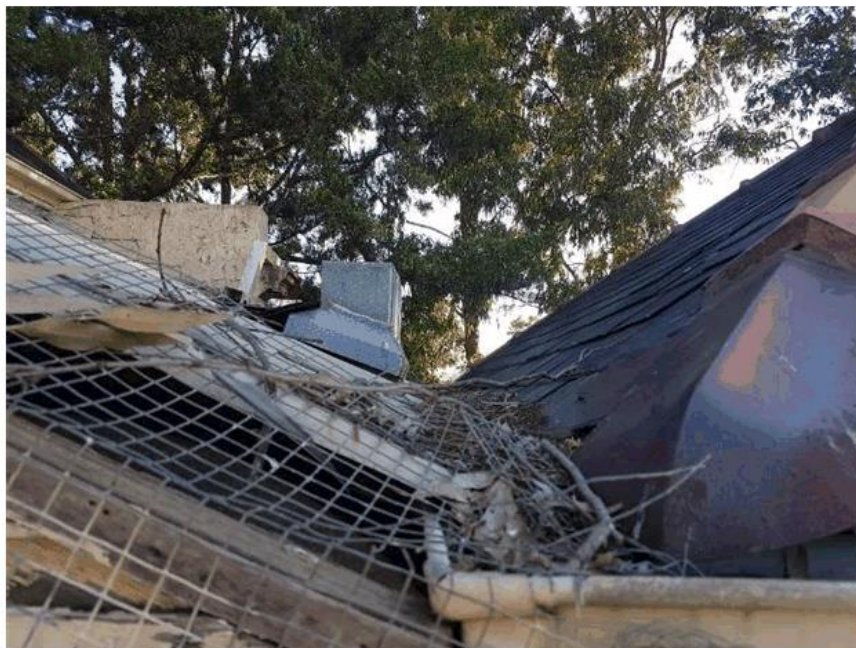


Figure 5 – View of the roof between the Services Building and the Main Building

B2.0 CHIMNEY STACKS**All Stacks:**

- Provide scaffold access to all faces of each stack.
- Determine condition of each chimney pot and associated flaunching.
- Allow to replace two pots to match existing.
- Re flaunching all stacks and undertake necessary repairs to all associated masonry.
- Hammer test the render to all surfaces.
- Redecorate render defective areas
- Remove all flaking and impervious paint and re decorate in colour to be determined by the conservation architect.



Figure 6 – Chimney Stack 1, North East Elevation, Main Building

B2.0 ELEVATIONS

B2.1 SOUTH EAST ELEVATION (QUEEN STREET)



Figure 7 – Queen Street Elevation

Gutter & Eaves:

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

All Render:

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

Roll Moulding & Brackets

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

Decorative Heads & Sills: First Floor

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

Timber Windows & Decorative Screening: First Floor

- Windows WF4, WF5, WF6, WF7, WF8.
- Inspect close range for necessary repairs and undertake.
- Undertake indent repairs to Sill WF6 and others as required.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

First Floor Cornice/String Course

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

Decorative Heads & Sills: Ground Floor

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

Timber Windows: Ground Floor

- Windows WG3, WG4, WG5, WG6
- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Remove air conditioning unit and associated boarding to WG4. Repair any damages to the timber in matching timber.
- Redecorate.

Stone Plinth

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.

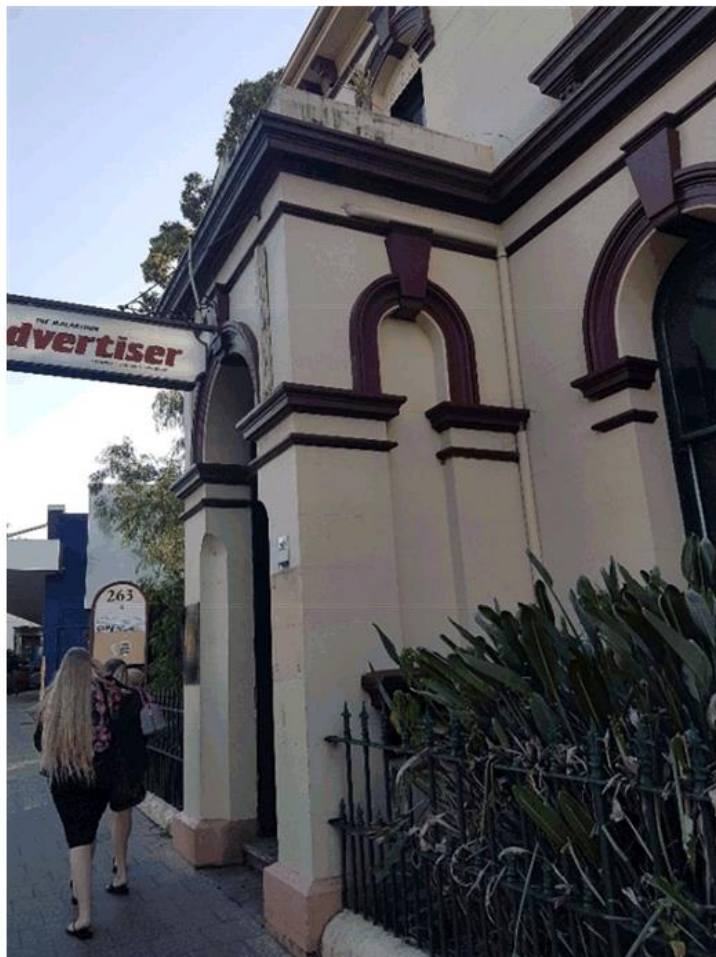
B2.1.1 PORCH

Figure 8 – Porch

- Hammer test all render to determine drummy areas. Replace in matching render. Undertake other minor render repairs.
- Re secure any loose stonework.
- Re render upstand above top cornice, front, top and rear down to flashings.
- Remove timber battens and make good holes.
- Remove sign to keystone and all supports and conduits. Make good holes.
- Remove fixings to previous signage and make good holes.
- Paint strip stone plinth and repoint.
- Replace threshold in Mintaro slate.

DOOR DG1:
Retain door and architraves.
Take down doors and transport to joiner's workshop. Re glue and strengthen all loose joints. Indent repair bottom edge of door to match existing. Paint strip green to both sides.
Refix doors and make fully functional. Replace all mortar fill between timber architrave and render.
Indent bottom 250mm of external left architrave to match existing.
Hardware:
Brass: Remove, clean and refix.
Glazed panel:
Make good putty glazing.
External decoration:
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

Porch Roof:

- Replace galvanized sheet roofing in lead sheet Code 6, to LSA details.
- Replace gutter all associated lead flashings. Make good previous reglets and reform new ones as required.
- Redesign North end of the gutter to improve junction with external down pipe and to improve cleaning access. In stall brass mesh leaf cage over North end.
- Replace galvanized + pvc round downpipe to external wall, to match existing galvanized.



Figure 9 – Roof of the Queen Street porch

B2.1.2 RAILINGS



Figure 10 – Queen Street railings



Figure 11 – Position of gate to the Queen Street railings

Both Sections of Railings:

To be abrasive cleaned to remove all rust and defective paint.

Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place. The specialist contractor is to provide a Methodology for the works for approval prior to commencement.

Repaint in the following alkyd paint system:

Zinc rich primer

MIO undercoat

Colour matched undercoat

Top coat to approved colour.

New Gate:

Manufacture and install new wrought and cast iron gate to the space adjacent to Pier 1.

Specialist metal contractor to provide shop drawings for prior approval.

Gate to include hinges, and latch to traditional detail.

Install fully functional.

Paint as per the railings above.

Stone Plinth:

Chemical strip all paint.

Cut out all joints and repoint all sides.

Undertake other minor repairs.

B2.1.3 STONE PIERS**Pier 1:**

- Replace full pier to original detail (See Pier 2), in hard sandstone.
- Original sandstone size and detail to be matched.
- Sample of stone to be provided to Conservation Architect for approval.
- Take down existing pier and remove stone from site.
- Form new reinforced concrete footing.
- Install new stone pier and point up.

Pier 2:

- Chemically paint strip off all paint.
- Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place. The specialist contractor is to provide a Methodology for the works for approval prior to commencement.
- Inspect cleaned stone with Conservation Architect to agree scope of minor repairs.
- Fully repoint.

B2.2 NORTH EAST ELEVATION

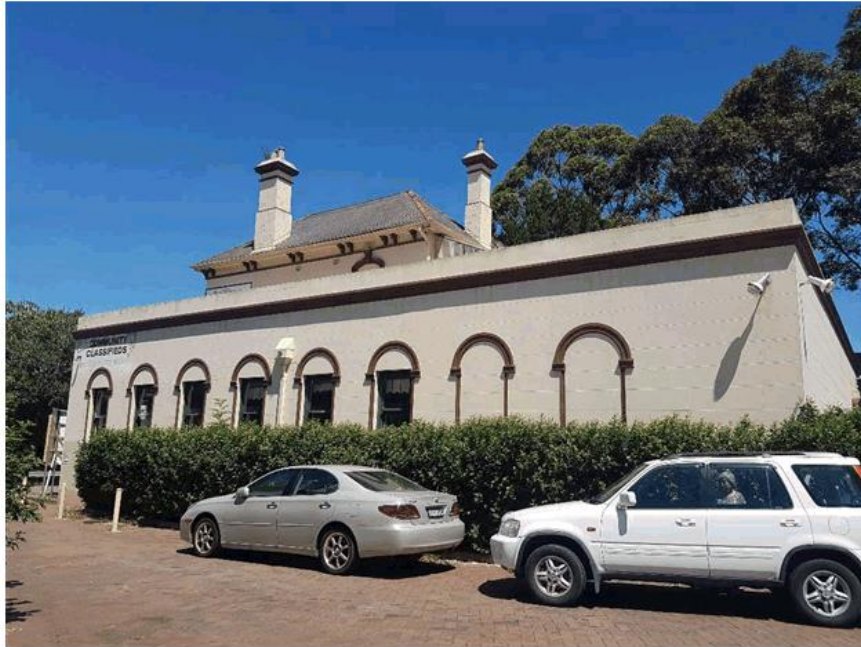


Figure 12 – Single storey building to be demolished



Figure 13 – First floor façade to be retained

Gutter & Eaves:

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

All Render:

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

Roll Moulding & Brackets:

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

Decorative Head & Sill: First Floor:

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

Timber Window & Decorative Screening: First Floor**Window WF9**

- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

First Floor Cornice/String Course & Roll Moulding:

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

Making good roof zone once ground floor building is demolished:

- Infill all holes with brick and then render to match existing up to match original surface.
- Make good all fixing holes and reglets.
- When repaired, this zone is to match the existing render above and the new render to the ground floor below.

B2.3 NORTH WEST ELEVATION

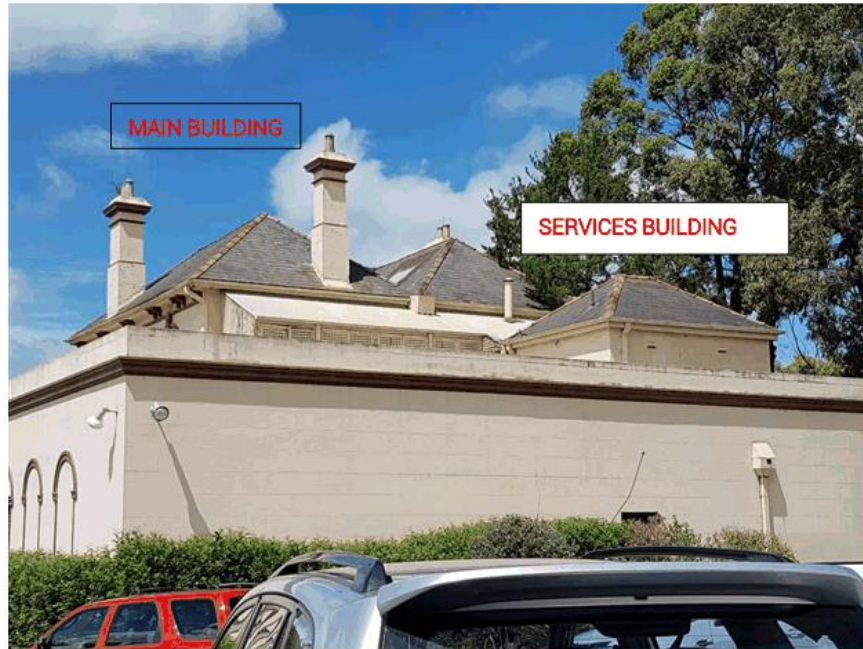


Figure 14 – Ground floor building to be demolished



Figure 15 – First floor Main Building with verandah



Figure 16 – The Services Building – first floor

B2.3.1 VERANDAH TO THE MAIN BUILDING

Bird Guano:

- Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning.
- All deposits and runoffs are to be collected and disposed of as Special Waste.
- Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath.
- A final clean of all surfaces is to be made after the removal of all redundant equipment as described above.

Lean to Corrugated Iron Roof:

- Replace to match original, including associated flashings, gutter and down pipes.

Rendered Walls (S.E. & S.W. Walls):

- Remove all plant, ducts, cabling, conduits, junction boxes.
- Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Render Repairs & Redecoration:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Prepare paintwork to a sound surface.
- Redecorate to colour scheme approved by the Heritage Architect.
- Type of paint to be compatible with all paint types remaining on the walls.

Rear Verandah (Timber Lattice Enclosure (N.E. & N.W. Walls))

- Reconstruct the rear verandah to match the form and carpentry details at the former CBC bank branch at 478 Argyle Street, Moss Vale. Use minimum three timber columns at ground level, each 150x150 hardwood. At first floor, use cast iron filigree columns similar

to column No. 10 in the Wagga Iron Foundry General Column Catalogue. Undertake localised repairs and strengthening as required.

- Reform 2 doors in their openings.
- Prepare paintwork to a sound surface.
- Redecorate to colour scheme approved by the Heritage Architect.
- Type of paint to be compatible with all paint types remaining on the timber.

NORTH-WEST WALL:

DOOR DF4:
Retain door and architraves.
Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
Hardware:
Handle and key hole:
Brass: Remove, clean and refix.
Glazed panel:
Remove single pane of glazing.
Replace glazing beads and glazing to match original details.
External decoration:
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

WINDOW WF 10:
Small timber sash window.
Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING:
Re-glaze top and bottom sashes, using putty glazing.

B2.3.2 SOUTH WEST WALL

WINDOW WF11:
Small timber sash window.
Retain original window.
EXTERNAL SURFACES:
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
GLAZING:
Reglaze both sashes with putty glazing.
Redecoration:
Hand prepare and sand all surfaces.
Redecorate as part of colour scheme agree with the Conservation Architect.

B2.4 SOUTH WEST ELEVATION

B2.4.1 MAIN BUILDING



Figure 17 – South West elevation, first floor - Main Building

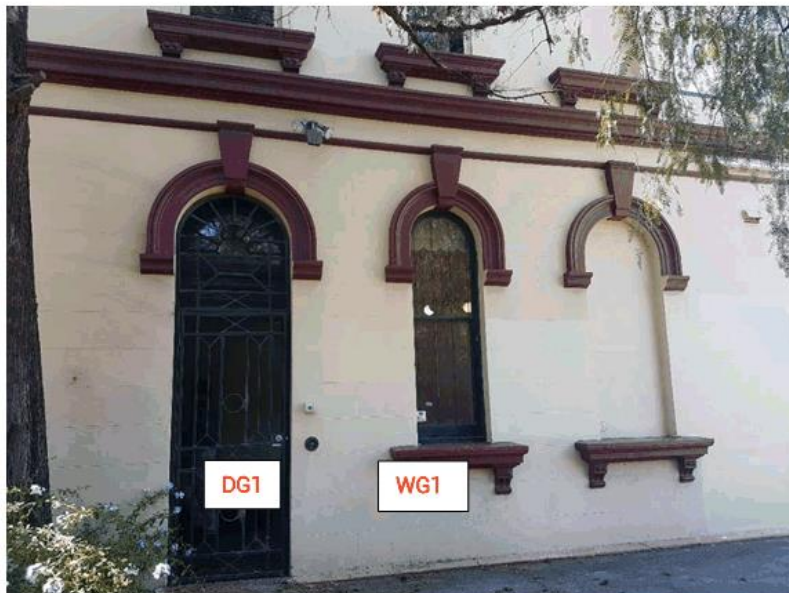


Figure 18 – South West elevation, ground floor - Main Building



Figure 19 – South West elevation, ground floor - Main Building

Gutter & Eaves

Replace galvanized iron gutter to match the existing, if required.
 Otherwise repair, Resecure and redecorate.
 Repair timber fascia and eaves and redecorate.

All Render:

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.
- Rerender upstand where wall is stepped down (outlined).

Roll Moulding & Brackets

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

Decorative Heads & Sills: First Floor

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

Timber Windows & Decorative Screening: First Floor

Windows WF2 and WF3

- See Internal Schedule of Works for further works.
- Inspect close range for necessary repairs and undertake.
- Undertake indent repairs to timber sills as required.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

First Floor Cornice/String Course:

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

Decorative Heads & Sills: Ground Floor:

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

Timber Window: Ground Floor

Window WG1:

- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

Stone Plinth

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.

B2.4.2 SERVICES BUILDING & STOREROOM / BREEZEWAY

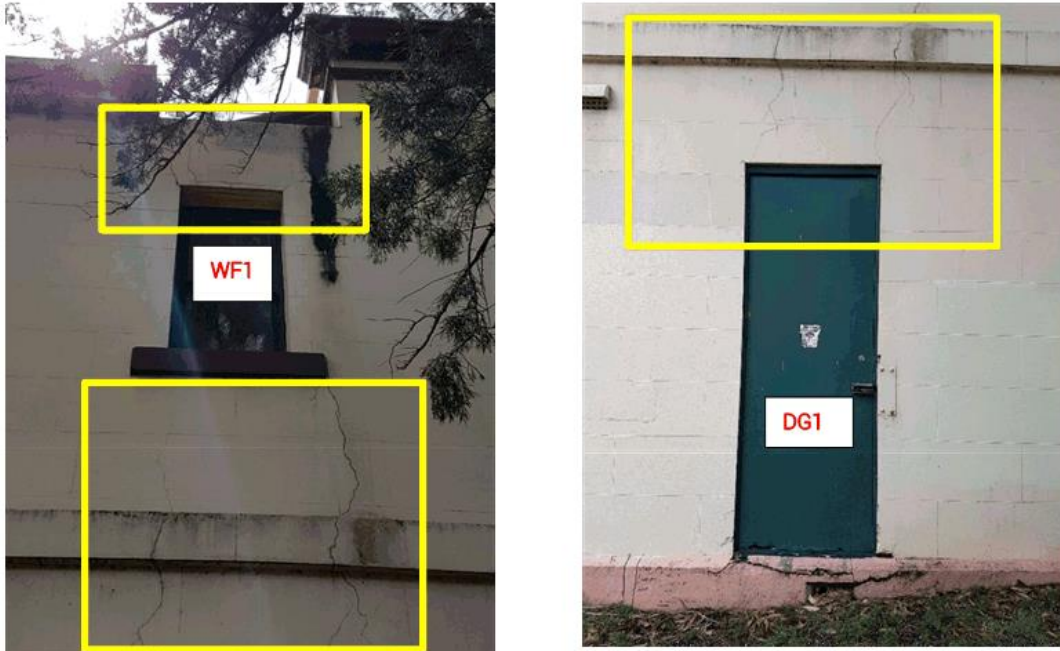


Figure 20 & Figure 21 – South West elevation – lintels to be replaced and surfaces rendered



Figure 22 – South West elevation – Services Building, ground floor

Gutter & Eaves

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

All Render:

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

Lintel Repair & Rendering**To areas shown outlined yellow:**

- Replace lintel above WF1 and DG1 and rerender to match existing.
- Undertake all necessary substrate repairs.

To the full height of the Southern corner to the Services Building:

- Modern extension to be carefully removed to cause no further damage to the Services Building.
- Repair render to all "blocks" of render to the corner for the full height of the building.
- Build out and repair first floor string course.

Stone Plinth:

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.

PART 3 SPECIFICATION

C1.0 INTERNAL WORKS

C1.1 INTERNAL RENDER REPAIR

C1.1.1 SURFACE PREPARATION

Hammer test all render to locate drummy areas.
 Areas to be re rendered should be rectangular.
 Cut straight edges with a craft tool or similar. Undercut all edges to provide a key for the new plaster.
 Drummy or decayed render should be carefully removed with a minimum of vibration to the walls.
 Loose pointing should be raked out and replaced prior to rendering. Brush the wall to remove loose material.

C1.1.2 CRAFT SKILLS

This work is to be undertaken by traditionally skilled plasterers who understand the materials they are working with.

C1.1.3 MORTAR MATERIALS

Lime render mortars are to be based on slaked lime putty at least 6 months old.
 The following mixes can be prepared with lime putty, sharp well graded sand or be based on a pre-mixed coarse stuff of 3 part sharp, well graded sand to 1 part lime putty.

COAT	MIX (PARTS BY VOLUME)
SCRATCH COAT	1:2.5, no thicker than 15mm
FLOATING COAT	1:3, no thicker than 15mm
FINISHING COAT (multiple layers)	1:3, fine well graded sand, each layer up to 5mm thick, final coat may be gauged with Plaster of Paris.

All mixes are to be prepared with the minimum of water and to be of a firm consistency which hangs to an upturned trowel.

Prior to applying the plaster thoroughly wet the wall with clean water. Repeat until the surface layers of the wall are thoroughly damp.

Scratch Coat

Leave the scratch coat to dry and shrink before attempting to apply the next coat (2-4 weeks). Do not allow it to dry out too rapidly, which can cause it to fail. Cover new plaster with a double layer of hessian or polythene. Do not use dehumidifiers.
 Once the pad of a thumb can no longer indent the scratch coat it is ready to take the next coat. Brush off loose surface material and lightly wet with a hand spray. Dampen more if the surface has been left to dry out further.

Floating Coat

Once it has begun to stiffen up, consolidate the floating coat by 'rubbing up' the surface using a wooden float to counteract shrinkage. To be undertaken once or twice on the day of application, and on the following day.
 Once the surface has been compacted, use a 'devil float' to form a key for the finish coat. It should then be left for about a week or so before it is ready for the final coat.

Finishing Coat

To be applied in two or three very thin layers.

Pre-wet the surface. Skim on each layer as thinly as possible, working in alternate directions each time. Place over the previous one as soon as it has had a chance to 'steady-up'. Once firm, scour to compact and consolidate the surface using a cross-grained wood float. Alternately, gauge the setting coat with Plaster of Paris to minimise the need for scouring.

Do not feather the edge of the patch over the surrounding plaster.

C1.1.4 SAMPLES OF MATERIALS AND WORKMANSHIP

The specialist contractor is to prepare a sample of materials and workmanship which demonstrates all stages in the process of render repair, to include:

- Removal of defective render and preparation of the background and the repair edges.
- Dubbing out.

C1.2 FRACTURE REPAIRS TO INTERNAL WALLS

See fractures identified in the room-by-room schedules of works included.

Cracks greater than 2mm in a lime-based stucco should be carefully cut out to form a slight undercut which will act as a key, thoroughly flushed out with water to remove dust and loose debris. Fill fracture with new mortar based on insitu trial results. Adjust the aggregate size in accordance with the crack size.

Use the mortars set out in C1.1.3.

C1.3 INTERNAL PLASTER REDECORATION

Due to the extent of previous remedial works to the building interior the new paint system used for the new redecoration must match to the existing coatings and must be compatible with these.

The specialist contractor is to seek the technical advice of a quality paint manufacturer and is to provide a report from the manufacturer with recommendations of the appropriate paint type/s that are to be used.

The specialist contractor is to undertake sample of coating application to demonstrate the selection of the correct paint type. More than one paint type may be required to achieve the required colour scheme to all the internal wall and ceiling surfaces.

C2.0 EXTERNAL WORKS

C2.1 ROOF REPAIRS

C2.1.1 RE-DESIGN OF THE RAINWATER DISPOSAL SYSTEM

The sizes of gutters and the sizes and numbers of downpipes to the roofs to the Main Building and the Services Building are to be assessed and reviewed by a specialist roofing surveyor experienced in determining the adequacy of existing grey water disposal systems. The valley gutter and its water disposal system is to be included in this review.

Install two additional downpipes to the main building, to match the existing.

C2.1.2 SPECIALIST REPORT ON THE REPAIRS TO SLATE AND TERRACOTTA

Slate roofing contractor specialised in the prepare and conservation of Heritage Roofing is to be engaged to access the roof surfaces and assess details conditions and necessary repairs. A report with illustrations and recommendations for repairs and ongoing maintenance works is to be provided.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Replacement of flashings and soakers to 3 chimney stacks.
- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.

C2.1.3 LEAD SHEET FLASHINGS AND ROOFING

All leadwork is to be undertaken by a specialist contractor experienced in the repair of traditional roofing. All work is to be undertaken in accordance with the Lead Sheet Association, 'Rolled Lead Sheet, The Complete Manual', 2016 and all the LSA Information Sheets.

Drawings are to be provided for all new leadwork.

C2.2 RENDER REPAIRS

C2.2.1 PREPARATION

Hammer Testing

Hammer test all render to locate drummy areas.

Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.

Marking up areas of defective render

Edges or repair areas are to follow the joint line of the original lining out pattern.

Cutting out

Cut out with sharp chisels to the backing, with straight sides and undercut edges to all but the bottom side.

Clear all loose material by brush and/or compressed air.

Dub out all hollows and depressions in base coat mortar in layers of less than 10mm.

Larger voids should be built out in this mortar with pieces of broken tile or brick.

Rake out the joints in brick substrate to a depth of 15-20mm.

C2.2.2 MORTAR MIXES AND PLACEMENT

The following mixes can be prepared with lime putty, sharp well graded sand or be based on a pre-mixed coarse stuff of 3 part sharp, well graded sand to 1 part lime putty. All mortars must be a firm consistency which hangs to an upturned trowel.

BASE COAT	1:1:6, cement: lime putty: sand, 10-15mm thick, keyed surface
DUBBING COAT	1:1:6, cement: lime putty: sand, 5-10mm thick, keyed surface.
TOP COAT	1:2:9, cement: lime putty: sand, 5-10mm thick, wood float finish and/or lightly scraped with a fine hacksaw blade. Lining out must match the previous pattern, using a rule and marking tool.

Application and curing

Thoroughly pre-wet surfaces to which render mix is to be applied. Do not leave ponded water. Press each layer firmly to the dampened background. Scratch key the surfaces of all layers except the top coat. Control the drying out to prevent mix failure, cracking or detachment.

C2.2.3 SAMPLES OF MATERIALS AND WORKMANSHIP

The specialist contractor is to prepare a sample of materials and workmanship which demonstrates all stages in the process of render repair, to include:

- Removal of defective render and preparation of the background and the repair edges.
- Dubbing out.
- Scratch coat.
- Floating coat.
- Finishing coat layers, with final surface finish.

C2.3 PAINTING – ALL SURFACES

C2.3.1 LEAD-BASED PAINTS

The external paint layers are to be tested for the presence of lead. A report of the test results is to be provided.

The specialist contractor is to allow for all paints to be removed, prepared and redecorated as if previous layers contain lead.

All testing, surface preparation and redecoration work is to be undertaken in accordance with the requirements of the following documents:

AS4361.2 – 1998: Guide to lead paint management: residential and commercial buildings

SafeWork NSW Lead Notification of lead risk work

WorkSafe Victoria: Managing lead-based paint removal

WorkCover Queensland: Working with lead based paints

The painting contractor is to provide a Methodology for the surface preparation and redecoration for approval, prior to ordering paint.

C2.3.2 CLOSE RANGE INSPECTION OF PAINT CONDITIONS AND SUITABILITY AS A SUBSTRATE FOR REDECORATION

Due to the extent of previous remedial works to the building interior the new paint system used for the new redecoration must match to the existing coatings and must be compatible with these.

The specialist contractor is to seek the technical advice of a quality paint manufacturer and is to provide a report from the manufacturer with recommendations of the appropriate paint type/s that are to be used.

The specialist contractor is to undertake sample of coating application to demonstrate the selection of the correct paint type. More than one paint type may be required to achieve the required colour scheme to all the internal wall and ceiling surfaces.

C2.3.3 REMOVAL OF LOOSE PAINT

Remove all loose paint back to a sound surface.

Repaint in colour scheme agreed with the Conservation Architect.

Type of paint is to be compatible with all the paint types left on the prepared surfaces.

C2.3.4 REDECORATION OF PLASTER

These surfaces are to be redecorated to an eggshell finish.

C2.3.5 REDECORATION OF TIMBER WINDOWS AND DOORS

These surfaces are to be redecorated in shellac to match the original sheen.

C2.4 WINDOW AND DOOR REPAIRS**C2.4.1 TRADITIONAL TIMBER REPAIRS**

See repairs itemized in the individual schedules of works included in Part A and Part B.

Inspect close range for necessary repairs and undertake.

The repairs are to be undertaken by a specialist joinery contractor with experience in the conservation, repair and operation of traditional timber windows and doors.

C2.4.2 PERIMETER MORTAR PACKING

Reform mortar packing between the timberwork and adjacent render in a lime-based mortar 1:2:9, cement:lime putty:sand, packed deeply to completely fill the gap. Control the drying out of this mortar to prevent failure or cracking.

C2.5 IRON RAILINGS**C2.5.1 CLEANING/PAINT REMOVAL**

To be abrasive cleaned to remove all rust and defective paint.

Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. See C2.3.1 Lead Based Paints.

Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place.

The specialist contractor is to provide a Methodology for the works for approval prior to commencement.

C2.5.2 REDECORATION

Repaint in the following alkyd paint system:

1. Zinc rich primer
2. MIO undercoat
3. Undercoat colour matched to the top coat.
4. Top coat to approved colour.
5. TOTAL DFT: 250 microns

Paint coats are to be brush applied.

Paints used are to be from a single manufacturer and to be of high quality e.g. Dulux.

The painting contractor is to supply all necessary protection of the iron work to ensure painting is undertaken in the correct conditions. All necessary permits are to be in place.

The painting contractor is to provide a Methodology for the surface preparation and redecoration for approval, prior to ordering paint.

C2.5.3 NEW IRON GATE

Manufacture and install new wrought iron and cast iron gate to the space adjacent to Pier 1.

Specialist metal contractor to provide shop drawings for prior approval. These are to show the gate at 1:20 and junctions at 1:5. Traditional detailing such as mortice and tenon joints are to be used. Junctions are not to be formed with welding.

Gate to include hinges, and latch to traditional detail.

Install gate and render fully functional.

Paint as per the railings above.

C2.5.4 STONE PLINTH

Chemical strip all paint.

Inspect bare stone surfaces and agree final scope of repairs with the Conservation Architect.

Cut out all joints and repoint all sides.

Undertake other minor repairs.

C2.6 BIRD GUANO REMOVAL

Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning.

All deposits and runoffs are to be collected and disposed of as Special Waste.

Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath.

A final clean of all surfaces is to be made after the removal of all redundant equipment as described above.

5. CONFIDENTIAL ITEMS

5.1 Planning Proposal - Varroville

Reason for Confidentiality

This report is **CONFIDENTIAL** in accordance with Section 10A(2)(f) of the *Local Government Act 1993*, which permits the meeting to be closed to the public for business relating to the following:

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details of systems and/or arrangements that have been implemented to protect council, councillors, staff and Council property.

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