

Campbelltown (Sustainable City) Development Control Plan 2015



VOLUME 2

Site Specific DCPs

Part 3: Campbelltown Link Site

Creating Campbelltown's Future 2025



Note:

The Campbelltown Link Site DCP came into effect on 09 January 2002 and has been incorporated as Part 3 , Volume 2 of Campbelltown (Sustainable City) DCP.

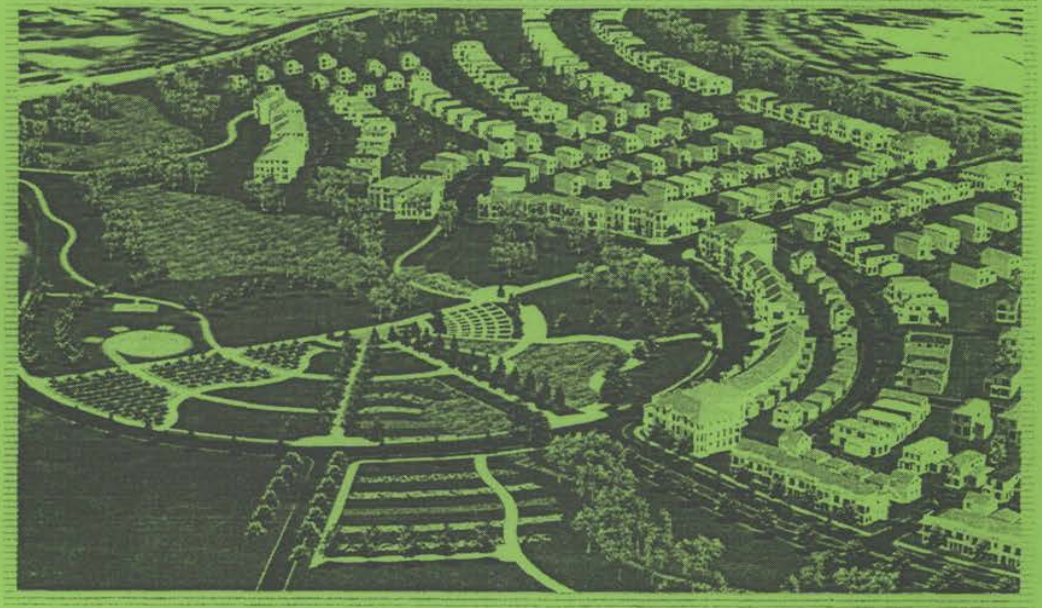
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DEVELOPMENT CONTROL PLAN



Prepared for
BUSINESS LAND GROUP

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PART 1

1 INTRODUCTION

1.1 What is this plan called and when did it come into force?

This is the Campbelltown Development Control Plan (DCP) No.104, for the Link Site. This plan came into force on 9 January 2002 in accordance with clause 21(2) of the Environmental Planning and Assessment Regulation (as amended) 2000.

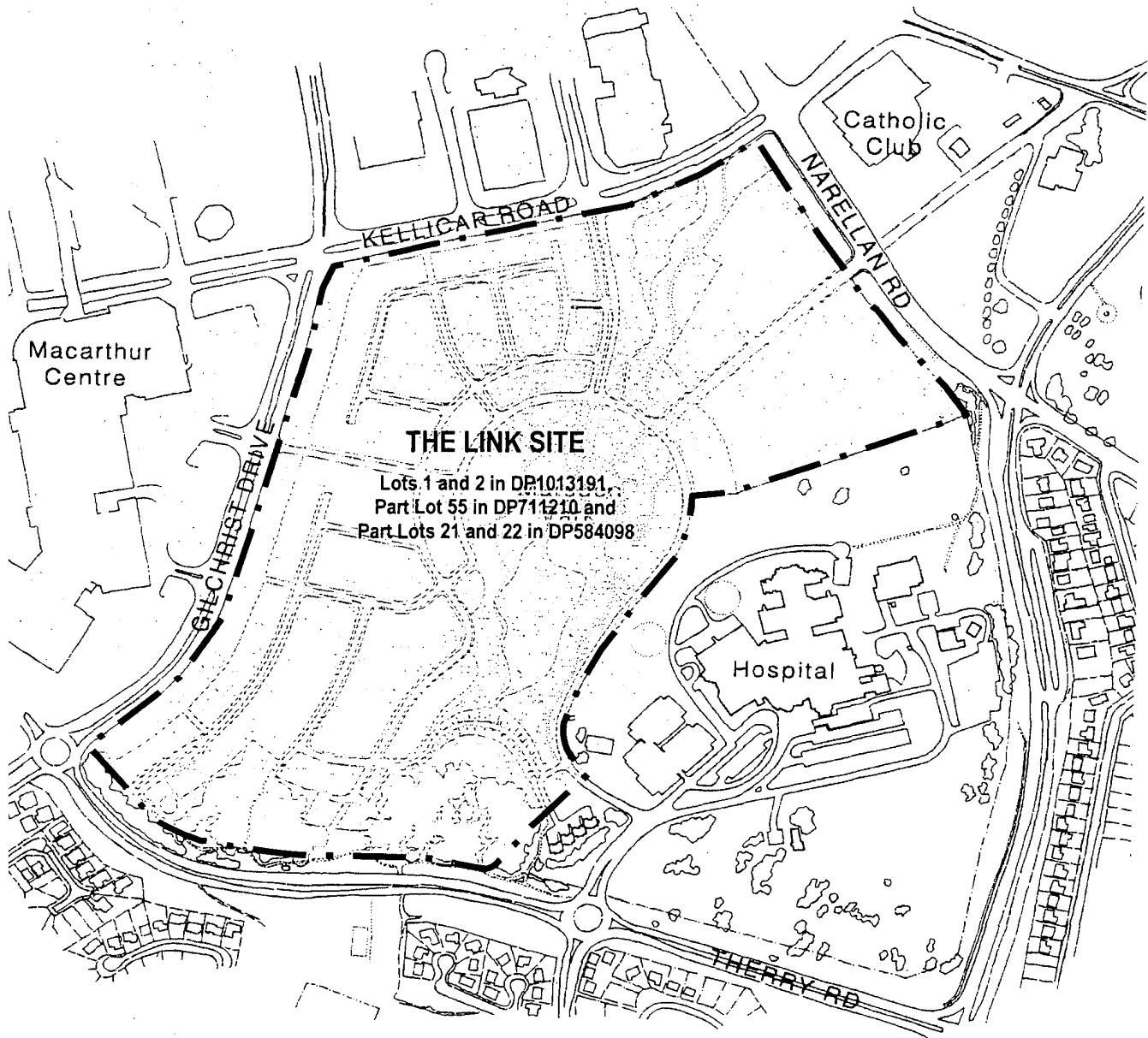
1.2 Where does this plan apply?

This is a site specific Development Control Plan, which applies to the whole of the Campbelltown Link Site, being Lots 1 and 2 in DP1013191, part Lot 55 in DP711210 and part Lots 21 and 22 in DP584098 (see Figure 1).

1.3 What are the objectives of this plan?

The objectives of this plan are:

- a. To allow for a variety of land uses and building types including: open space, residential, mixed uses, commercial, and aged housing within appropriate identified precincts;
- b. To ensure a minimum neighbourhood dwelling density of 30 dwellings per hectare of total residential precincts is achieved through the provision of a mixture of dwelling types and building configurations;
- c. To ensure building design demonstrates architectural merit and comprises high quality materials and finishes;
- d. To create a place that serves and inspires present generations without compromising future generations through the utilisation of ecologically sustainable design practices;
- e. To provide opportunities to a range of transport nodes;
- f. To provide for increased housing densities in close proximity to transport nodes and civic precincts, in accordance with State Government Policies and Council's Housing Strategy;
- g. To capitalise on the Link Site's location and distinctive features to create a high quality urban environment which offers a range of housing, employment and recreational opportunities.



**FIGURE 1
SITE PLAN**

CAMPBELLTOWN LINK SITE DCP



Not to Scale

1.4 How to use this plan

The design guidelines and requirements of this DCP aim to meet the vision and key objectives identified in the Campbelltown Link Master Plan.

The DCP consists of twelve (12) sections, which are divided into two parts. Part 1 contains the introduction; vision, principles and precincts; and general site planning and guidelines for residential development. Part 2 contains the sections specifically relating to individual precincts.

All development proposals should address the "vision" and general provisions, together with the objectives, desired character and design guidelines for each precinct. The following flow chart illustrates the process required during the preparation of a development application (DA).

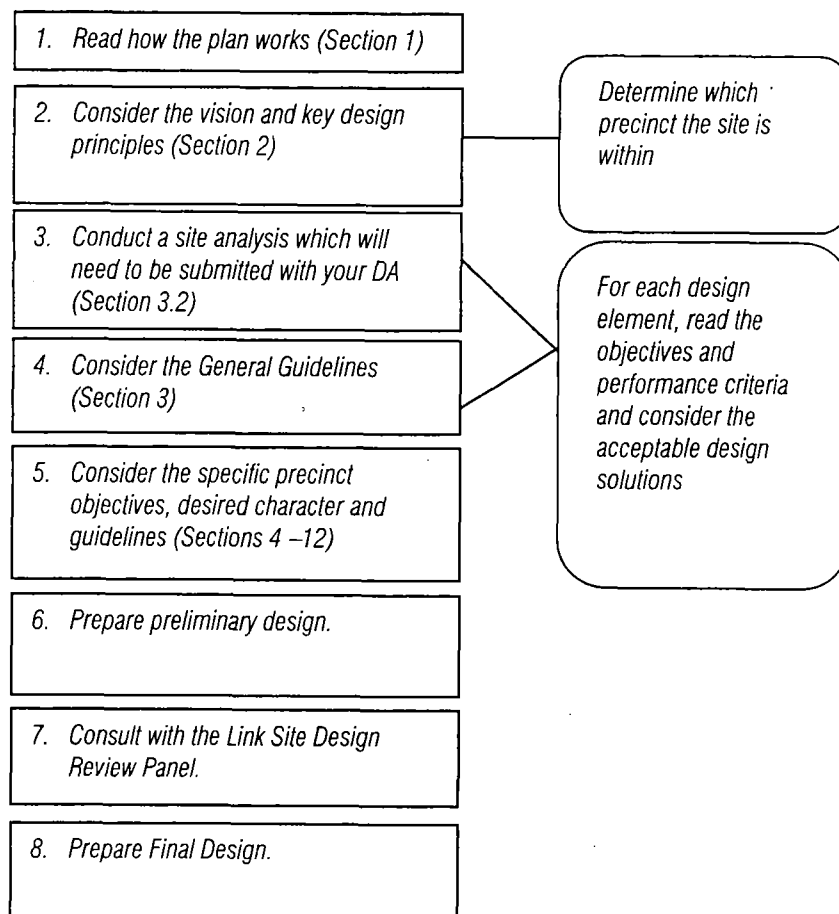


Figure 2: Process for Preparation of Development Application

Design Review Panel

The Development Application must be submitted to the Link Site Design Review Panel for endorsement prior to lodgement with Council. This panel comprises nominated representatives from the landowner, project architect and Campbelltown Council.

1.5 Relationship to other plans, policies and documents

This DCP is to be read in conjunction with the provisions of any environmental planning instruments that apply to the land. Where there is an inconsistency between this plan and any other DCP or policy applying to the same land, the provisions of this DCP should prevail, to the extent of that inconsistency.

Other DCPs that apply to the Campbelltown Link Site include DCP 52 – Off Street Car Parking, DCP 95 – Controls for Waste Management in Development, Construction and Demolition, DCP 106 – Protection of Buildings from Subterranean Termites, DCP 112 – Sediment and Erosion Control, DCP 115 – Energy Efficiency Land Subdivision, DCP 116 – Energy Smart Homes Single Dwelling, DCP 117 - Energy Smart Homes Alterations and Additions, DCP 118 - Energy Smart Homes Multiple Dwellings and DCP 119 – Energy Smart Homes Multi-Unit Residential Buildings.

The DCP is based on a Master Plan, which is a valuable reference document for the development of the site. The Masterplan incorporates design guidelines, which identify the architectural style and the quality of dwellings to be constructed on the site. The key elements from the Master Plan are contained in this DCP to assist Council to assess subsequent development applications.

1.6 How the precinct specific sections work

The Link Site is divided into nine precincts, including: an open space precinct, 5 residential precincts, 2 commercial precincts, and an aged persons precinct. The precincts are identified and described in Section 2 of this DCP.

The Open Space precinct will comprise Marsden Park and parkland corridors, Gilchrist Drive and Kellicar Road landscaped buffer reserves and public streets. This precinct includes a large central park for the benefit of all Campbelltown residents and workers.

The two commercial precincts, which are separated into a Business Commercial Precinct and a Special Commercial Precinct are intended to form critical elements of the Link Site both functionally and visually, providing integration between the site and the surrounding uses.

The Aged Persons Precinct will provide for the development of a range of housing and other related facilities for the aged.

The five residential precincts, namely Entry Avenue, Parkside Crescent, Hilltop Drive, Rolling Green and Bushland precincts, have been designed to produce a particular streetscape outcome and development type.

The precinct specific design guidelines prescribed in the DCP aim to ensure that the desired character of each precinct is achieved and the overall vision of the Masterplan is realised.

Each precinct contains an Introduction, Precinct Objectives, Desired Character and Design Guidelines.

1.7 Monitoring and amendments

The plan shall be monitored and reviewed in light of the site development. A formal review will occur on the completion of each stage or at such interval as determined by Council.

2 Vision, Principles, Precincts and Pedestrian Links

2.1 General

This section contains the vision, key design principles and provides a brief description of the precincts.

2.2 Vision

To capitalise on the site's strategic location and distinctive features to create a high quality urban environment which offers a range of housing, employment and recreation opportunities and has a special identity and sense of community.

2.3 Key Design Principles

The key design principles for the Campbelltown Link Site are:

- a. To provide an urban structure that responds to the topography of the Link Site and creates a safe and attractive public domain;
- b. To encourage the detailing of building forms in an appropriate contemporary style;
- c. To provide a range of housing types, including those not currently available within the Campbelltown area;
- d. To provide an attractive and functional public domain for the use of all Campbelltown residents and workers;
- e. To promote ecologically sustainable building design;
- f. To provide a robust and permeable public domain network, comprising open space, streets and pedestrian links that will provide connectivity between the Link Site and the surrounding areas of Queen Street, Macarthur Square and Campbelltown Hospital;
- h. To promote good urban design through the provision of well-articulated buildings that contribute to a lively and aesthetically pleasing environment.
- i. To provide a distinctive character for the identified precincts by adopting a palette of built forms and landscaping.
- j. To provide for a range of commercial activities that are suitable for the Regional Centre and which complement existing centres.

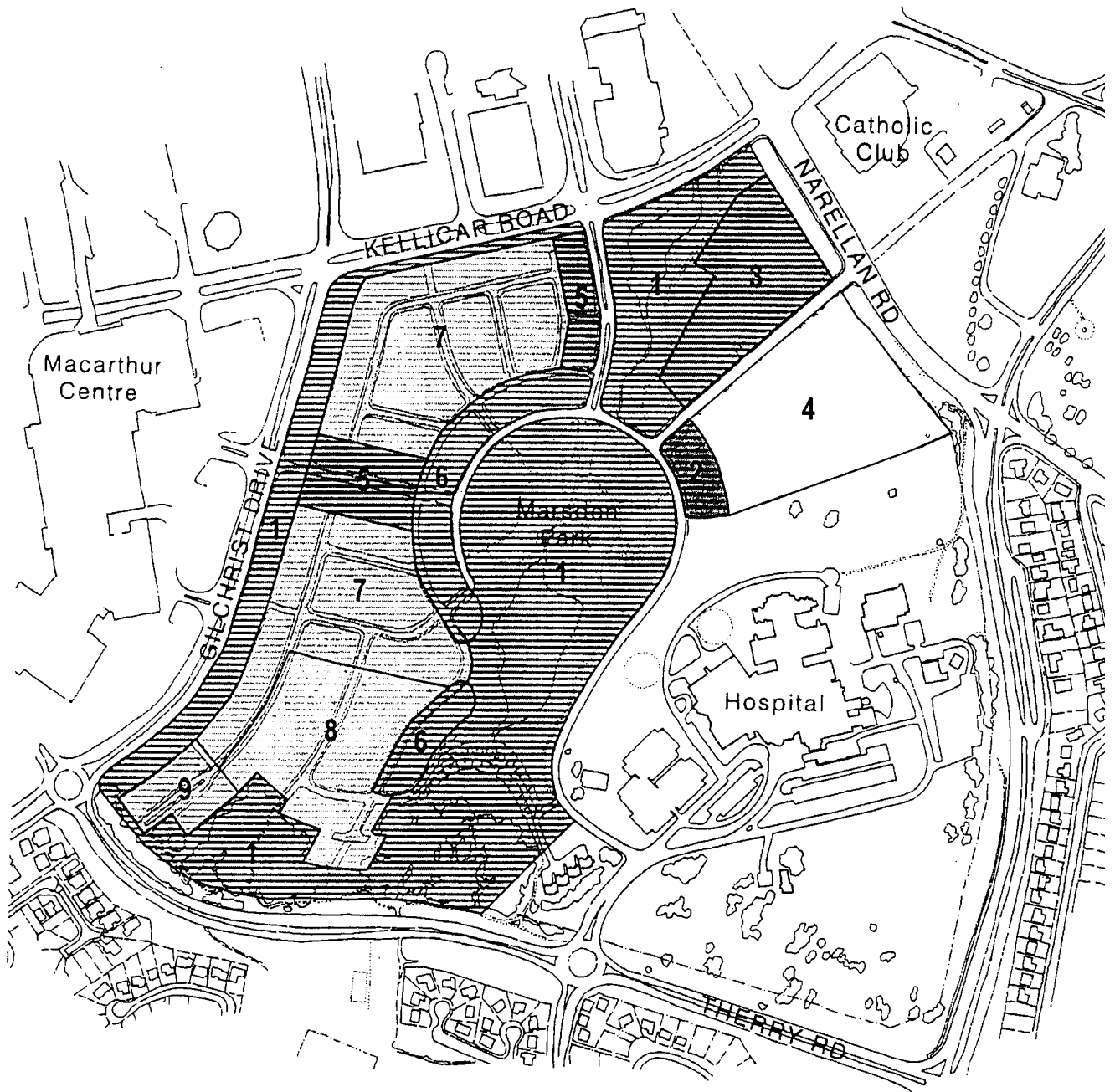
2.4 Precincts

Nine (9) precincts have been created in response to variations in the urban setting, topography and proximity to distinct surrounding land uses. The geographic arrangement of the precinct areas within the Campbelltown Link Site is shown on Figure 3.

The individual precincts have been selected on the basis of their physical landscape characteristics, their desired function and their relationship with existing and proposed uses on adjoining sites. Each precinct has an identified character and desired streetscape. The preferred land uses for each precinct, outlined as follows, aim to meet the overall objectives and vision of this plan and the Masterplan.

Preferred uses and functions of the non-residential precincts and the Aged Persons Precinct are listed as follows:

Open Space	Passive and Active Public Domain <ul style="list-style-type: none">• Regional and local open space is proposed in addition to landscaped buffer reserves and streets.
Business Commercial	Commercial Use <ul style="list-style-type: none">• Preferred uses should comprise professional suites possibly for medical oriented specialists and uses associated with the adjoining hospital site.
Special Commercial	Commercial/Recreation Use <ul style="list-style-type: none">• Preferred uses comprise a range of specialist commercial uses, which may include entertainment facilities, restaurant/café, a hotel, cultural centre, convention centre and sporting complex. Bulky goods retailing and other large scale retail uses are not permitted in this precinct.
Aged Persons	Specialist Residential <ul style="list-style-type: none">• Preferred uses comprise a mix of housing and associated facilities for older people, which may include self care units, hostel accommodation and nursing homes.



LEGEND:










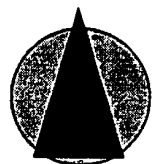
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|---|---|
|  Open Space |  Parkside Crescent |
|  Business Commercial |  Rolling Green |
|  Special Commercial |  Bushland |
|  Aged Persons |  Hilltop Drive |
|  Entry Avenue | |



FIGURE 3
PRECINCT PLAN
 CAMPBELLTOWN LINK SITE DCP



Not to Scale

A total of five residential precincts have been created to meet the demands for housing in the Campbelltown Area in accordance with Council's Residential Strategy and market demand studies. Preferred building types and functions for each residential precinct, which respect the individual landscape characteristics of each precinct and assist in achieving the desired character of each precinct, are specified as follows.

Entry Avenue	Residential/Mixed Use <ul style="list-style-type: none"> • Zero Lot Line • Terraces • Apartments • Home business
Parkside Crescent	Residential Use <ul style="list-style-type: none"> • Terraces • Apartments
Rolling Green	Residential Use <ul style="list-style-type: none"> • Single detached dwelling • Zero Lot Line • Semi-detached • Terraces
Bushland	Residential Use <ul style="list-style-type: none"> • Single detached dwelling • Apartments
Hilltop Drive	Residential Use <ul style="list-style-type: none"> • Single detached dwelling • Semi-detached • Apartments

2.5 Pedestrian Links

The Campbelltown Link Site is located within the Regional Centre of Campbelltown. A pedestrian link between individual sites within the Regional Centre is essential to ensure it functions in terms of access. The location of Narellan Road between the Link Site and Old Menangle Road/Queen Street has the potential to isolate individual site uses which must be avoided.

A pedestrian link between the Campbelltown Link Site and the Main Street is to be provided as part of the development of the Link Site to provide access within the Regional Centre.

Options for the provision of this link that are to be considered and assessed in the development of the Link Site include:

- signalised intersection with associated pedestrian crossing
- overhead pedestrian bridge
- underground pedestrian tunnel.

Ideally the pedestrian link should be provided as early as possible in the development of the Link Site but must be provided prior to the completion of the development.

3 General Site Planning & Guidelines for Residential Development

3.1 General

This section outlines each element involved in the site planning and design process for residential development. It applies to all residential precincts within the Link Site including the Aged Persons Precinct. Each element includes an explanation, objectives and design guidelines and requirements.

3.2 Site Analysis

Explanation

Inherent in this DCP is a desire to preserve and enhance the qualities of each site through site responsive design and development. A site analysis allows the constraints and opportunities of a site to be identified and for building design to be responsive to these.

Objectives

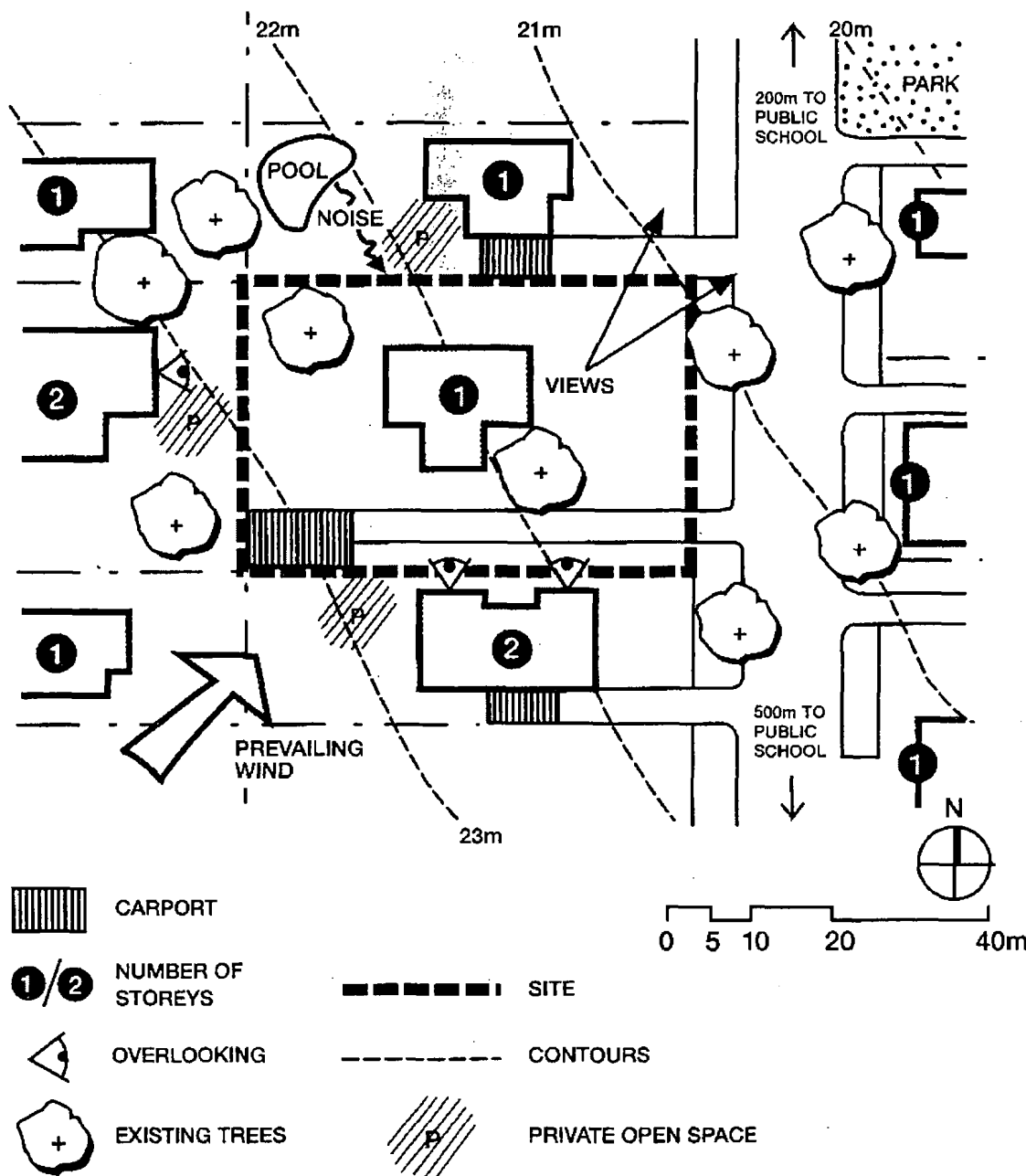
- a. To preserve and enhance the individual qualities of each site through lot responsive design and development.
- b. To promote well designed buildings which make a positive contribution to the streetscape setting and precinct.
- c. To ensure development makes the best use of a site's natural features and considers amenity, streetscape and energy efficiency at the start of the design process.

Design Guidelines and Requirements

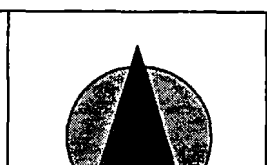
A Site Analysis should accompany each application for development. This should include a plan showing the following information:

- north point and all boundary dimensions;
- slope of land;
- any easements or right of ways and existing or proposed services;
- any existing trees or significant stands of vegetation;
- the sun's path and shadows;
- prevailing winds;
- views;
- noise sources;
- the location of proposed buildings on the site;
- an outline of neighbouring buildings, where developed;
- proposed private open space areas; and
- existing private open space areas of adjoining sites.

An example of a typical site analysis is shown in Figure 4.



**FIGURE 4
SITE ANALYSIS**



3.3 Minimum Allotment Sizes

Explanation

Lot size requirements ensures that appropriate areas are set aside for the development of certain dwelling types and that adequate space is provided for minimum frontages, private open space and the provision of adequate carparking.

Lot sizes also assist in controlling the density of development and providing housing diversity. Character and streetscape are to a large degree influenced by lot size and frontage.

Objectives

- a. To encourage a variety of lot sizes across the Link Site to promote a variety of housing choice.
- b. To develop a subdivision and lot size pattern that will reinforce the desired future character of the residential precincts consisting of both formal and less formal streetscapes.
- c. To design individual lots that accommodate specific forms of housing in order to achieve the desired urban form and density.

Design Guidelines and Requirements

Residential lot size and frontage should be capable of accommodating a dwelling, adequate landscaped area and private open space, and at least two car parking spaces.

Lot size should take into account the slope of the land and the desired character of each precinct.

The lot size for each dwelling type is to be:

	Minimum	Indicative Range
• Single Detached Dwelling	390 m ²	390-500 m ²
• Zero-Lot Line Dwelling	250 m ²	250-350 m ²
• Semi-Detached Dwelling	250 m ²	250-350 m ²
• Terraces	200 m ²	200-300 m ²
• Apartments	800 m ²	800-2000 m ²

The development of terrace houses is only permitted in minimum groups of six dwellings. A combined minimum development site of 1200m², is therefore required for terrace developments.

A minimum site frontage of 7.5m is required for all dwellings, except apartments. The minimum site frontage required for apartments is 20m.

3.4 Building Envelope

Explanation

The building envelope is the three dimensional space within which a development may take place. The building envelope is generated by maximum building height, site cover and setback controls. The building envelope ensures that the scale and bulk of future development is compatible with the desired streetscape character and that privacy and solar access to adjoining buildings is maintained. It also ensures that private open space is generally provided to the rear of dwellings.

Setbacks can influence the character and scale of individual neighbourhoods and streets. Visual and acoustic privacy and solar access to neighbouring dwellings are also influenced by setbacks.

Site coverage restricts the building footprint to control the size and bulk of buildings. It also encourages existing vegetation to be retained and provides suitable areas for landscaping and private open space.

Objectives

- a. To minimise the bulk and scale of buildings and provide sufficient landscaped areas to achieve an attractive residential environment.
- b. To provide a range of setback controls that contribute to the overall character of the Link Site and the individual character of each precinct.
- c. To provide front setback controls in accordance with the desired streetscape character of individual precincts.
- d. To provide for appropriate setbacks which reinforce the intended street hierarchy.
- e. To create vistas to Marsden Park.
- f. To ensure building heights relate to the topography of individual sites.

Design Guidelines and Requirements

For all residential buildings, the building envelope should provide for the predominant bulk at the front of each lot.

Setbacks:

Setback controls are precinct specific and are provided within the precinct sections of this DCP. Consult each individual precinct for relevant controls.

Site Cover:

The maximum site coverage for all residential lots is 65%.

Height of Building Types:

The height of buildings relates to the type of dwelling to be erected. The height of buildings is to be as follows:

- Single Detached Dwelling 1 –2 storeys
- Zero-lot line Dwelling 1 – 2 storeys
- Semi-Detached Dwelling 2 storeys
- Terraces 2 - 3 storeys
- Apartments 2 – 4 storeys

3.5 Private Open Space

Explanation

Private open space forms a usable landscaped area on each residential site for recreational purposes. Controlling the minimum dimensions and location of private open space on a site are an important means of ensuring that the private open space is usable.

Objectives

- a. To ensure all residents have access to useable and well located private open space.
- b. To enhance the amenity of the built environment by providing high quality private open space.

Design Guidelines and Requirements

Landscaping of private open space should contribute to the amenity of the dwelling and the streetscape.

Landscaping and garden design should provide for shade in summer, sunlight in winter, privacy and protection from the wind.

Dwellings:

The minimum private open space requirement for all dwellings, except apartments, is 20% of the site area of each allotment. One part of this should form an area of at least 16m² with minimum dimensions of 4m x 4m.

Where possible, the principal area of private open space should face north and extend from the living rooms of dwellings.

Apartments:

The minimum private open space requirement for apartments is 8m² with a minimum dimension of 2m.

Communal open space for apartments should be shown on a Landscape Plan. The layout of communal open space should provide for a range of uses and facilities associated with apartment living and make a positive

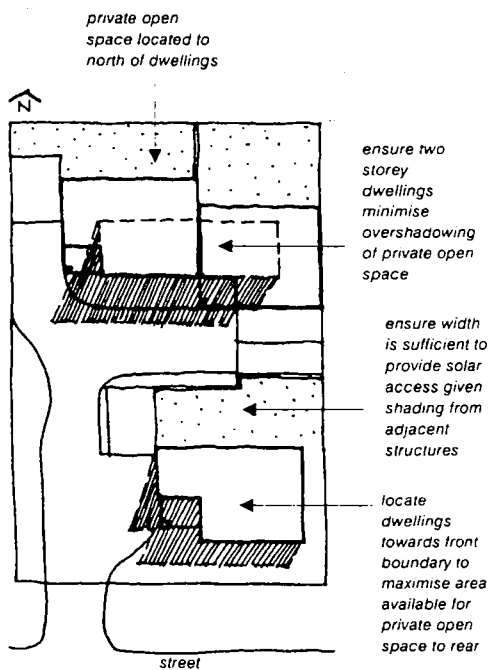


Figure 5: Consideration is to be given to the shape and aspect of private open space

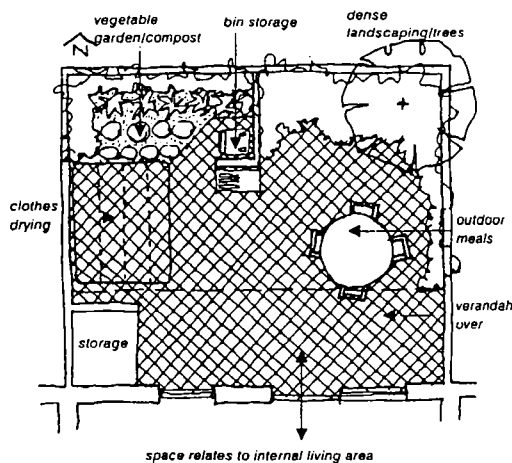


Figure 6: Private open space fulfils a number of functions

contribution to the amenity of the site and the character of the development.

3.6 Views, Visual and Acoustic Privacy

Explanation

Privacy refers to both visual and acoustic privacy. The privacy needs of occupants and neighbours should influence all stages of design from the siting and internal layout of buildings to the detailed characteristics of development, such as fencing and landscaping. Visual privacy is a highly valued component of the amenity of any neighbourhood and should influence the location of a building's windows and private open space. However, it is acknowledged that privacy to open space is not always achievable in apartment and terrace style buildings.

Objectives

- a. To encourage developments that minimise noise and overlooking impacts to neighbouring properties.
- b. To encourage adequate privacy levels for all inhabitants and neighbours.
- c. To ensure that lots fronting main roads have noise attenuation and security measures provided to achieve appropriate amenity.

Design Guidelines and Requirements

Visual Privacy:

The direct overlooking from the principal living rooms of a proposed dwelling to the principal living rooms of a neighbouring dwelling is discouraged and should be minimised through appropriate building layout, location and design of windows, balconies and landscaping. Privacy screens should be used where necessary.

It is acceptable, due to the nature of this development that some overlooking of rear yards will occur.

Acoustic Privacy:

Developments close to noise sources such as busy roads should be designed so that habitable rooms and private open space areas are located away from noise sources, unless appropriate acoustic barriers are provided. Acoustic treatment should be in accordance with Council's required standards.

Noise sensitive rooms such as bedrooms should be located away from garages and car parking spaces, wherever possible. Where this is not possible, other appropriate noise attenuation measures should be used.

Doors and windows should be kept to a minimum on the side of the building most exposed to the noise source, where possible.

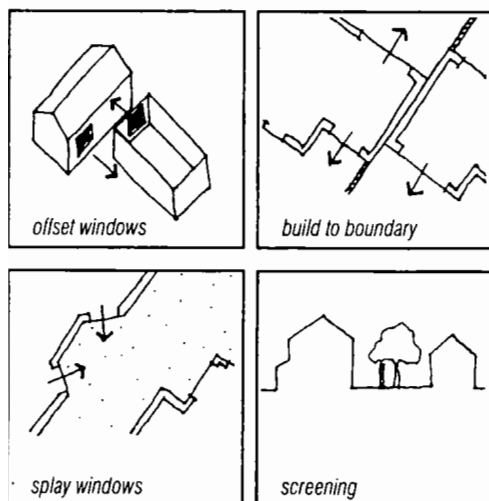


Figure 7: Visual privacy design suggestions

3.7 Ecologically Sustainable Development

Explanation

Ecologically Sustainable Development (ESD) encompasses design principles that contribute to environmentally responsible development outcomes. Essentially, ESD aims to achieve a balance that integrates the protection of ecological processes and natural systems, promotes economic development and maintains the cultural, economic, physical and social wellbeing of people and communities. This includes planning for the efficient use of new residential subdivisions and designing energy and water efficient homes. The following guiding principles should be taken into account when designing and constructing energy efficient buildings. Council's Energy Smart Homes DCPs (Nos. 115-119 inclusive) also apply to the Campbelltown Link Site Development.

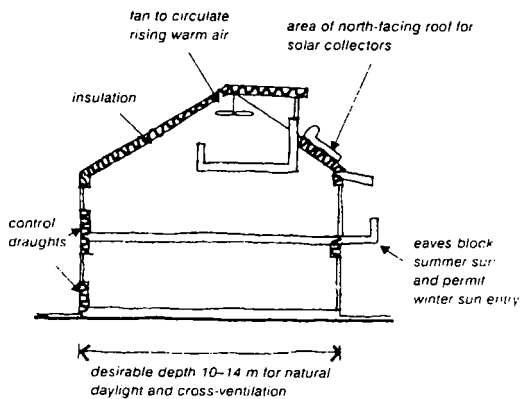


Figure 8: Design suggestions for energy efficient housing.

Objectives

- To ensure developments are sited to maximise solar access to indoor and outdoor living areas and to minimise heating requirements.
- To minimise the overshadowing of neighbouring dwellings and open spaces through careful house siting.
- To provide thermal mass and insulation where necessary, to residential dwellings to minimise energy consumption.
- To ensure that waste generated by the proposed development is minimised and disposed of in a proper location.

Design Guidelines and Requirements

Dwellings and private open space should be provided with adequate daylight, natural ventilation and sunlight.

Dwellings should be designed to minimise energy used for heating and cooling.

Significant overshadowing of habitable rooms and private open spaces should be avoided, where possible.

Hard surfaces such as driveways and paved areas should be minimised to reduce stormwater runoff.

Appropriate building materials and insulation where necessary, should be used to assist thermal performance.

Developments should meet the relevant requirements of Council's Energy Smart Homes DCPs (Nos.115-119n inclusive) and DCP No.95 – Controls for Waste Management in Development, Construction and Demolition.

3.8 Parking and Access

Explanation

The provision of car parking should reasonably satisfy the needs of future residents. Parking areas, driveways and garages must be carefully designed so they are safe, accessible and do not detract from the streetscape.

Objectives

- a. To ensure all developments incorporate adequate parking and that parking areas and garage structures do not detract from the streetscape nor visually dominate the street.
- b. To ensure vehicular and pedestrian safety is considered in the planning and design process.
- c. To minimise the size and number of driveways and driveway crossovers so that on-street parking is not diminished, pedestrian conflicts are minimised and the visual amenity of the streetscape is not compromised.

Design Guidelines and Requirements

Garages to principal street frontages should not dominate the streetscape or detract from the appearance of the dwelling and should be integrated into the design of the dwelling. Garages and carports are to be located at the rear of all lots that have rear street access.

The width of any garage when facing the primary street should not occupy more than 50% of the lot frontage.

Two on-site carparking spaces should be provided for all dwellings, except apartments. One space should be provided for each apartment and an additional one space per five apartments is required for visitor parking.

Car parking should generally be provided in the following configurations:

- Double width garage for dwellings with greater than 12m frontage;
- Single width garage plus single-stacked space for dwellings with less than 12m frontage;
- Double garage at the rear to secondary side street for dwellings on a corner lot; and
- Double width garage located at the rear of lot only for dwellings with rear street access.

All car parking dimensions and driveway widths are to be provided in accordance with the Australian Standards for Off-Street Car Parking (AS 2890.1-1993).

A schedule of Minimum Standards for proposed streets and pathways is provided at **Annexure 2**.

Apartments:

Resident parking for apartments should comprise either basement parking or be situated at the rear of the lot. Visitor parking should be defined by clearly marked spaces and ideally be located at the rear of the lot and not undercover.

Corner Lots:

Where no rear street access is available, any carport or garage structure on a corner lot should be located on the secondary frontage at the rear of the lot.

3.9 Security, Site Facilities and Utilities

Explanation

All residential development within the Campbelltown Link Site should incorporate passive design elements to improve security around the site. The provision of site facilities influences the livability of a dwelling and consequently the quality of life of their inhabitants. Well-designed dwellings that contribute to an attractive streetscape will improve the well being of residents.

Unattractive or poorly designed site facilities including garbage and mail storage areas, satellite dishes and TV antennas, solar panels and air conditioners can detract from the image and amenity of a development.

Objectives

- a. To provide adequate site facilities for all dwellings.
- b. To ensure that the design of site facilities are not visually intrusive to the primary street frontage or any other prominent vantage point.
- c. To ensure buildings incorporate passive design elements which promote a safe living environment.

Design Guidelines and Requirements

For all development:

Garbage and recycling areas should be located at the rear or side of the dwelling behind the building line and away from doors and windows. All site facilities should be designed for attractive visual appearance and convenient use.

Satellite dishes, TV and radio antennas should be located so that the visual impact to the streetscape is minimised. Solar panels and air conditioners, if required, should be located to the rear of the roof. Window or wall mounted units are not permitted on the primary street frontage. All piped and cabled services should be placed underground.

Buildings adjacent to streets and public open space should be designed to allow casual surveillance from dwellings and should have at least one habitable room window facing that area.

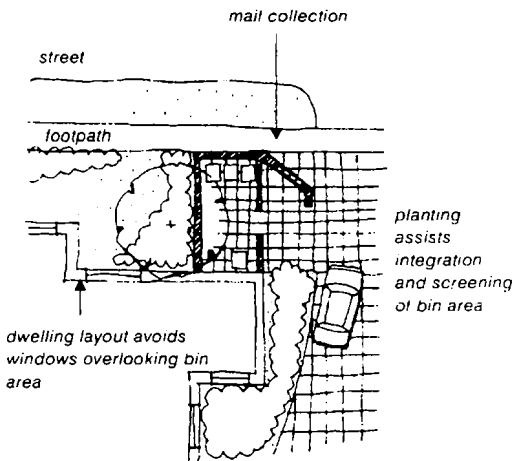


Figure 9: Site facilities, such as mailboxes and garbage areas, should be convenient to use and integrated into the development so as not to detract from the streetscape.

For Apartments:

Car wash facilities should be provided for each apartment building. Adequate lighting should be provided to all pedestrian paths, communal open space, parking areas and building entries. Adequate open air clothes drying facilities (communal or individual) are to be provided for use by each dwelling and are to be visually screened from the street.

PART 2

4 Open Space Precinct

4.1 Introduction

The Open Space Precinct comprises four main areas, being the Marsden Park and parkland corridor, Gilchrist Drive ridge top landscape buffer, Kellicar Road landscape buffer, and public domain streets (See Figure 10). The Open Space precinct has a total area of approximately 21.4ha and has been designed to provide a range of high quality settings and functions that complement the surrounding built environment.

Marsden Park is located in the centre of the site and will provide a focal point for the entire Link Site. Marsden Park and the parkland corridor encompasses a formal central park with an area of 4ha, an informal bushland/wetland to the south with an area of 5ha and a northern informal park adjoining Kellicar Road to the north with an area of 2.9ha.

The Gilchrist Drive Ridge Top Landscape Buffer adjoins Gilchrist Drive and will comprise a 30m landscape reserve, featuring a pedestrian and cycle way and appropriate landscaping to mitigate against traffic noise.

The Kellicar Road Landscape Buffer adjoins Kellicar Road and will comprise a 10m landscape reserve to allow for noise mitigation measures to be implemented.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

4.2 Precinct Objectives

The objectives of the precinct are:

- a. To create a high quality network of open space within the Link Area site that provides a range of functions and recreational settings for residents of the site and the surrounding area.
- b. To ensure that the aesthetic and functional value of the open space is maximised by incorporating pedestrian and cyclist linkages, water quality management and acoustic and visual screening within the design of the open space network.
- c. To provide open space which contributes to the amenity of the Link Site and assists in the development of high quality residential and commercial streetscapes in areas adjoining the open space.

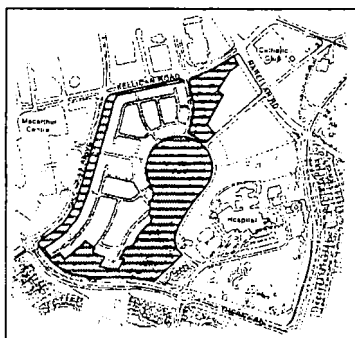


Figure 10: Open Space Precinct Location Plan

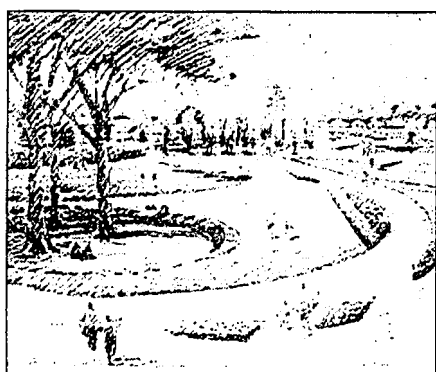


Figure 11: Open Space Precinct Desired Character

4.3 Desired Character

The desired character of the Open Space Precinct has several elements, which reflect the range of functions expected from the different open space areas. A list of preferred tree species is provided in Annexure 1.

Marsden Park and Parkland Corridors:

Marsden Park will be the central focus of the development site and should provide a distinctive identity and a high level of amenity for residents. Its formal landscaped design and alignment of visual corridors will create a focal point from many parts of the site and surrounding areas.

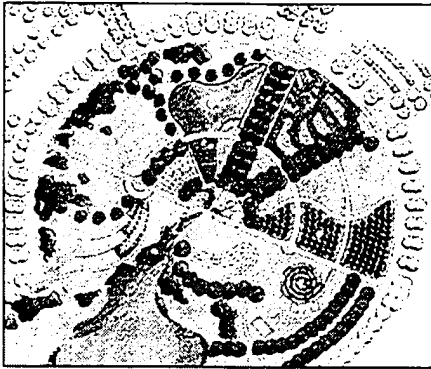


Figure 12: Marsden Park

All major roads entering the Link Site should focus on the central formal park, which is to be ringed by a crescent. An open vista across the parklands and along the waterway should be maintained from the intersection of Kellicar Road and Narellan Road.

Kellicar Road Landscape Buffer:

Kellicar Road has been identified as a significant noise source and this landscape buffer will allow for landscape treatment using walls and mounding to mitigate the noise problem. The size of the landscaped edge should enable the creation of an attractive pedestrian frontage to the housing development, without creating a "walled estate" appearance.

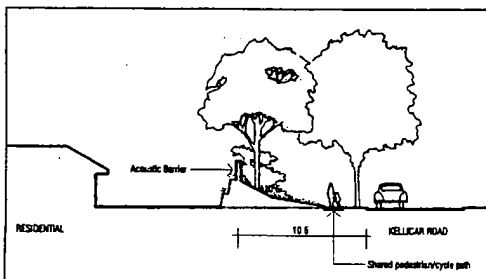


Figure 13: Kellicar Road Landscape Buffer

Gilchrist Drive and Therry Road Ridge-Top Landscape Buffer:

Within this landscape reserve, preservation of some of the existing stands of eucalyptus is required and should be supplemented with the addition of further planting. Open planting is encouraged to allow for the development of a safe pedestrian/cycleway along the western perimeter of the Link Site. Appropriate landscape mounding should be used within this reserve to mitigate against traffic noise from Gilchrist Drive.

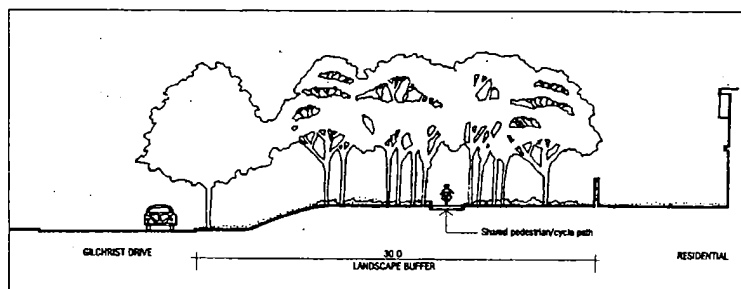


Figure 14: Gilchrist Drive Landscape Buffer

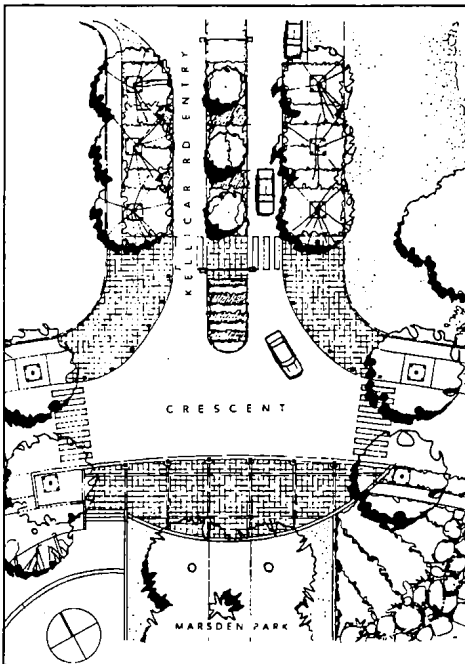


Figure 15: Example of Public Domain Street Treatment

Public Domain Streets:

The streets throughout the site should form an integral part of the open space network. The design of street tree planting verges, fencing, entry crossovers and lighting will assist in defining the character of individual precincts and the main roadways. A combination of deciduous exotics and appropriate native trees will be used to define the character of streets in the Link Site. The use of single street tree species to define each street will provide legibility and a clear delineation of the road hierarchy. The major entry roads will primarily be planted with colourful exotics and the minor residential streets with informal natives. Street widths have been designed to create a safe urban character.

4.4 Design Guidelines

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design to meet the desired character of the precinct

Landscaping Structures and Lighting

Proposed landscaping structures such as gazebos, fountains, park furniture and the like should be consistent with the objectives of the Open Space Precinct. These structures should be of an appropriate size and form which respects their location and intended function.

All park, street and pedestrian path lighting should be designed to minimise nuisance to adjoining dwellings. Details of proposed lighting is to be submitted with any development application.

Landscaping Specifications

A detailed landscape master plan is required for each component of the Open Space Precinct.

Pedestrian Paths and Cycleways

Shared pedestrian and cycleways must be a minimum of 2m wide.

Roadways

The minimum standards for streets and pathways within the Link Site are provided in Annexure 2.



Figure 16: Suggestions for Landscaping Structures

5 Business Commercial Precinct

5.1 Introduction

The Business Commercial Precinct is strategically located opposite Marsden Park and in close proximity to Campbelltown Hospital (see Figure 17).

This Precinct is designed to create high quality commercial buildings with prime views across the parkland.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

5.2 Precinct Objectives

The objectives of the precinct are:

- a. To provide active street frontages at ground level to enhance the urban character, security and surveillance of the area and the adjacent park.
- b. To provide for a range of business uses that may be medically orientated to complement the adjoining hospital.
- c. To ensure that buildings opposite Marsden Park address the park in a formal way with elevations scaled to suit the civic nature of the park.

5.3 Desired Character

Commercial development is the preferred type of development in this precinct. Given its proximity to the existing hospital, the Business Commercial precinct will ideally contain professional suites possibly for medically oriented specialists and other uses associated with the hospital. Some ground floor retail uses which are complementary to medically oriented uses and the adjoining hospital, may be permitted.

The predominant building form within this precinct should comprise buildings up to 4 storeys in height. The corner of City Link Road and Parkside Crescent should be accentuated with special design elements, such as pop up roof forms or other articulated elements to provide visual interest and strongly define the street character. Building and landscape design should adequately address Marsden Park. A formal and continuous street elevation should be provided for all commercial buildings with a clear and legible entry sequence.

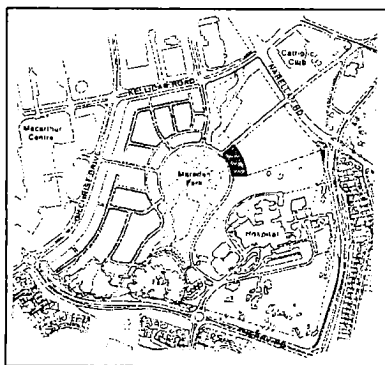


Figure 17: Business Commercial Precinct Location Plan



Figure 18: The Business Commercial Precinct should comprise a building with a front facade which addresses the street and Marsden Park.



Figure 19: Design Suggestion for Commercial Building

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct.

Design and Massing

The facade of commercial buildings are to provide for an active street frontage and surveillance of the adjacent park.

Parapet walls and/or street facing gables are encouraged for all commercial buildings. Blank facade walls must be avoided and appropriate wall and window articulation is to be provided.

Building facades should incorporate high quality durable finishes. A schedule of finishes must be submitted with any development application.

A continuous awning should be provided over the pavement, where required, to provide weather protection for pedestrians and visitors at all major building entries.

All commercial buildings on corner sites should adequately address the corner and make provision for continuing design features, such as balconies around the corner.



Figure 20: A Continuous Awning should be provided where necessary.

Setbacks

A maximum front setback of 4m is required to Parkside Crescent. A maximum 5m setback is required to City Link Road, with a 2.5m projection area permitted within this setback. A minimum 3m side and rear setback applies to the other boundaries.

Height

The maximum height of buildings within this precinct is four storeys.

Car Parking

No vehicular access is to be provided from Parkside Crescent. Any above ground car parking areas should be adequately landscaped with planting occurring between parking areas. Parking and servicing arrangements must be provided at the rear of the site to avoid conflict with ground level uses and pedestrian spaces.

Commercial developments are to meet the requirements of Campbelltown Development Control Plan 52 – Off-Street Car Parking in relation to car parking, access and loading requirements.

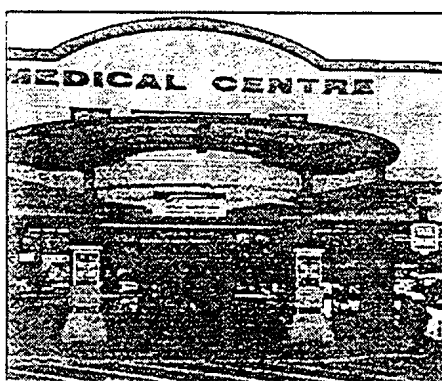


Figure 21: Medical Related Facilities are Encouraged in this Precinct.

6 Special Commercial Precinct

6.1 Introduction

The Special Commercial Precinct is located along the northern side of the "City Link" entry road from Narellan Road (see Figure 22). This precinct provides an extension to the retail environment of Queen Street.

It is intended that the Special Commercial Precinct may contain a variety of specialist commercial uses, such as leisure and entertainment facilities including cafes and restaurants. These will complement the existing general commercial uses in the surrounding area and provide residents with a variety of facilities.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

6.2 Precinct Objectives

The objectives of the precinct are:

- a. To provide opportunities for the development of specialist commercial uses including entertainment and leisure facilities, in close proximity to the residential precincts and to existing commercial and civic uses of Campbelltown Town Centre.
- b. To ensure that special consideration is given to the expression of building facades and ancillary facilities that are orientated towards Marsden Park, in order to maintain the visual amenity of the open space area.
- c. To ensure that development in the precinct does not disrupt the view corridors to Marsden Park from the intersection of Narellan and Kellicar Roads.

6.3 Desired Character

The Special Commercial precinct should provide a variety of specialist commercial uses in a centralised park side location. A mixture of building forms and expressions is envisaged. However, a distinct building form which edges the northern side of the "City Link" road with buildings that present to both the street frontage and the park to the west and south, is encouraged.

Building design that provides active frontages to adjoining parkland and to City Link Road, is encouraged.

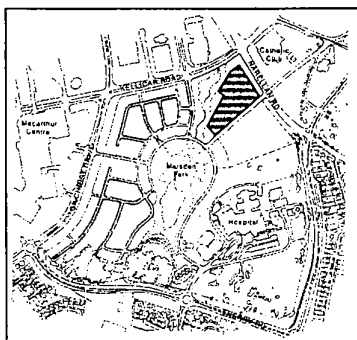


Figure 22: Special Commercial Precinct Location Plan



Figure 23: Special Commercial Precinct Desired Character

6.4 Design Guidelines

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct

Design and Massing

The predominant bulk of buildings should be sited towards the street. Buildings adjacent to Marsden Park should address the park in a formal way with elevations scaled to suit the civic nature of the park. Blank facade walls must be avoided while appropriate wall and window articulation is to be provided.

Buildings along "City Link" Road should form a continuous street elevation with a clear and legible entry sequence. Parapet walls and/or street facing gables are encouraged for all buildings.

A continuous awning should be provided over the pavement, where required, to provide weather protection for pedestrians and visitors at all major building entries.

Corner accent is to be provided for the key corner site at City Link and Narellan Roads which could for example, be in the form of a roof tower or corner balcony.

General

Parking and servicing arrangements should not alienate the street and/or the ground floor level activities or conflict with the pedestrian spaces. The design of buildings should consider the safety of pedestrians.

Any ancillary facilities or security fencing should not be visually intrusive to the street or Marsden Park.

Setbacks

A maximum 5m setback is required to City Link and Narellan Roads with a 2.5m projection area permitted within this setback. Side and rear setbacks are to be in accordance with the setback control diagram provided in Figure 27.

Height

The maximum height of buildings within this precinct is three storeys.

Car Parking

Any above ground car parking areas should be adequately landscaped with planting occurring between parking areas. Parking and servicing arrangements must not alienate the street and ground floor level activities or conflict with pedestrian spaces.

Commercial developments are to meet the requirements of Campbelltown Development Control Plan 52 – Off-Street Car Parking in relation to car parking, access and loading requirements. The provision of underground car parking for commercial developments is encouraged.

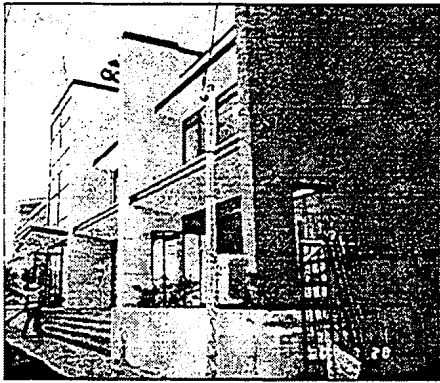


Figure 24: Design Suggestions for Commercial Building



Figure 25: Corner Accent should be provided

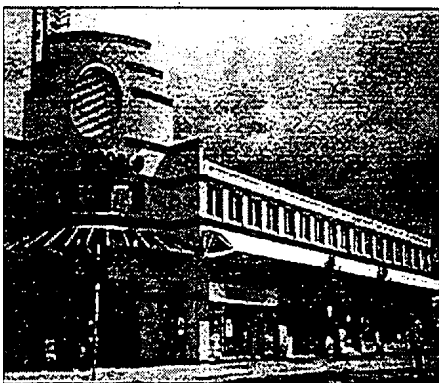


Figure 26: Another example of Corner Accent. Continuous awnings should be provided where required.

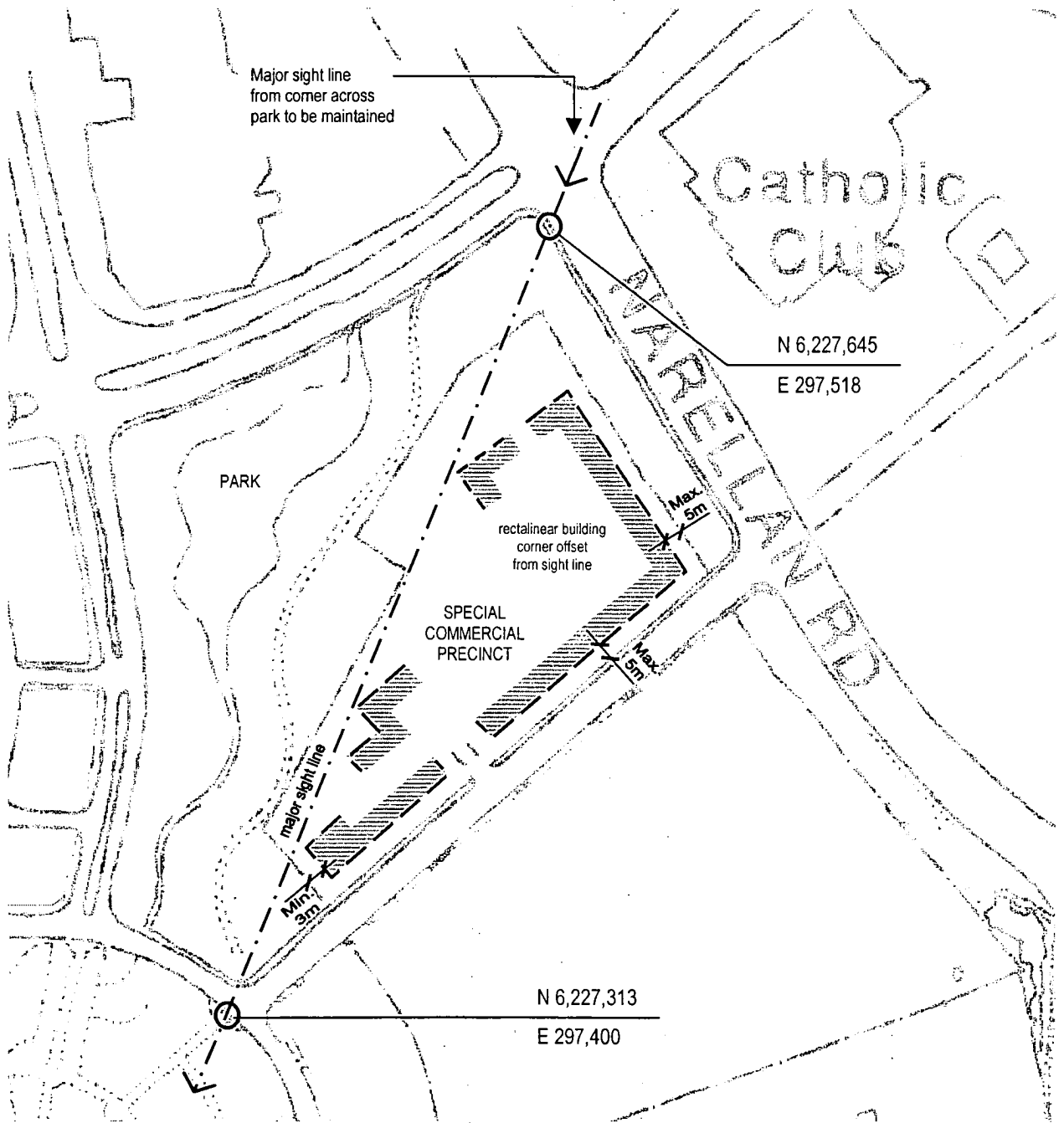


FIGURE 27
SETBACK CONTROL DIAGRAM SPECIAL COMMERCIAL PRECINCT
 CAMPBELLTOWN LINK SITE DCP



7 Aged Persons Precinct

7.1 Introduction

The Aged Persons Precinct is located in the north-eastern part of the site, adjoining Narellan Road. A range of existing and proposed retail, commercial, entertainment, transport, medical facilities and Marsden Park are located nearby (see Figure 28).

This precinct has been designed to create a specialised community that may offer different types of aged care accommodation and associated facilities such as self-care units and nursing home.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

7.2 Precinct Objectives

The objectives of the precinct are:

- a. To encourage a range of aged care accommodation and associated facilities that integrates with surrounding sites and facilities.
- b. To ensure all buildings fronting City Link Road address the street and present a unified facade.

7.3 Desired Character

The Aged Persons Precinct may comprise a variety of building types suitable for different levels of aged care accommodation and associated services.

At the City Link Road frontage, buildings are to achieve a consistent building alignment to the street with easily identifiable pedestrian entries. Buildings of a larger bulk and height should be sited on the southern side of the precinct, adjoining the hospital site to provide graduation in building scale to nearby development.

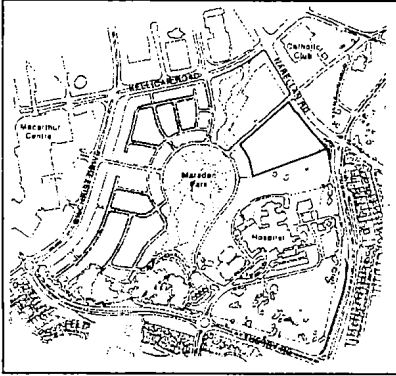


Figure 28: Aged Persons Precinct Location Plan



Figure 29: Aged persons housing could be in the form of self-contained terraces.

7.4 Design Guidelines

To meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct

Design and Massing

Those buildings located adjacent to the Narellan Road boundary should be designed to provide adequate acoustic insulation to mitigate against traffic noise. The Narellan Road frontage to the Aged Persons Precinct has a minimum 5m set back to allow for landscape acoustic treatment.

Design of buildings should consider safety of pedestrians. Any security fencing should not be visually intrusive to the "City Link" streetscape.

Setbacks

A 5m setback is required to City Link and Narellan Roads. A 2.5m projection area is permitted within the setback area to City link Road. A minimum 5m side and rear setback applies to the other boundaries.

Height

The maximum height of buildings within this precinct is two storeys for sites which adjoin City Link Road and four storeys for sites which adjoin the hospital site .

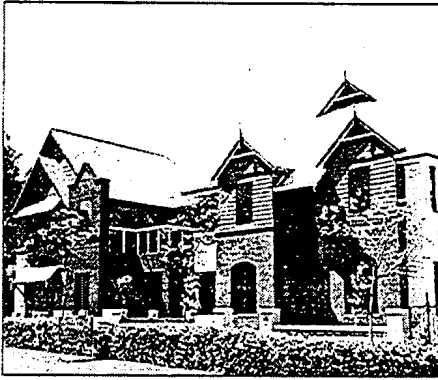


Figure 30: Aged Housing could be provided in a hostel building or nursing home.

8 Entry Avenue Precinct

8.1 Introduction

The Entry Avenue Precinct comprises the two main entries to the site from Kellicar Road and Gilchrist Drive (see Figure 31).

This precinct is designed to create a unique sense of arrival to the Campbelltown Link Site, through building form and streetscape pattern. The Kellicar Road and Gilchrist Drive entries will be distinct in form and function, although they will have a similar theme encompassing formal landscaped avenues, a continuous street facade and a formal building pattern.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

8.2 Precinct Objectives

The objectives of the precinct are:

- a. To promote hard edge building design which complements the street layout and landscape characteristics to create functional and aesthetic gateways to the site.
- b. To provide a variety of medium density housing to meet the changing demand for housing in the Campbelltown Area and the requirements of Council's Housing Strategy.
- c. To provide opportunities for residential-mixed use development in close proximity to the special commercial and business commercial precincts.

8.3 Desired Character

The Entry Avenue precinct, comprising Kellicar Road and Gilchrist Drive entries, are to provide a sense of arrival with subtle differences of character. The design of these entry roads and the complementary built forms will provide a distinctive character for this precinct. Landscaping will also play a major role in realising the desired character and function of this precinct.

Kellicar Road Entry

The Kellicar Road entry should comprise a divided road with a formal planted median in the centre and street trees on either side. A mixture of trees species comprising *Grevillea robusta*, *Flindersia* and *Populus* should be provided to give the street a distinctive character. No driveway crossovers will be permitted to the Kellicar Road entry road. All garages are to be located at the rear of dwellings and accessed from the rear lane.

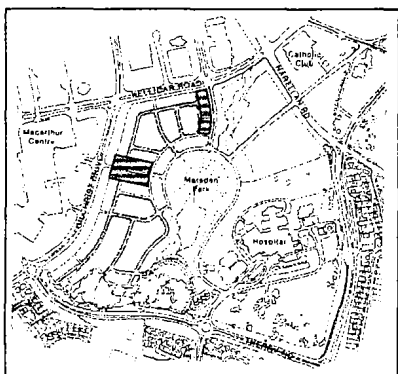


Figure 31: Entry Avenue Precinct Location Plan

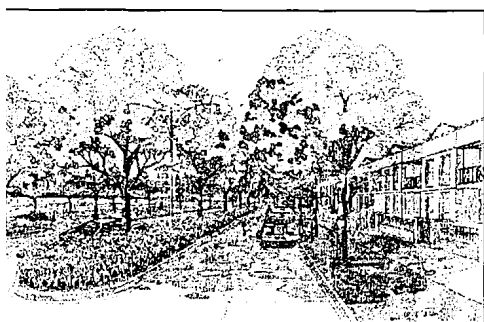


Figure 32: Kellicar Road Desired Character

This area may include residential/mixed use with residential building forms that provide for possible ground floor commercial/retail uses. Preferred building types in this area comprise terraces and apartments.

Gilchrist Drive Entry

The Gilchrist Drive entry should comprise a formal tree lined avenue sloping towards Marsden Park. Use of ornamental exotic species including *Ulmus* and *Pistacia* are preferred and an entry landscape feature is desired. Land use should be predominantly residential and building forms should step evenly down both sides of the street towards Marsden Park.

Preferred building types in this area may comprise a mix of zero-lot line dwellings, apartment buildings and terraces, generally two to three storeys in height. The development of corner sites for residential flat buildings is encouraged.

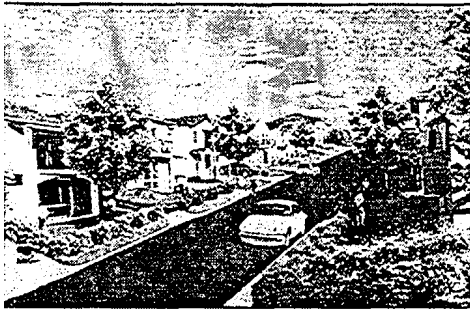


Figure 33: *Gilchrist Drive Desired Character*

8.4 Design Guidelines and Requirements

Precinct specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of this precinct.

Design and Massing

Street elevations should be formal in design, continuous and uniform in massing, however, differences should be provided in the architectural detailing to create some variety in design.

Parapet walls and or street facing gables are encouraged in this precinct.

Buildings of different heights should be comparable in form and be built parallel to the street alignment.

Building design should be consistent in terms of wall and roof treatment and expression of architectural elements to achieve the desired formal uniformity.

Corner Buildings

The primary and side street elevations of buildings on corner lots are to be designed so that the building effectively turns the corner.

Accent to buildings in the form of roof features and/or corner balconies are to be provided at key corner lot locations. Apartment buildings on corner lots should have clearly defined entries.



Figure 34: *Suggested Design & Massing of Terraces*

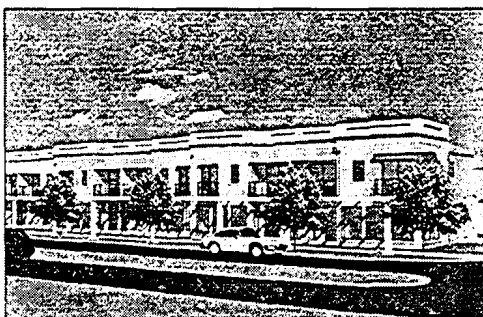


Figure 35: *Example of Home/Work Terraces*

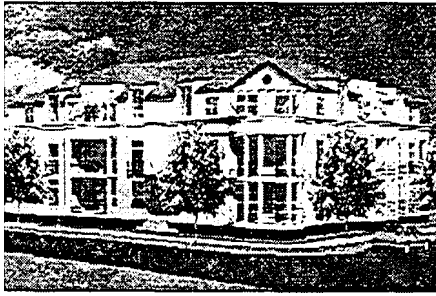


Figure 36: *Design Suggestions for Apartment Buildings*

Setbacks

Front: A front setback of 2.5m applies to all buildings. A further 1.5m setback behind the 2.5 front setback is permitted for indentation areas. Garage bays are to be setback a minimum of 5.5m from the front boundary, where rear access is not provided.

Side: Side setbacks should be a maximum of 1.5m for all buildings, except for apartments. The side setbacks for apartments should be nil where they adjoin terrace buildings and a minimum of 5m where they adjoin other building types, including other apartments.

Rear: A minimum rear setback of 1m applies to all structures.

Car Parking

Carparking is to be provided at the rear of the dwelling for all lots with rear street access.

9 Parkside Crescent Precinct

9.1 Introduction

Parkside Crescent is located in the centre of the Link Site and adjoins Marsden Park to the west (see Figure 37).

This precinct is designed to complement the adjacent open space by providing a built form that frames the park and thereby creates a sense of enclosure.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

9.2 Precinct Objectives

The objectives of the precinct are:

- To reinforce formality of the Crescent by providing a hard-edged building form which complements the landscaped roadway and defines the perimeter of the adjacent open space, creating a sense of enclosure.
- To ensure buildings are designed to address and provide casual surveillance of Marsden Park.
- To achieve higher density housing which provides good access to a public open space.
- To provide a variety of medium density housing types to meet the changing demand for housing in the Campbelltown area and the requirements of Council's Residential Strategy.

9.3 Desired Character

The Parkside Crescent precinct will be defined by the formal alignment of the roadway and adjacent open space.

The precinct should comprise a continuous frontage of terraces and apartment buildings, which address the park. Taller buildings located on key corner sites are encouraged to further frame the park. Frontage size should be consistent to create a sense of enclosure and reinforce the desired formality of the crescent.

To allow the desired sense of enclosure to be created, driveway crossovers to Parkside Crescent are not permitted to all dwellings which have rear lane access.



Figure 39: Parkside Crescent Desired Character

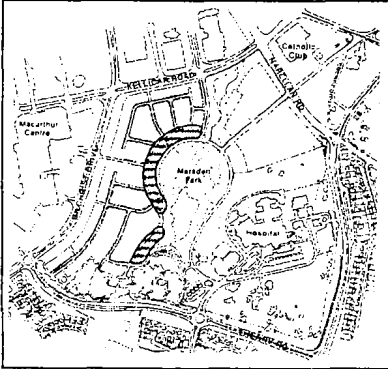


Figure 37: Parkside Crescent Precinct Location Plan



Figure 38: Parkside Crescent Desired Character

9.4 Design Guidelines

Precinct specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of this precinct.

Design and Massing

In the northern area of the precinct, a continuous street facade of 2-3 storey terraces with 3 storey apartment buildings at key corner locations is desired, to frame the park and create a sense of enclosure. In the southern area of the precinct, 4 storey apartment buildings adjoining the park are preferred.

Differences in architectural detailing are encouraged within a basic architectural composition that is continuous and uniform in massing. Off street parking in the southern area of the precinct should be integrated into the building design.

Apartments overlooking the park in the southern area of this precinct should have a strong built frontage with projecting balconies overlooking the park. The building pattern should adjust to the natural landform, with taller buildings sited to take advantage of the landscape setting along the park in the southern area of this precinct.

Setbacks

Front: A front setback of 3.5m applies to all buildings. A projection area of 1.5m is permitted within this setback area.

Side: A nil side setback applies to all dwellings, other than apartment buildings and dwellings on corner lots. The side setbacks for apartments should be nil where they adjoin terrace buildings and a minimum of 5m where they adjoin other building types, including other apartments. A maximum 1.5m side setback applies to corner lots for all buildings except for apartments.

Rear: A minimum rear setback of 1.0m applies to all structures on lots in the northern area of the precinct, which have rear street access. For all lots in the southern area of the precinct which adjoin the Park, a minimum rear building setback of 3.0m is required.

Car Parking

Carparking is to be provided at the rear of the dwelling for all lots with rear street access.

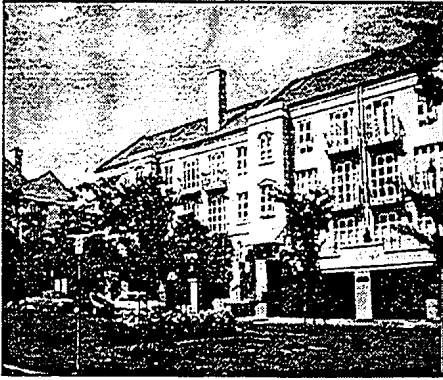


Figure 40: Apartment buildings which frame the Park are encouraged



Figure 41: Example of typical terrace development

10 Rolling Green Precinct

10.1 Introduction

The Rolling Green precinct comprises two areas and forms the largest residential precinct in the Link Site. The northern area of this precinct adjoins Kellicar Road to the north and Gilchrist Drive to the west. The southern area is unique as it borders each of the other residential precincts in the Link Site, in addition to part of Marsden Park (see Figure 42).

This precinct is designed to provide a mix of medium density and traditional housing types.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

10.2 Precinct Objectives

The objectives of the precinct are:

- a. To encourage a building form predominantly comprising one to two storey dwellings set within a less formal streetscape.
- b. To encourage view sharing where possible by stepping buildings down the hill.
- c. To provide a variety of housing types to meet the changing demand for housing in the Campbelltown area and the requirements of Council's Residential Strategy.

10.3 Desired Character

The landscape character of the Rolling Green Precinct will be defined by the topographic ridgeline of the Link Site which runs parallel to Gilchrist Drive and overlooks Marsden Park.

A more open building pattern is envisaged for this area consisting of a mixture of 1 and 2 storey dwellings, set within a less formal streetscape. Preferred building types in this precinct include single detached dwellings, semi-detached dwellings, terraces and zero lot-line dwellings.

Buildings should be built parallel to the street with additional streetscape character being achieved through varied facade modulation and through garage door setbacks. Free-standing dwellings should step down the hill in this precinct to take advantage of the slope and facilitate view sharing.

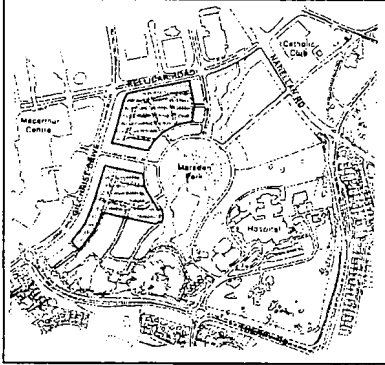


Figure 42: Rolling Green Precinct Location Plan



Figure 43: Rolling Green Precinct Desired Character

10.4 Design Guidelines

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct.

Design and Massing

A less formal streetscape treatment is encouraged through the use of a variety of building forms and masses. Street elevations should be modelled through the use of entry porches and clearly defined entry pathways. Garages are to be integrated into the design of the streetscape. Single street facing gables with or without eaves is encouraged.

Setbacks

Front: A minimum front setback of 3.5m applies to all buildings. Projection areas are permitted to encroach 1m within the front setback. A setback of 5.5m applies to the face of garage doors.

Side: A minimum side setback of 1.0m applies to all sites with the exception of zero-lot line, terrace and semi-detached dwellings where they adjoin a side boundary. A minimum side setback of 1.5m applies to all corner lots.

Rear: A minimum rear setback of 5.5m and 8.0m applies to all 1 and 2 storey dwellings, respectively.



Figure 44: Clearly Defined Entry Pathways are encouraged.



Figure 45: Example of Preferred Dwelling Types.

11 Bushland Precinct

11.1 Introduction

The Bushland Precinct is located in the southern part of the site and features remnant bushland pockets and steeper landscape slopes (see Figure 46).

This precinct which is nestled within an existing bushland landscape will be characterised by larger dwellings interspersed with apartments, creating a more open and diverse building pattern. A more varied subdivision pattern will facilitate the creation of a less formal streetscape pattern.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

11.2 Precinct Objectives

The objectives of the precinct are:

- a. To encourage a building form comprising predominantly detached dwellings interspersed with apartment buildings.
- b. To encourage building forms which complement the adjoining bushland reserve.
- c. To encourage view sharing where possible by stepping buildings down the hill.
- d. To provide a variety of housing types to meet the changing demand for housing in the Campbelltown area and the requirements of Council's Residential Strategy.

11.3 Desired Character

The bushland precinct is a residential precinct that is designed to relate to the bushland setting that it adjoins. The streets within the precinct will be orientated generally along the contours of the land allowing residential development to step down with the slope of the land.

A local street network will be developed in this precinct and street tree planting is to be in an informal staggered arrangement. A mix of native tree species is encouraged along these streets.

An open and diffuse building pattern is to be provided and it is desirable that wider lots should occur at corner lots and on steeper parts of the site, to allow for an adequate site area. In order to maintain an open and informal streetscape, the use of formal street fencing will be discouraged.

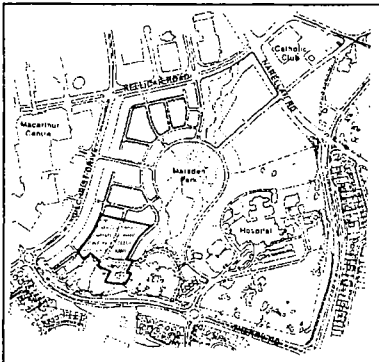


Figure 46: Bushland Precinct Location Plan



Figure 47: Bushland Precinct Desired Character

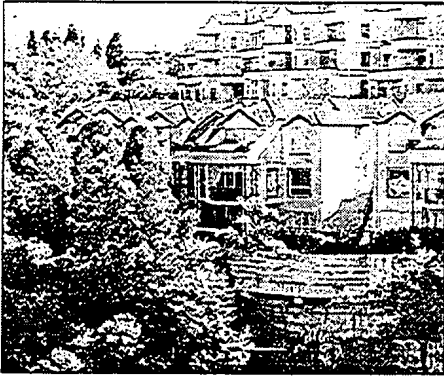


Figure 48: Apartment buildings which respond to the topography are encouraged.



Figure 49: Design Suggestions for Single Detached Dwellings.

The built form in this precinct should generally not dominate the landscape and larger building lots should allow for buildings to be sited in a more sympathetic way.

Preferred building types in this precinct should comprise single detached dwellings interspersed with apartment buildings that respond to the topography.

11.4 Design Guidelines

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct

Design and Massing

A variety of building form, roof treatment and design solutions are encouraged. Roof design for single detached dwellings should consist of a collection of roof forms. Careful planning of buildings will be required to respect the proximity of the adjoining bushland reserve together with the steeper gradients of the site.

Street elevations are to be modelled in a less formal way with the opportunity for garages to be sited close to the street edge for the wider blocks. The design of buildings within this area should optimise an appreciation of the surrounding bush park with buildings sited sympathetically on sloping sites.

Free-standing dwellings should step down the hill in this precinct to take advantage of the slope.

Apartments are encouraged on key corner sites.

Setbacks

Front: A minimum front setback of 3.5m applies to all buildings.

Side: A minimum side setback of 1.0m applies to all buildings with the exception of a minimum 5m side setback for apartment buildings.

Rear: A minimum rear setback of 5.5m applies to all structures.

12 Hilltop Drive Precinct

12.1 Introduction

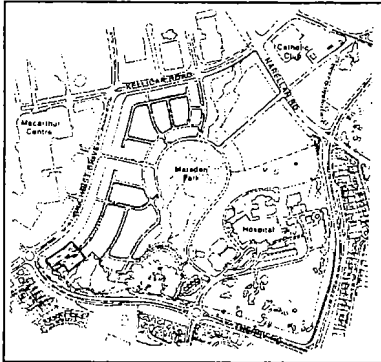


Figure 50: Hilltop Drive Precinct Location Plan

The Hilltop Drive Precinct is located in the south western corner of the site (see Figure 50). This precinct is located on the highest part of the site.

This precinct should create an urban feature on the hilltop. Development within this precinct should frame the view corridor from the central alignment of the precinct across the site and beyond.

The design of this precinct will be realised through the following objectives, desired character and design guidelines.

12.2 Precinct Objectives

The objectives of the precinct are:

- a. To create a design feature at the top of the hill that will provide an interesting skyline silhouette which relates to the surrounding development.
- b. To encourage a closed and more formal building pattern which frames views out from the site.
- c. To provide a variety of housing types including medium density housing to meet the changing demand for housing in the Campbelltown area and the requirements of Council's Residential Strategy.

12.3 Desired Character

The Hilltop Drive precinct is located on the highest part of the site and as such should provide a streetscape that allows appreciation of views across lower areas of the site and surrounding areas.

The Hilltop Drive roadway will form a central feature of the precinct and will comprise a formal landscaped drive with street trees planted evenly on both sides and a landscaped central median.

A formal streetscape is to be created that has a commonality of massing on either side of Hilltop Drive. Buildings on each side of the drive are to have a consistent architectural form and character.

Preferred building types in this precinct are a mix of single detached and semi-detached dwellings up to a height of 2 storeys and apartment buildings up to 4 storeys in height.



Figure 51: Hilltop Drive Desired Character

12.4 Design Guidelines

Precinct Specific controls are provided below. These controls aim to meet the precinct objectives and will influence the design of preferred buildings to meet the desired character of the precinct

Design and Massing

The design and massing of buildings should be uniformed along each side of the street, though each side of the street need not imitate each other.

The design of roofs should be modelled to encourage a distinct silhouette and a visually interesting skyline.

Buildings of consistent architectural form and uniformed building mass on either side of the street should complement the road alignment and landscaping design to frame views to the north-east. Lots should be evenly spaced where the same building type is used.

Setbacks

Front: A front setback of 4.0m applies to all buildings. Projection areas are permitted to encroach 2m within this front setback. A front setback of 5.5 m applies to garage bays only. Garage bays will only be permitted where no rear access is available to the site.

Side: A minimum side setback of 1.0m applies to all sites, with the exception of a 5.0m minimum side setback for Apartments.

Rear: A minimum rear setback of 6.0m applies to all buildings, with the exception of a 1.0m minimum rear setback for garage and carport structures.

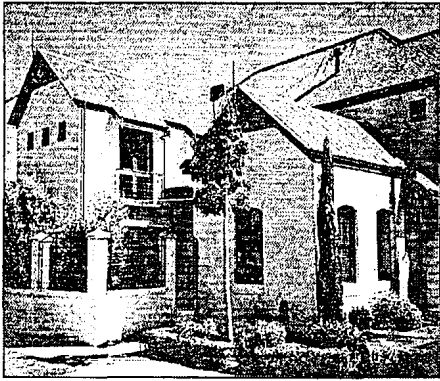


Figure 52: Design Solutions for Preferred Dwelling Types.



Figure 53: Apartment Buildings are encouraged in this Precinct.

Annexure 1

Recommended Tree and Shrub Species for Public Domain Areas

Shrubs

Botanical Name	Common Name	Mature Height	Description
Acacia spp.	Acacia	2-3m	native evergreen flowering
Baeckea densifolia	Baeckea	1m	native evergreen flowering
Callistemon citrinus 'Endeavor'	Bottlebrush	4m	native evergreen flowering
Callistemon viminalis 'Little John'	Bottlebrush	1m	native evergreen flowering
Camellia sasanqua	Sasanqua	3m	exotic evergreen flowering
Crinum pedunculatum	Swamp Lily	600mm	native evergreen flowering
Gardenia augusta 'Florida'	Gardenia	1-1.5m	exotic evergreen flowering
Leptospermum flavescens 'Cardwell'	Tantoon Tea Tree	1.5m	native evergreen flowering
Murraya paniculata	Orange Jessamine	2-3m	exotic evergreen flowering
Phormium tenax /'Purpureum'/'Rubrum'	NZ Flax	1.8-3m	exotic evergreen coloured foliage
Photinia 'Red Robin'	Red Robin Photinia	2-4m	exotic evergreen coloured foliage
Plumbago auriculata 'Royal Cape'	Blue Plumbago	2-3m	exotic evergreen flowering

Groundcovers and climbers

Botanical Name	Common Name	Mature Height	Description
Acanthus mollis	Oyster Plant	500mm-1m	exotic evergreen flowering
Agapanthus orientalis (Mauve and White)	Lily of the Nile	500mm-1m	exotic evergreen flowering
Dianella revoluta	Spreading Lily	500mm-1m	native evergreen flowering
Dietes grandiflora	Wild Iris	750mm	exotic evergreen flowering
Dietes iridioides	African Iris	750mm	exotic evergreen flowering
Erigeron karvinskianus	Fleabane	200mm	exotic evergreen flowering
Gardenia augusta 'Radicans'	Prostrate Gardenia	prostrate	exotic evergreen flowering
Hardenbergia violacea	Purple Coral Pea	prostrate/climber 3m	native evergreen flowering
Hemerocallis spp	Day Lily	500mm	exotic evergreen flowering
Liriope spicata	Turf Lily	300mm	exotic evergreen flowering
Lomandra longifolia	Mat Rush	700mm	native evergreen
Myoporum parvifolium	Myoporum	prostrate	native evergreen flowering
Ophiopogon japonicus	Mondo Grass	200mm	exotic evergreen
Themeda australis	Kangaroo Grass	1.2m	native evergreen
Viola hederacea	Native Violet	prostrate	native evergreen flowering

Street Trees

Botanical Name	Common Name	Mature Height	Description
Acacia melanoxylon	Blackwood	15-20m	native evergreen flowering
Backhousia myrtifolia	Aniseed Tree	10m	native evergreen flowering
Brachychiton acerifolius	Flame Tree	25m	native deciduous
Casuarina glauca	Swamp Oak	20m	flowering native evergreen
Eleocarpus reticulatus	Blueberry Ash	8m	native evergreen flowering
Eucalyptus amplifolia	Cabbage Gum	15m	native evergreen
Eucalyptus crebra	Narrow Leafed Ironbark	20m	native evergreen
Eucalyptus moluccana	Coastal Grey Box	18m	native evergreen
Eucalyptus tereticornis	Forest Red Gum	20m	native evergreen
Ficus rubiginosa	Port Jackson Fig	40m	native evergreen
Flindersia brayleyana	Flindersia	20m	native semi evergreen flowering
Flindersia shottiana	Bumpy Ash	20m	native semi evergreen flowering
Fraxinus excelsior 'Aurea'	Golden Ash	10m	exotic deciduous
Fraxinus oxycarpa 'Raywood'	Claret Ash	10m	exotic deciduous
Grevillea robusta	Silky Oak	15-25m	native evergreen
Jacaranda mimosifolia	Jacaranda	10m	exotic deciduous flowering
Koelreuteria paniculata	Golden Rain Tree	9-15m	exotic deciduous flowering
Lagerstroemia indica	Crepe Myrtle	5-7m	exotic deciduous flowering
Liquidambar styraciflua	Liquidamber	9-15m	exotic deciduous
Lophostemon confertus	Brush Box	15-30m	native evergreen
Magnolia grandiflora	Magnolia	7-10m	exotic evergreen flowering
Malus floribunda	Crab Apple	5-8m	exotic deciduous flowering
Melaleuca decora	Paperbark	6-9m	native evergreen flowering
Pinus canariensis	Canary Island Pine	20m	exotic evergreen
Pistacia chinensis	Chinese Pistacia	8m	exotic deciduous
Pittosporum rhombifolium	Diamond Laurel	10m	native evergreen flowering
Pittosporum undulatum	Sweet Pittosporum	8-12m	native evergreen flowering
Platanus orientalis 'Digitata'	Cut Leaf Plane	30m	exotic deciduous
Podocarpus elatus	Illawarra Pine	20m	native evergreen
Populus nigra 'Italica'	Lombardy Poplar	25m	exotic deciduous
Prunus spp.	Flowering Cherry/Plum	6-8m	exotic deciduous flowering
Pyrus calleryana	Carlery Pear	15m	exotic deciduous flowering
Syzygium paniculatum syn australe	Brush Cherry	10m	native evergreen
Tristaniopsis laurina	Water Gum	6-10m	native evergreen flowering
Waterhousia floribunda	Weeping Lilly Pilly	15m	native evergreen

Annexure 2

Minimum Standards: Streets and Pedestrian Pathways

PRECINCT	ROAD WIDTH (Carriageway)	VERGE	FOOTPATH	MEDIAN	PARKING (All Within Carriageway)
Road A Kellicar Entry	5.5m each way (divided)	2.5m (along dwelling edge) 3.5m park edge	1.5m (along dwelling edge)	4.0m	On street parking to both sides of street
Road B Parkside Crescent	8.3m two way	2.4m (along dwelling edge) 3.5m park edge	1.5m (along dwelling edge set 0.6m away from property line for planting strip)	N/A	To dwelling side: adjacent to kerb and within carriageway; To park side: indented parking bays within footpath reserve
Road C Gilchrist Entry	10.2m two way	3.0m (both sides)	1.5m (both sides adjacent to property line)	N/A	On street parking to both sides of street
Road D1 Local Road	6.0m two way	2.3m (on footpath side) 3.0m (to other edge)	1.2m (to one edge only along property line)	N/A	On street parking to one edge only
Road D2 Local Road	6.0m two way	2.3m (on footpath side) 1.0m (to other edge)	1.2m (to one edge only along property line)	N/A	On street parking to one edge only
Road D3 Local Road	5.5m two way	2.3m (on footpath side) 1.0m (to other edge)	1.2m (to one edge only along property line)	N/A	On street parking to one edge only
Road D4 Local Road	5.5m one way loop at Hilltop Drive precinct	3.0m (to both sides)	N/A	3.0m	On street parking to one edge only
Road D5 Local Road	7.0m two way	2.3m (to footpath side) 3.0m (to other side)	1.2m (to one edge only)	N/A	On street parking to one edge only
Road E City Link	11.0m two way	2.0m (to both sides)	1.5m (to both sides along property line)	N/A	On street parking to both sides of street
Passage way P1 Rolling Green Bushland	9.0m min reservation	N/A	2.0m min shared with cyclist	N/A	N/A

Annexure 3

Definitions

Apartment means a form of residential building containing three or more dwellings on one allotment of land, whether contained in one or more buildings, where dwellings share a common access, stairs and foyer.

Attic means the top storey of a building, generally a habitable room, formed within the space of a roof and usually ventilated by a dormer window.

Awning means a structure that is cantilevered out from the exterior wall line of a building.

Balcony means an open area, not being an enclosed room or area, attached to or integrated with and used for the exclusive enjoyment of the occupant or occupants of a dwelling.

Bay window means a window or group of windows within a room that projects outward from the general line of the exterior wall.

Building envelope means the three dimensional space within which a building is to be confined.

Car Parking Structure means an enclosure for a vehicle. This may have walls (garage) or may have only a roof (carport).

Communal open space means shared open space for the recreation and relaxation of residents of a housing development and which is under the control of a body corporate or equivalent.

Development means all new buildings and new lot sub-division.

Development Control Plan means a plan made under Section 72 of the Environmental Planning and Assessment Act 1979 to provide more detailed provisions than those included in a local environmental plan.

Dormer Window means a window construction framed into and projecting through a steeply sloping roof. The dormer shall not visually dominate the roof.

Dwelling means a room or suite of rooms, occupied or used, or so constructed or adapted, as to be capable of being occupied or used as a separate domicile.

Ecologically Sustainable Development is a conceptual framework for dealing with the decreasing ability of the earth to continue to support humanity.

Frontage means the street alignment at the front of a lot and in the case of a lot that abuts two or more streets, the boundary of which, when chosen, would enable the lot to comply with the DCP provisions.

Ground floor apartment means an apartment located at the first finished level of an apartment building.

Habitable room is a room used for normal domestic activities and includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, playroom, study, and sun room. It excludes a bathroom, laundry, water closet, food storage pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room, and any other spaces of a specialised occupied neither frequently or for extended periods.

Indentation Area is a street setback control that allows additional modulation and rhythm within the streetscape. It permits indentation from the facade line away from the street and is taken to include elements such as indented porches and balconies.

Landscape Plan means a plan or document outlining the extent, type and location of proposed landscaping and planting.

Link Site refers to the entire site of this Plan. *Refer to Figure 1.*

Living Room is the principal room or suite of rooms in a dwelling used for entertaining and relaxation activities and which may include a lounge room, dining room and/or family room.

Lot means an area of topographical space shown on an approved plan of subdivision and on which it is intended to construct a dwelling or dwellings.

Natural Ground Level is the existing level after civil and road works of any land to which this policy applies.

Neighbourhood Dwelling Density is the number of dwellings per neighbourhood area. Neighbourhood area is defined to include land used for housing, neighbourhood or local facilities such as primary schools, local or neighbourhood retail centres and local service easements. It excludes all roads, open space, regional facilities (eg TAFE) and all other land uses.

Parapet is a low wall or barrier placed at the edge of roof or balcony of a building.

Pop-up means a roof element that is to sit higher than the adjoining roof.

Porch means an open structure providing an area of formality and shelter at the entry into a building.

Projection Area is a street setback control that allows additional modulation and rhythm within the streetscape. It permits projection from the facade line towards the street and is taken to include bay windows, projecting porches and balconies.

Private open space means that area of land, which is suitable for private outdoor living activities. This may include any balconies and terraces and the unbuilt upon area of a site but does not include driveways and parking areas. Private open space may be located at the front, rear and /or sides of a site.

Public Domain means land used or intended to be used by the public and included roads, parks, reserves and landscaped edges.

Semi-detached Dwelling means a single freestanding dwelling sharing a common boundary with the adjoining neighbour. Generally described as two dwellings made to look like one larger building.

Setback means the distance of the external wall of a building from the lot boundary.

Single Detached Dwelling is a freestanding residential building which contains one but not more than one dwelling on its own allotment generally set within a landscaped garden.

Site means the lot(s) of land on which a building stands or is to be erected.

Site Analysis involves the identification and analysis of the existing urban character and adjacent properties to assist in understanding the locality and the development of a range of appropriate design responses.

Site Area refers to the area of land on which it is proposed to locate a development.

Site coverage means the area of a site covered by buildings (including balconies, terraces, garages and carports).

Storey means a space within a building which is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above. It does not include a room contained wholly within the roof space where the roof has a maximum pitch of 36 degrees or a parking area which is no more than one metre above finished ground level.

Terrace means a single dwelling which shares both side boundary lines with adjoining neighbours and is generally built from side boundary to the other side boundary. This building type is repeated to form a row of attached dwellings.

Unbuilt Upon Area means that area of the site not occupied by buildings, driveways and car parking structures.

Waste means any substance that is no longer used for the purpose for which it is intended, and defined under the Waste Minimisation and Management Act, 1995.

Width means the dimension between two side boundaries of a lot.

Zero-Lot Line Dwelling means a dwelling built to one side boundary line. The plan configuration shall form a courtyard space usually to the rear of the lot.

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Previous Documents

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Other Source Material

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AMCORD, 1995 and the NSW Model Code, 1997 were used as source material, and for figures and definitions.



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