



CAMPBELLTOWN
CITY COUNCIL

ORDINARY BUSINESS PAPER

12 APRIL 2022

COMMON ABBREVIATIONS

AEP	Annual Exceedence Probability
AHD	Australian Height Datum
BASIX	Building Sustainability Index Scheme
BCA	Building Code of Australia
BIC	Building Information Certificate
BPB	Buildings Professionals Board
CLEP 2002	Campbelltown Local Environmental Plan 2002
CLEP 2015	Campbelltown Local Environmental Plan 2015
CBD	Central Business District
CPTED	Crime Prevention Through Environmental Design
CSG	Coal Seam Gas
DA	Development Application
DCP	Development Control Plan
DDA	<i>Disability Discrimination Act 1992</i>
DPE	Department of Planning and Environment
EIS	Environmental Impact Statement
EPA Act	<i>Environmental Planning and Assessment Act 1979</i>
EPA	Environmental Protection Authority
EPI	Environmental Planning Instrument
FPL	Flood Planning Level
FFTF	Fit for the Future
FSR	Floor Space Ratio
GRCCC	Georges River Combined Councils Committee
GSC	Greater Sydney Commission
HIS	Heritage Impact Statement
IDO	Interim Development Order
IPR	Integrated Planning and Reporting
KPoM	Koala Plan of Management
LEC	Land and Environment Court
LEC Act	<i>Land and Environment Court Act 1979</i>
LEP	Local Environmental Plan
LGA	Local Government Area
LG Act	<i>Local Government Act 1993</i>
LPP	Local Planning Panel
LTFP	Long Term Financial Plan
NGAA	National Growth Areas Alliance
NOPO	Notice of Proposed Order
NSWH	NSW Housing
OEH	Office of Environment and Heritage
OLG	Office of Local Government, Department of Premier and Cabinet
OSD	On-Site Detention
OWMS	Onsite Wastewater Management System
PCA	Principal Certifying Authority
PoM	Plan of Management
POEO Act	<i>Protection of the Environment Operations Act 1997</i>
PMF	Probable Maximum Flood
PN	Penalty Notice
PP	Planning Proposal
PPR	Planning Proposal Request
REF	Review of Environmental Factors
REP	Regional Environment Plan
RFS	NSW Rural Fire Service
RL	Reduced Levels
RMS	Roads and Maritime Services
SANSW	Subsidence Advisory NSW
SEE	Statement of Environmental Effects
SEPP	State Environmental Planning Policy
SREP	Sydney Regional Environmental Plan
SSD	State Significant Development
STP	Sewerage Treatment Plant
SWCPP	Sydney Western City Planning Panel (District Planning Panel)
TCP	Traffic Control Plan
TMP	Traffic Management Plan
TNSW	Transport for NSW
VMP	Vegetation Management Plan
VPA	Voluntary Planning Agreement
PLANNING CERTIFICATE	- A Certificate setting out the Planning Rules that apply to a property (formerly Section 149 Certificate)
SECTION 603 CERTIFICATE	- Certificate as to Rates and Charges outstanding on a property
SECTION 73 CERTIFICATE	- Certificate from Sydney Water regarding Subdivision



05 April 2022

You are hereby notified that the next Ordinary Council Meeting will be held at the Civic Centre, Campbelltown on Tuesday 12 April 2022 at 6:30 pm.

Lindy Deitz
General Manager

Agenda Summary

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1. ACKNOWLEDGEMENT OF LAND

I acknowledge the Dharawal people whose ongoing connection and traditions have nurtured and continue to nurture this land.

I pay my respects and acknowledge the wisdom of the Elders – past, present and emerging and acknowledge all Aboriginal people here tonight.

2. APOLOGIES/LEAVE OF ABSENCE

Nil at time of print.

3. CONFIRMATION OF MINUTES

3.1 Minutes of the Ordinary Meeting of Council held 8 March 2022

Officer's Recommendation

That the Minutes of the Ordinary Meeting of Council held 8 March 2022, copies of which have been circulated to each Councillor, be taken as read and confirmed.

Report

That the Minutes of the Ordinary Meeting of Council held 8 March 2022 are presented to Council for confirmation.

Attachments

1. Minutes of the Ordinary Meeting of Council held 8 March 2022 (contained within this report)

CAMPBELLTOWN CITY COUNCIL

Minutes Summary

Ordinary Council Meeting held at 6:30 pm on Tuesday, 8 March 2022.

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Minutes of the Ordinary Meeting of the Campbelltown City Council held on 8 March 2022

Present The Mayor, Councillor G Greiss
 Councillor G Brticevic
 Councillor J Chew
 Councillor M Chivers
 Councillor M Chowdhury
 Councillor J Cotter
 Councillor M George
 Councillor K Hunt
 Councillor M Khalil
 Councillor D Lound
 Councillor R Manoto
 Councillor R Munro
 Councillor M Oates
 Councillor M Stellino

1. ACKNOWLEDGEMENT OF LAND

An Acknowledgement of Land was presented by the Chairperson Councillor Greiss.

Council Prayer

The Council Prayer was presented by the General Manager.

2. APOLOGIES/LEAVE OF ABSENCE

It was **Moved** Councillor Brticevic, **Seconded** Councillor Lound:

That the apology from Councillor W Morrison be received and accepted.

029/2022 The Motion on being Put was **CARRIED**.

3. CONFIRMATION OF MINUTES**3.1 Minutes of the Ordinary Meeting of Council held 8 February 2022**

It was **Moved** Councillor Brticevic, **Seconded** Councillor Lound:

That the Minutes of the Ordinary Council Meeting held 8 February 2022, copies of which have been circulated to each Councillor, be taken as read and confirmed.

030/2022 The Motion on being Put was **CARRIED**.

4. DECLARATIONS OF INTEREST

Declarations of Interest were made in respect of the following items:

Pecuniary Interests

Councillor Margaret Chivers – Item 8.2 – Outcome of Public Exhibition – Menangle Park Planning Proposal. Councillor Chivers declared a pecuniary interest in the item and will leave the Chamber.

Non Pecuniary – Significant Interests

Councillor Margaret Chivers – Item 11.4 – Business Parking in the Campbelltown CBD. Councillor Chivers has a business in the Campbelltown CBD and will leave the Chamber.

Non Pecuniary – Less than Significant Interests

Councillor Darcy Lound – Item 8.12 – Delivery Program/Operational Plan: 6 Month Progress Report. Councillor Lound declared a that he is the Chairman of Macarthur Football Association based at Lynwood Park, which is mentioned in the report. Councillor Lound confirmed that this is a non pecuniary less than significant interest and as such will remain in the Chamber for the discussion of the item.

Other Disclosures

Nil

5. MAYORAL MINUTE

5.1 Reflections, Considerations and Updates

It was **Moved** Councillor Greiss:

That this information be noted.

031/2022 The Motion on being Put was **CARRIED**.

5.2 Take Care Campbelltown

It was **Moved** Councillor Greiss:

That the information be noted.

032/2022 The Motion on being Put was **CARRIED**.

Procedural Motion

It was **Moved** Councillor Lound, **Seconded** Councillor Munro:

That Item 8.2 - Outcome of Public Exhibition - Menangle Park Planning Proposal be brought forward to be considered after Item 5.2.

033/2022 The Motion on being Put was **CARRIED**.

6. PETITIONS

7. CORRESPONDENCE

7.1 NSW Government Program - WestInvest

It was **Moved** Councillor Brticevic, **Seconded** Councillor Chew:

That the letter be received and the information be noted.

034/2022 The Motion on being Put was **CARRIED**.

8. REPORTS FROM OFFICERS

8.1 Development Application Status

It was **Moved** Councillor Hunt, **Seconded** Councillor Lound:

That the information be noted.

035/2022 The Motion on being Put was **CARRIED**.

Meeting note: Having declared an interest in Item 8.2 Councillor Chivers left the Chamber at 6:43 pm and did not take part in the discussion or vote on the matter.

8.2 Outcome of Public Exhibition - Menangle Park Planning Proposal

Meeting note: Mr Peter Ryan addressed the meeting. A written submission from Ms Patricia Durman was read at the meeting.

It was **Moved** Councillor Brticevic, **Seconded** Councillor Chowdhury:

1. That Council adopt the Planning Proposal at attachment 1, relating to land within the Menangle Park Urban Release Area with the following post exhibition amendments:
 - a. Amend the Land Use Zoning map and associated maps to zone 0.97 ha of part E2 Environmental Management and RE1 Public Recreation to support a 30 m buffer to the remnant patch of Elderslie Banksia Scrub Forest, Critically Endangered Ecological Community.
 - b. Amend the Land Use Zoning map to remove the proposed B1 Neighbourhood zone within the proposed town centre and replace with B2 Local Centre zone.
 - c. Amend the Land Use Zoning map to slightly reduce the extent of R3 Medium Density Housing located south of proposed Park K by 1.68 ha.
 - d. Amend Lot Size for Dual Occupancy Development Map to ensure consistency with associated mapping layers.
 - e. Amend Land Acquisition Map to expand the SP2 zoning of Spring Farm Parkway Stage 1 northern ramp by 0.08 ha.
2. That subject to recommendation No.1, Council forward the Planning Proposal to the Department of Planning and Environment and request the Minister for Planning and Homes finalise the plan.
3. That the submission authors be advised of Council's decision.

A Division was recorded in regard to the Resolution for Item 8.2 with those voting for the Motion being Councillors G Greiss, D Lound, K Hunt, M Chowdhury, R Manoto, M Oates, M Khalil, M Stellino, J Cotter, G Brticevic, M George, J Chew and R Munro.

Voting against the Resolution were Nil.

036/2022 The Motion on being Put was **CARRIED**.

Meeting note: At the conclusion of the discussion regarding Item 8.2 Councillor Chivers returned to the Chamber at 6:56 pm.

8.3 Proposed Housekeeping Amendments to Campbelltown (Sustainable City) Development Control Plan 2015

It was **Moved** Councillor Brticevic, **Seconded** Councillor Chew:

1. That Council endorse the draft Amendment No. 13 to Volume 1 of Campbelltown (Sustainable City) Development Control Plan 2015, as shown in the attachments to this report for the purpose of public exhibition.
2. That should Council receive any submissions during the public exhibition of draft Amendment No. 13, a further report be provided to Council following the completion of the public exhibition period.
3. That where Council receives no submissions in response to draft Amendment No. 13, the amendments be formally adopted and notified in accordance with the Environmental Planning and Assessment Regulation 2000.

A Division was recorded in regard to the Resolution for Item 8.3 with those voting for the Motion being Councillors G Greiss, D Lound, K Hunt, M Chowdhury, R Manoto, M Oates, M Khalil, M Stellino, J Cotter, G Brticevic, M Chivers, M George, J Chew and R Munro.

Voting against the Resolution were Nil.

037/2022 The Motion on being Put was **CARRIED**.

8.4 Improving the Infrastructure Contributions System

It was **Moved** Councillor Brticevic, **Seconded** Councillor Manoto:

That Council:

1. Endorse the submission on the new framework for state infrastructure contributions as provided in attachment 2.
2. Forward the submission to both the NSW Department of Planning and Environment and The Honourable Anthony Roberts MP, Minister for Planning and Minister for Homes.
3. Endorse resolution 11 of the Local Government New South Wales Special Conference:

Infrastructure contribution reform

That Local Government NSW reaffirms its position that councils should not be worse off under infrastructure contribution reforms and that this continue to be pursued vigorously with the NSW Government including:

- 1. Changes to the legislation and policy framework to ensure that councils' capacity to provide infrastructure for their communities is not diminished.*

2. Asking that the government demonstrate to each local council how its modelling concludes that that each Council will not be worse off.

3. That should the government introduce any state or regional infrastructure levy, that there be a requirement for it to be spent in the area from which it was collected

038/2022 The Motion on being Put was **CARRIED**.

8.5 Urban Development Institute of Australia - National Congress Sydney 2022

It was **Moved** Councillor Stellino, **Seconded** Councillor Chew:

That interested Councillors be authorised to attend the 2022 Urban Development Institute of Australia National Congress in Sydney, in accordance with the provisions of the Payment of Expenses and Provision of Facilities to the Mayor, Deputy Mayor and Councillors.

039/2022 The Motion on being Put was **CARRIED**.

8.6 Submission on the Draft State Environmental Planning Policy (Design and Place) 2021

It was **Moved** Councillor Oates, **Seconded** Councillor Brticevic:

That Council endorse the attached submission on the draft State Environmental Planning Policy (Design and Place) 2021 and related documents with the addition of exercise equipment to point 4 under the urban design guide heading on page 88.

040/2022 The Motion on being Put was **CARRIED**.

8.7 Investments and Revenue Report - January 2022

It was **Moved** Councillor Lound, **Seconded** Councillor Hunt:

That the information be noted.

041/2022 The Motion on being Put was **CARRIED**.

8.8 T21/06 Veterinary Services

It was **Moved** Councillor Oates, **Seconded** Councillor Chowdhury:

That Council:

1. In accordance with section 178 of the Local Government (General) Regulation 2005 Council declines to accept the tender received for veterinary services for the Animal Care Facility as it does not fully meet Council's requirements.
2. That Council enter into negotiations with the tenderer and other vets in the area to provide the various services required whilst a review of the way the services are provided is undertaken. As the market has been tested through this process with the current service provision, the Evaluation Panel do not see any benefit in inviting fresh tenders for the same service.
3. Notify the Tenderer of the results of the tender process.

042/2022 The Motion on being Put was **CARRIED**.

8.9 Quarterly Business Review Statement as at 31 December 2021

It was **Moved** Councillor Hunt, **Seconded** Councillor Lound:

That the adjustments recommended in the Quarterly Business Review be adopted.

043/2022 The Motion on being Put was **CARRIED**.

8.10 Reports and Letters Requested

It was **Moved** Councillor Chew, **Seconded** Councillor Lound:

That the comments and updates to the reports and letters requested be noted.

044/2022 The Motion on being Put was **CARRIED**.

8.11 Minutes of the Audit Risk and Improvement Committee Report

It was **Moved** Councillor Chivers, **Seconded** Councillor Lound:

That the minutes of the Audit Risk and Improvement Committee held 15 February 2022 be noted.

045/2022 The Motion on being Put was **CARRIED**.

8.12 Delivery Program/Operational Plan: 6 Month Progress Report

It was **Moved** Councillor George, **Seconded** Councillor Chew:

That Council receive and note the 6-monthly progress report. This report outlines progress against the Principal Activities outlined in the Delivery Program 2017-22 and Operational Plan 2021-22, for the July to December 2021 period.

046/2022 The Motion on being Put was **CARRIED**.

8.13 Draft Community Strategic Plan: Public Exhibition

It was **Moved** Councillor Brticevic, **Seconded** Councillor George:

1. That the draft Community Strategic Plan - Campbelltown 2032 - be placed on public exhibition for a period of 28 days (9 March 2022 and 6 April 2022).
2. That, following public exhibition, a further report is submitted to Council seeking formal endorsement of the revised Community Strategic Plan - Campbelltown 2032.

047/2022 The Motion on being Put was **CARRIED**.

9. QUESTIONS WITH NOTICE

Nil

10. RESCISSION MOTION

Nil

11. NOTICE OF MOTION

11.1 Koala Care and Treatment Facilities

It was **Moved** Councillor Hunt, **Seconded** Councillor Stellino:

1. That Council write to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP, Shadow Minister for the Environment Penny Sharpe MLC, Federal Member for Macarthur, Dr Mike Freelander MP, Federal Member for Werriwa Anne Stanley MP seeking their support for Council to obtain funding from the Federal Government under the recently announced \$50 million grants package to boost the long-term protection and recovery efforts of Australia's koalas in line with the NSW Government's commitment to double Australia's koala population by 2050.
2. That Council write to the Federal Minister for the Environment, the Hon. Sussan Ley MP, highlighting the uniqueness of the Campbelltown Koala colony being the only disease-free colony in the Sydney Basin and seeking funding from the January announcement of the \$50 million koala protection grants package to:
 - a) provide koala health and care facilities
 - b) deliver all care, treatment and triage to improve koala health outcomes
 - c) assist with on-ground actions that will restore and enhance priority koala habitat and safety
 - d) implement key training in koala treatment and care and
 - e) expand community-led initiatives.
3. That Council write to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP, requesting funding under the State Government support package.

048/2022 The Motion on being Put was **CARRIED**.

11.2 Queen's Walk

It was **Moved** Councillor Oates, **Seconded** Councillor Manoto:

That Council write to the Federal Member for Macarthur, Dr Mike Freelander MP, and the Federal Member for Werriwa, Ms Anne Stanley MP, requesting their consideration of Council's proposal to create a "Queen's Walk" of large canopy shade trees in line with the Federal Government's Queen's Jubilee Funding announcement and to provide appropriate support and assistance for such proposal.

049/2022 The Motion on being Put was **CARRIED**.

11.3 Illegal Rubbish Dumping

It was **Moved** Councillor Oates, **Seconded** Councillor Cotter:

1. That Council investigate ways to combat the increasing levels of illegal kerbside rubbish dumping across the city.
2. That a report be presented as soon as possible on the outcome of the investigation.

050/2022 The Motion on being Put was **CARRIED**.

Meeting note: Having declared an interest in Item 11.4 Councillor Chivers left the Chamber at 7:47 pm and did not take part in the discussion or vote on the matter.

11.4 Business Parking in the Campbelltown CBD

It was **Moved** Councillor Lound, **Seconded** Councillor Munro:

1. That Council undertake further engagement with Campbelltown CBD Businesses to understand their concerns regarding parking.
2. That a report be presented to Council for discussion and consideration of appropriate potential solutions.
3. Develop an appropriate data strategy to ensure that recommendations regarding parking are based on evidence.

051/2022 The Motion on being Put was **CARRIED**.

Meeting note: At the conclusion of the discussion regarding Item 11.4 Councillor Chivers returned to the Chamber at 8:02 pm.

11.5 Simmos Beach, Macquarie Fields

It was **Moved** Councillor Khalil, **Seconded** Councillor Brticevic:

That a report be presented to Council outlining ways to increase visitation to Simmos Beach, Macquarie Fields. The report should include:

- a) identification of any future enhancement works planned or required to improve the location.
- b) marketing opportunities to increase visitation and tourism.
- c) any environmental factors to be taken into account because of increasing visitation.
- d) any future resourcing considerations to enable an ongoing program of works and marketing activity.

052/2022 The Motion on being Put was **CARRIED**.

12. URGENT GENERAL BUSINESS

13. PRESENTATIONS BY COUNCILLORS

1. Councillor Karen Hunt on 25 February with Councillors Lound, Chowdhury, Munro and the Mayor, Councillor Greiss attended the Macarthur Football Association 2022 season launch at Ottimo House. The event was attended by Anne Stanley Member for Werriwa and included guest speakers Macarthur FC player Tomi Urich, Western Sydney Women's player, Rosie Galea, and head coach and former Matilda, Catherine Cunnuli. Derek Meehan the President of Macarthur District Football Referees blew the whistle to officially launch the season. It was a very enjoyable night and a great celebration of local football in Macarthur.
2. Councillor Meg Oates on 28 February – 2 March attended the LGNSW Special Conference. Councillor Oates submitted a motion on behalf of Campbelltown Council requesting the State Government significantly increase the amount of funding available to local councils to assist in the protection, ongoing maintenance and enhancement of heritage buildings, heritage structures and heritage sites in their local government areas. Councillor Oates advised the Chamber that \$6 million was allocated in the budget by the State Government for heritage funding however only \$2.4 million was allocated to Councils with the remaining \$3.6 million used by the State Government. Councillor Oates stressed how important it is that funding be allocated to local Councils enabling them to protect, maintain and enhance heritage buildings, heritage structures and heritage sites.
3. Councillor Josh Cotter commended the local SES units, local RFS, local police area command and Council staff for their assistance they provided the community over past few days with unprecedented rain and flooding. Councillor Cotter advised the community that sandbags are available at Pembroke Park, Minto, Milton Park, Macquarie Fields and an additional sandbag collection point is now at Rosemeadow Sports Complex car park.
4. Councillor George Brticevic on 9 February with Councillor Chivers attended the Campbelltown Ghosts All Inclusive Scouts Group where 2 Cub Scouts, Cameron Parsons and Bryson Da Silva were presented with their Grey Wolf Award which is the ultimate award a Cub Scout can receive. Councillor Brticevic passed on his congratulations to Cameron and Bryson who completed a number of outdoor, leadership and special interest tasks in order to achieve this level.
5. Councillor Masud Khalil on 19 February with the Mayor, Councillor Greiss and Councillor Chowdhury attended the opening of A1 Badminton Centre in Campbelltown. Councillor Khalil shared his excitement in having a badminton centre open in the LGA enabling the community to be able to play badminton indoors locally.
6. The Mayor, Councillor George Greiss with the General Manager presented each Councillor with their signed Oath of Office or Affirmation of Office. Each Councillor declared their Oath of Office or Affirmation of Office in person in front of the General Manager and again declared their Oath of Office or Affirmation of Office online at the Extraordinary Meeting of Council on 11 January 2022.

14. CONFIDENTIAL REPORTS FROM OFFICERS

Confidentiality Recommendation

It was **Moved** Councillor Brticevic, **Seconded** Councillor Hunt:

1. That this Ordinary Meeting of Council be adjourned and reconvened as a meeting of the Confidential Committee for discussion of items 14.1, 14.2 and 14.3 which are considered to be confidential in accordance with Section 10A(2) of the *Local Government Act 1993*, as indicated below:

Item 14.1 Grant of Easement on Council Land - Campbelltown

Item 14.1 is confidential in accordance with Section 10A(2)(c) of the *Local Government Act 1993* as the report refers to information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.

Item 14.2 Lease - Milgate Arcade

Item 14.2 is confidential in accordance with Section 10A(2)(c) of the *Local Government Act 1993* as the report refers to information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.

Item 14.3 Expression of Interest Council Land

Item 14.3 is confidential in accordance with Section 10A(2)(c) of the *Local Government Act 1993* as the report refers to information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.

2. Council considers that discussion of the business in open meeting would be, on balance, contrary to the public interest.

053/2022 The Motion on being Put was **CARRIED**.

The Ordinary Meeting of Council was adjourned at 8:31 pm and reconvened as a meeting of the Confidential Committee at 8:32 pm.

Recommendations of the Confidential Committee

14.1 Grant of Easement on Council Land - Campbelltown

It was **Moved** Councillor Chowdhury, **Seconded** Councillor Chew:

1. That Council approve the granting of an easement for drainage purposes situated at Lot 77 DP 22711, Lilian Street, Campbelltown situated within the Campbelltown Local Government area.
-

-
2. That Council approve the terms of settlement are documented by way of a Deed and that the Document be executed by way of Delegated Authority under S377 of the *Local Government Act 1993*.
 3. That once resolution is granted documentation associated with the easement be lodged for registration at NSW Land Registry Service (if required).

054/2022 The Motion on being Put was **CARRIED**.

14.2 Lease - Milgate Arcade

It was **Moved** Councillor Hunt, **Seconded** Councillor Khalil:

1. That Council provide approval to enter into a new lease for Shop 2 Milgate Arcade, Queen Street, Campbelltown to the current lessee based on the terms and conditions outlined in the body of the report.
2. That Council endorse that all documentation associated with this transaction is executed by way of delegated authority under Section 377 of the *Local Government Act 1993*, if required.

055/2022 The Motion on being Put was **CARRIED**.

14.3 Expression of Interest Council Land

It was **Moved** Councillor Brticevic, **Seconded** Councillor Oates:

1. That the Council endorse to undertake a targeted approach via an Expression of Interest /Public Tender to market the site detailed in the report for divestment.
2. That Council provide delegated authority to the General Manager, and her delegated authorities, to execute all legal documentation associated with this transaction and the divestment outlined within the body of this report and under common seal if applicable.

056/2022 The Motion on being Put was **CARRIED**.

It was **Moved** Councillor Brticevic, **Seconded** Councillor Hunt:

That the Council in accordance with Section 10 of the Local Government Act 1993, move to re-open the meeting to the public.

057/2022 The Motion on being Put was **CARRIED**.

At the conclusion of the meeting of the Confidential Committee the Open Council Meeting was reconvened at 8:35 pm

It was **Moved** Councillor Brticevic, **Seconded** Councillor Hunt:

That the reports of the Confidential Committee and the recommendations contained therein be adopted.

058/2022 The Motion on being Put was **CARRIED**.

There being no further business the meeting closed at 8:36 pm.

Confirmed by Council

..... General Manager Chairperson

4. DECLARATIONS OF INTEREST

Pecuniary Interests

Non Pecuniary – Significant Interests

Non Pecuniary – Less than Significant Interests

Other Disclosures

5. MAYORAL MINUTE

5.1 Thoughts and Reflections

Recommendation

That the information be noted.

I would like to start this month's Mayoral Minute with some personal reflection on a number of matters. Firstly, I hope you all will join me in paying tribute to a friend, former Mayor and long-serving Councillor Paul Hawker. I started my Council service with Paul in 2008, and recall many open and frank debates and conversations that contributed to developing my understanding of the role Council. Most notably the important role we play in ensuring our city thrives and grows and continues to be a place where people want to live and work, where we take full advantage of opportunities and tirelessly advocate for the needs of our residents. I talk about Paul's contribution to our city, life, and memories in a dedicated Mayoral Minute.

April marks a significant time for many people of faith in our community, with people of differing beliefs celebrating important religious festivals over the coming weeks. For people of the Muslim faith, they are already well into Ramadan – a holy month of fasting, introspection and prayer. This weekend, Lent will come to an end, and Christians will celebrate Good Friday and Easter Sunday to mark the death and resurrection of Jesus Christ, while later this month, those of the Christian Orthodox faith will be celebrating their Holy Friday and Easter Sunday. This month also sees the start of the Jewish Passover, the first and most significant of the Jewish pilgrim festivals.

With so many celebrating or reflecting during this time of year, it is a reminder that one of our city's strengths has always been its vibrant and successful diversity and multiculturalism. By sharing our beliefs and customs with our neighbours, we can better understand each other and live harmoniously.

While our faith may be different, the similarities in each of them help to bind us together as a community and work towards the common good. I believe working together and putting the interest of our community ahead of our differences, we will continue to become a stronger and more resilient community.

As we move forward together it is essential to acknowledge our history and learn from our past mistakes, and in April, we must also remember the Appin Massacre.

The Appin Massacre tragically occurred on the 17 April 1816. It was carried out in reprisal for disputes between white settlers and ordered by the then Governor of New South Wales, Lachlan Macquarie. There was no evidence the group of Dharawal people who were targeted had any link to prior clashes in the area.

Documents in the NSW State Government archive record how soldiers attacked the group at their camp at 1am, driving them towards a precipice with gunfire. While 14 bodies were counted, others were believed lost and unaccounted for in the gorge. Only 2 women and 3 children survived according to the account of Captain James Wallis, who led the attack.

Since 2000 the Appin Massacre has been commemorated annually at a memorial service at Cataract Dam and Council has recognised this important date in our history with a commemorative flag raising held each year in the Council Forecourt where there is also a plaque marking this tragic chapter in our regions history.

Flooding, Hazard and Resilience

During extreme weather events and emergencies, our number one objective has to be the safety of our community. During the recent weather events that impacted our city, 88 of our Campbelltown SES volunteers attended operational duties multiple times, and Campbelltown flood rescue technicians attended at least 16 flood rescues across the Campbelltown and Camden LGAs.

They also attended several other flood rescues within surrounding LGAs and supported the Camden SES during this event. Over 7,000 sandbags (both empty and full) were provided to the community via remote sandbag filling points, and approximately 200 tonnes of sand was used.

The residents of Menangle Park were put on flood evacuation notice on two separate occasions due to the river height levels reaching above the major flood level, fortunately however the river flooding at Menangle Park had no impact on properties. Cambridge Avenue, Glenfield and the Nepean River crossing at Menangle Park were impacted and closed at various times throughout the ongoing weather event.

The constant rain also caused widespread damage to the local road network, with more than 200 minor road issues being lodged by the community. Council's Civil Works team is undertook temporary pothole patching works and also provided support to neighbouring LGAs. Thirty-eight heavy patching projects have also been identified and our teams are currently assessing and planning for these works. Council crews also responded to numerous blocked drains and culverts, carrying out cleaning and safety diversions where water caused localised flooding of roads.

I would like to thank our staff and volunteers for all their dedication and hard work, without their efforts, one cannot imagine how much worse this could have been. I also would like to thank our residents for their patience and resilience.

As our city continues to grow, we become increasingly reliant on vital support services, including health, transport, utilities, telecommunications, and social services. Over the last few years, we have seen this reliance tested through devastating bushfires and floods, dangerous heatwaves and storm events, as well as an evolving disease pandemic. These challenging years have made it clear that we need to maintain and increase our resilience as a city.

Resilience is defined as the capacity of communities to survive, adapt and thrive no matter what kinds of chronic stresses (slow-burning pressures that impact everyday life) and acute shocks (abrupt events that can stop a city) they experience.

Campbelltown has commenced work to undertake a Resilience Hazard Assessment using best practice methodology applied to other cities in Australia and overseas. However, resilience is a team sport and requires all of us to work together to embed the necessary steps to achieve our objectives.

Campbelltown is also a member of Resilient Sydney, collaborating with all 33 metropolitan Councils of Greater Sydney to develop and implement a city-wide resilience strategy. Our General Manager is a founding member of the Resilient Sydney Steering Committee.

We recently celebrated our community's resilience with an exhibition at our Arts Centre that features the portraits of 10 local individuals who demonstrate resilience in our community. I would like to congratulate local artist Emmanuel Asante who was not only one of 10 people included in these fantastic portraits, but was also the artist who painted them after conducting sitting sessions online during the lockdown of 2021, with the support of the team at the Campbelltown Arts Centre.

The exhibition also marks the completion of our Resilience Hazard Assessment and I look forward to bringing that to the Council and the community over the next few months.

Council will be strengthening our relationships with our community and the services that support them and will build on relationships that have further developed during the pandemic. Council contributes an invaluable resource to our city's resilience, as we respond to our community's evolving needs.

Advocacy Update

This month I have had number of positive meetings with the Hon. Matt Kean MP: Treasurer, and Minister for Energy, the Hon. Ben Franklin MLC: Minister for the Arts, Minister for Aboriginal Affairs, Minister for Regional Youth, the Hon. Steph Cooke MP: Minister for Emergency Services and Resilience, and Minister for Flood Recovery, the Hon. James Griffin MP: Minister for Environment and Heritage, the Hon. Victor Dominello MP: Minister for Customer Service and Digital Government, the Hon. Wendy Tuckerman MP; Minister for Local Government, and the Hon. David Elliott MP: Minister for Transport and Minister for Veterans.

I have also met with 3 Shadow Ministers: Mr David Harris, MP: Shadow Minister for Aboriginal Affairs and Treaty, Shadow Minister for Jobs, Investment and Tourism, Ms Jennifer Aitchison MP: Shadow Minister for Regional Transport and Roads, Mr Jihad Dib MP: Shadow Minister for Emergency Services, and Shadow Minister for Energy and Climate Change. I also meet with the Hon. Robert Borsak MLC, the Hon. Mark Banasiak, and the Hon. Emma Hurst from the Legislative Council.

The conversation, as was the case with last month's meetings, focused on the infrastructure needs of our city, shortfalls in services, planning matters and the Campbelltown Community and Justice Precinct, as well as topics within the portfolio of each of the Ministers and Shadow Ministers that are critical for our city's growth.

This month I also attended my first City Deal meeting with the Hon. Paul Fletcher MP: Minister for Communications, Urban Infrastructure, Cities and the Arts and representatives from the other councils. The City Deal has a long history and includes many projects and commitments that I am now familiarising myself with. The City Deal is also currently going through an independent review as committed in the original agreement, to evaluate the ongoing effectiveness of the City Deal Framework and recommend any improvements. I will be advising the Council of any updates as I grasp the variety and complexity of the projects.

I also welcome the Federal Government's commitment of \$77.5 million to develop a business case in support of Stage 2 of the Sydney Metro – Western Sydney Airport line, linking Glenfield to the Western Sydney International (Nancy Bird Walton) Airport.

A connection to Glenfield would ensure our community has access to a fast, reliable, and accessible service to the International Airport, the surrounding economic infrastructure and associated jobs. I hope to see the business case completed in time to enable a continuation of works to connect our community to the new Airport while the machines are still in the ground after Stage 1.

Outstanding Matters

In my last two Mayoral Minutes, I shared that I have asked the General Manager to undertake an urgent review of our public space infrastructure and develop an actionable plan that ensures our public spaces are always well maintained and plan a continuous city beautification program for cleaning and maintaining our assets for the enjoyment of all our residents.

I am pleased to advise that the planning for the program has begun, and Councillors have been briefed. The program is subject to budget approval, and I am sure all the Councillors will join me in supporting the required investment to deliver on this plan for our city. I will detail how we will start on this journey of cleaning, maintaining and city beautification as part of my future Mayoral Minutes relating to the budget.

Attachments

Nil

5.2 Paying tribute to Paul Hawker

Recommendation

That the information be noted.

I would like to take this opportunity to pay tribute to former Mayor and long-serving councillor Paul Hawker, who sadly passed away last month following a courageous battle with brain cancer.

Paul was a passionate voice for Campbelltown, who devoted his time to improving the lives and opportunities for residents of our city.

Paul was first elected to Council in 2004, serving for 12 years as a councillor, including one year as Mayor from 2015 to 2016. He retired prior to the 2016 election to devote more time to his family and his other many other community commitments.

A Vietnam veteran, Paul served in the 2nd Battalion, Royal Australian Regiment from 17 May 1970 to 1 June 1971, later going on to enjoy a career as an officer in the Military Police.

His dedication to public service was an inspiration to fellow councillors and his advocacy and commitment played a major role in securing Campbelltown's place as a regional city.

Paul understood that Campbelltown would be an important regional centre in the years to come and helped lay the groundwork for much of the strategic planning work that is enabling Council to seize the opportunities for our city today.

He worked tirelessly during his 12 years on Council to ensure that residents were always at the forefront of Council's thinking and he was a staunch advocate for their interests, both on a larger scale and in the day-to-day business of Council services.

As Mayor, Paul hosted a special event to welcome the Kangaroo March to Campbelltown in 2015 and officially opened a new World War One memorial in Mawson Park in 2016 as part of the city's Anzac Centenary commemorations. He always wore his badges with pride at these events and spoke passionately about his service and the important role veterans played in educating future generations.

He was also advocated for upgrades at Macarthur Square valued at more than \$200 million and worked hard to achieve countless upgrades and improvements in many of our city's parks and playgrounds.

He was the former chair of the Community Safety and Campbelltown Arts Centre subcommittees and also served on the Corporate Governance Committee, the City Works Committee, the Association of Mine Related Councils, Macarthur Zone Bush Fire Management Committee, Macarthur Zone Rural Fire Service District Liaison Committee and the Sydney Metro West Region Joint Regional Planning Panel.

In addition to his role as a Councillor, Paul also served as President of the Macarthur Regional Organisation of Council's, Local Government NSW Director and was a member of the Fit for the Future Ministerial advisory group.

His service to the community extended beyond Council with his involvement in the Ingleburn Lions Club and Campbelltown Rotary, where he served as president. He was devoted time to the United Hospital Auxiliary Campbelltown Branch. He was an active member of the Ingleburn RSL sub-branch and was a passionate advocate for our city's veterans, proudly participating in a range of events and initiatives across our region.

Paul's funeral was held at the St Peter's Anglican Church in Campbelltown on Thursday 31 March. The tributes spoken about Paul at the service were a testament to the man that he was, a fierce advocate for Campbelltown, a man who called a spade a spade and above all else, a passionate and caring family man.

On behalf of Council and the community of Campbelltown, I'd like to extend my deepest condolences to Paul's wife Sigrid, his son Aaron and Daryl and their partners, his grandchildren, extended family and friends.

Attachments

Nil

6. PETITIONS

7. CORRESPONDENCE

Nil

8. REPORTS FROM OFFICERS

8.1 Outcome of Public Exhibition - Draft Amendment to the Campbelltown (Sustainable City) Development Control Plan 2015 - Koala Sympathetic Development

Reporting Officer

Executive Manager Urban Centres
City Development

Community Strategic Plan

Objective	Strategy
2 Outcome Two: A Respected and Protected Natural Environment	2.4 - Conserve and care for our city's biodiversity

Officer's Recommendation

1. That Council adopt the Amendment to the Campbelltown (Sustainable City) Development Control Plan 2015 shown at attachment 1.
2. That upon Council's adoption, the amendment be published on Council's website and take effect from the date of publication.
3. That Save Sydney Koalas be advised of Council's decision and the changes made in response to their submission.

Purpose

To advise Council of the outcome of public exhibition of the draft amendment to the Campbelltown (Sustainable City) Development Control Plan 2015 (CSCDCP) and consider the submissions received.

To seek Council's agreement to recommended changes to the exhibited amendment and endorsement to proceed with the adoption and commencement of the amendments to the CSCDCP.

History

Council at its meeting held 16 February 2016 adopted the CSCDCP, which came into effect on 11 March 2016 to coincide with the commencement of Campbelltown Local Environmental Plan 2015 (CLEP 2015).

Since its commencement in March 2016, the CSCDCP has been amended on other occasions to align the CSCDCP with the ongoing amendments to the various State wide planning policies and guidelines and/or adopt site specific development controls under Volume 1 Site Specific DCPs.

At its meeting on 12 October, 2021 Council considered a report on proposed amendments to the CSCDCP relating to koala sympathetic development and resolved as follows:

1. That Council endorse the public exhibition of the draft Amendment to the Campbelltown (Sustainable City) Development Control Plan 2015 shown at attachment 1.
2. That where submissions are received through the exhibition period, a further report be provided to Council tabling the issues raised in those submissions.
3. That where no submissions are received during the exhibition period, the draft amendment be adopted and commence upon public notification being completed in accordance with the Environmental Planning and Assessment Regulation 2000.

The proposed amendments are only to apply to development applications for sites with an area less than one hectare. The proposed amendments to Volume 1 (Requirements Applying to all Types of Development) are within Part 11 (Vegetation and Wildlife Management) and will facilitate:

- Aligning the new controls with the relevant protection measures and objectives specified in the Koala SEPP 2021 and Campbelltown Koala Plan of Management (CKPoM)
- Addressing the key risks and indirect impacts of the proposed development on any existing koala habitat, including their preferred food and shelter vegetation
- Ensuring that any fencing erected in the E2 zone does not create an impediment or risk which restricts the free movement of koalas over these sites
- Providing suitable strategies which minimises the impact of domestic dogs on free ranging koalas
- Incorporating a shallow ramp in any swimming pool constructed on these sites to enable safe and easy egress by koalas with all fencing being erected in such a manner which also prevents them from gaining access to the pool area
- Implementing site-specific koala protection measures on site to mitigate any potential construction impacts on koalas
- Establishing Tree Protection Zones (TPZ) around any koala habitat trees on site and precluding any development activities within these zones and
- Requiring replacement plantings for every individual koala food or shelter tree that is removed from the site to compensate for any loss of habitat.

Report

The amendments to the CSCDCP were placed on public exhibition for 28 days between 27 October 2021 and 26 November 2021 in accordance with Council's Community Participation Plan.

In response to public exhibition, one written submission was received from the "Save Sydney Koalas" group which can be viewed in attachment 3 of this report. The following table summarises the submission and proposed response.

Issue/Comment	Response
Welcome the opportunity to make a submission	Noted
Support any measures that will strengthen protection for the Campbelltown koala population	Noted
Support any measures that minimise any impact on koala habitat	Noted
The section heading should clarify that this section relates only to lots less than 1 hectare	Agreed – this has been added and shown in attachment 1.
It should be clarified whether the same rules apply for lots above one hectare.	A note has been added to clarify this and is shown in attachment 1.
Section 11.4.1a) – ii) fencing – are these measures in addition of the CKPoM or do they replace it?	The DCP controls will apply to the assessment of development applications where the CKPoM does not apply – see discussion below table.
Section 11.4.1a) – iii) confine domestic dogs – is this in addition to the CKPoM?	The DCP controls will apply to the assessment of development applications where the CKPoM does not apply – see discussion below table.
No dogs should be allowed in new residential developments surrounded by koala habitats	The development control plan will only apply to some types of development applications excluded from the CKPoM. It will not apply where there is no development or where there is complying development. Due to these limitations a control of this nature is not able to be implemented through the CSCDCP.
Section 11.4.1a) – iv) design swimming pools – are these in addition to 6.4.3?	The CSCDCP controls will apply to the assessment of development applications where the CKPoM does not apply – see discussion below table.
Section 11.4.1a) – v) site specific koala protection – who is responsible – builder or home owner? This needs to be clarified	Both the builder and the land owner will need to comply with the terms of any development consent issued. Additionally, other people undertaking works authorised by the particular consent will also need to apply (eg landscaper). Therefore this section needs to be broadly worded rather than list particular people.
Section 11.4.1a) – vii) require replacement tree plantings – this section should include “and maintenance thereof”	Agreed – this has been added and shown in attachment 1.

Why add this to the proposed section to the Campbelltown (Sustainable City) Development Control Plan 2015?

Part 6 of the CKPoM relates to development assessment and control. This section outlines a process for the assessment of applications and controls to be placed on applicable development.

Section 6.1 of the CKPoM provides that Part 6 does not apply to a development application that does not require the removal of native vegetation and which relates to:

- a) A boundary adjustment, alterations or additions to a lawfully effected building
- b) Lands that are wholly located outside of core koala habitat that either singly or together with any adjoining land in the same ownership have an area of less than 1 ha, whether or not the DA applies to the whole or only part of the land

There are possible circumstances where a development application will be required and it could potentially have an impact on koalas but would meet the exception criteria listed above. For example, vegetation may change over time, including through regeneration, and this may mean that there are new areas of koala habitat. Some preferred koala food trees are not located within the area mapped as core koala habitat. It is considered appropriate in these circumstances to add these controls to the CSCDCP. The application of similar controls to these is referenced within the CKPoM itself (refer to the flow chart page 35 of the CKPoM at attachment 2).

Other limitations – Biodiversity Certified Land

The proposed amendment to the SCDCP will only apply where a development application is submitted and Part 4 of the Environmental Planning and Assessment Act, 1979 applies. Where land is or becomes biodiversity certified land under the Biodiversity Conservation Act, 2016, any assessment of koala habitat is 'turned off' by the provisions of section 8.4 of the Biodiversity Conservation Act, 2016. A note clarifying this has been added to Attachment 1.

Conclusion

Proposed amendments to the Campbelltown (Sustainable City) Development Control Plan 2015 relating to koala sensitive development have been placed on public exhibition in accordance with Council's Community Participation Plan and in response to Council's resolution at its meeting on 12 October 2021.

In response to the public exhibition one written submission was received from the "Save Sydney Koalas" group. This submission generally supports the proposed changes and seeks clarification of some matters. The submission also suggests some changes to the proposed wording.

In response, changes have been made to the exhibited version and incorporated into attachment 1 to this report.

It is recommended that Council resolve to adopt the revised amendments to the Campbelltown (Sustainable City) Development Control Plan 2015 and that they take effect from the date of publication on Council's website.

Attachments

1. Amendment 11.4 to SCDCP (Design requirements for development in Koala habitats) (contained within this report) [↓](#)
2. Submission from 'Save Sydney Koalas' (contained within this report) [↓](#)
3. Campbelltown Koala Plan of Management (CKPoM) - due to size (126 pages) (distributed under separate cover)

11.4

Design requirements for developments in koala habitat

11.4 Design requirements for developments in koala habitat on lots less than 1 hectare

Objectives:

- To assist in the effective implementation of the Campbelltown Comprehensive Koala Plan of Management (CKPoM) for development within koala habitat
- To facilitate development sympathetic to the local koala population, in order to minimize the impacts of development on koalas and their habitat.

11.4.1 Management of koala habitat

- a) Development applications for properties less than one hectare that contain koala habitat, are required to address key risks and indirect impacts to koalas and their habitat, and demonstrate consistency with the following management measures:
- i) be designed and located in such a way as to avoid any adverse impacts to Preferred Koala Food Trees ((P)KFTs) and/ or shelter trees
- ii) ensure fencing of residential lots:
- supports the free movement of koalas in E2 zones, and doesn't create an impediment and/or risk to koala movement
 - effectively excludes koalas in R2 zones, except for where these properties are located adjacent to a Council Reserve
- iii) confine domestic dogs (greater than 10kg) to a dog-proof yard, or verandah, during peak koala activity levels, between 6pm and 6am; to reduce incidents of dog attacks on koalas
- iv) design swimming pools with a graduated shallow edge, or fitted with a permanent flotation device; to prevent koalas from drowning
- v) implement site-specific koala protection measures on the development site; to mitigate construction impacts on koalas

- vi) establish Tree Protection Zones (TPZ) around any koala trees within the site area and preclusion of any development activities within the TPZ to protect koalas from disturbance
- vii) require replacement tree plantings and maintenance thereof, in accordance with the applicable Diameter at Breast Height (DBH) ratio (or monetary equivalent) for every individual (P)KFT or shelter tree that is removed; to compensate for any loss of habitat:
- | | |
|--------------------------|------|
| • Small (DBH<100mm) | 1:10 |
| • Medium (DBH>100<300mm) | 1:15 |
| • Large (DBH>300mm) | 1:20 |

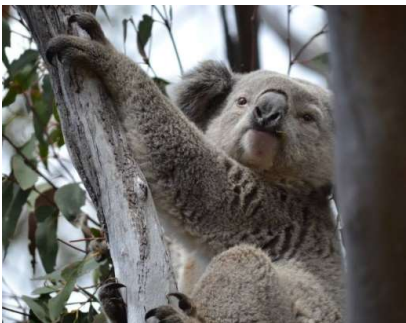


Plate 11.4.1 - The protection of koala habitat is essential to provide for the long-term maintenance of a viable, free-ranging koala population in the Campbelltown LGA (Koala “Mr Nymboida” in Ruse. Photo courtesy of Carla-Maree Simmons).

Note:

This section of the Development Control Plan does not apply to biodiversity certified land under the Biodiversity Conservation Act 2016.

Development controls for lots greater than or equal to 1 hectare are contained in the Campbelltown Comprehensive Plan of Management 2018.

Many koala populations in NSW now survive in fragmented and isolated habitat, while some areas in which koalas remain more common are increasingly subject to ongoing pressures, in particular clearing for agriculture, logging and urban expansion.

Campbelltown has one of the last, disease-free koala populations in the Sydney region. Therefore it is important to put in place design measures that support the harmonious co-existence of the community with koalas.

2nd December 2021

Public Exhibition of Draft Amendment No 14 (Koala Sympathetic Development) to the Campbelltown (Sustainable City) Development Control Plan 2015

We welcome the opportunity to have input into this DCP and support any measures that will strengthen protections for the Campbelltown koala population and minimize any impact on their habitat. In this endeavour, we hope that our suggestions and comments will strengthen your proposed amendments and thus make a better overall plan for koalas.

As this is a new section, the heading should reflect that the *Design requirements for developments in koala habitat* should indicate that it relates to Development Applications for properties less than one hectare that contain koala habitat so that people will know what section to look under. It needs to be clarified whether the same rules apply for properties above one hectare and there should be a separate section in CKPoM for these larger properties.

Below are detailed comments and suggested changes.

11.4.1a)

ii) Fencing: If these measures are in addition to 6.4.5 in the CKPoM then a cross reference may be required to stop confusion. Or are they replacing 6.4.5?

iii) Confine domestic dogs: Is this measure in addition to the 6.4.4 in the CKPoM as above? In order to strengthen this amendment, it should include the additional constraint that no dogs be allowed onto properties that back onto a reserve to minimise edge effects. (Stress caused by barking dogs of any size can be harmful.) Ideally, there should be no dogs as pets in new residential developments surrounded by koala habitats. Refer to similar initiatives in the ACT in the link below:

<https://www.cityservices.act.gov.au/pets-and-wildlife/domestic-animals/cats/cat-containment>

iv) Design swimming pools: Is this in addition to section 6.4.3 as above?

v) Implement site-specific koala protection: Will this be in the approval of construction of the building? Who will be responsible - the builder or homeowner? This needs to be clarified.

vii) Require replacement tree plantings: This section should include '**and maintenance thereof**' or similarly worded, to imply that there is a responsibility to maintain rather than just plant them and allow them to die. Perhaps a fee for the council to inspect after a year of planting.

Yours sincerely,

Diana Pryde

Secretary

On behalf of Save Sydney's Koalas

Savesydneyskoalas@gmail.com

0402508392

8.2 Outcome of Public Exhibition – Mount Gilead Development Control Plan

Reporting Officer

Executive Manager Urban Release and Engagement
City Development

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.8 – Enable a range of housing choices to support different lifestyles

Officer's Recommendation

1. That Council adopt the Campbelltown (Sustainable City) Development Control Plan 2015, Volume 2 Part 7 Mt Gilead in attachment 1, relating to land within the Mt Gilead Urban Release Area.
2. That upon Council's adoption, Volume 2 Part 7 Mt Gilead Development Control Plan be published on Council's website and take effect from the date of publication.
3. That the submission authors be advised of Council's decision.

Executive Summary

- Lendlease Communities (Mt Gilead) Pty Ltd has requested an amendment to the Campbelltown (Sustainable City) Development Control Plan 2015, Volume 2 Part 7 Mt Gilead.
- At its Ordinary Meeting of 13 July 2021, Council endorsed public exhibition of the draft Campbelltown (Sustainable City) Development Control Plan 2015, Volume 2 Part 7 Mt Gilead that commenced from 2 August 2021 until 30 August 2021, resulting in submissions from 3 State authorities and one community member.
- It is recommended that Council adopt the amendment to the Mt Gilead Development Control Plan.

Purpose

The purpose of this report is to provide Council with details of the submissions received in response to the public exhibition of draft Campbelltown (Sustainable City) Development Control Plan 2015, Volume 2 Part 7 Mt Gilead (draft CSCDCP) and to recommend that Council adopt and publish the amendment.

Background

The first stage of subdivision at Mt Gilead for 333 residential allotments is now commenced and upon completion and registration, applications for dwelling approval, by development application or complying development certificate may be lodged.

To ensure that Council's development guidelines reflect contemporary requirements, the exhibited amendments introduce new requirements for improved dwelling design to provide a feasible merit assessment pathway that also includes measures to reduce the heat island impact of building materials and tree planting requirements.

Report

Public exhibition of the draft CSCDCP was notified on Council's 'Over to You' webpage in accordance with the Campbelltown's Community Participation Plan from 2 August 2021 until 30 August 2021.

In response, submissions were received from 3 State authorities and one community member as summarised below.

1. Public Authority Submissions

a) Endeavour Energy

The submission refers to their policy document 'Guidance Notes for Electricity Distribution' that provides an overview of issues that affect electricity distribution network for consideration by the developers and Council in relation to development applications.

Concern is raised regarding the absence of development controls for pad-mount substations due to potential impact on block and lot layouts. The general requirement for pad-mount substations is to be at ground level, have direct access from a public street (unless in easement), to meet the minimum size and include appropriate lot restrictions on the registered plan.

Comment: Council applies the guidance notes and requirements for pad-mount substations during the residential subdivision process. Further improvement to Section 3.10 (Development on or adjacent to Electricity and Gas Easements) of the draft CSCDCP is appropriate and would be included within the next round of amendments from mid 2022.

b) WaterNSW

The submission builds on previous comments made on the Gilead Stage 1 Planning Proposal that was adopted by Council on 2 November 2021.

The submission requests that the following amendments to the exhibited draft CSCDCP be made:

- i. Include a dedicated section on stormwater management, similar to the recently adopted Volume 2, Part 8 Menangle Park Development Control Plan.

- ii. Requirement for a boundary road design across the length of land that interfaces with the Upper Canal.
- iii. Section 3.1 should recognise the State Heritage significance of the Upper Canal corridor.
- iv. The Figtree Hill Stormwater Management Strategy should be appended to the draft CSCDCP or a link provided.
- v. Include references to Clause 2.18 of Volume 1 under Section 1.2(e), Section 3.2 (Street Network), Section 3.4 (Residential Subdivision) and Section 3.5.9 (Fencing).

The submission also references the 'Guidelines for Development Adjacent to the Upper Canal and Warragamba Pipelines' and new provisions under the State Environmental Planning Policy (Infrastructure) 2007 which now require development to be consistent with the guideline.

Comment: Amendment item 3 and change to Section 1.2(e) outlined above are addressed in the amended draft CSCDCP. Further amendments to reference Clause 2.18 throughout the draft CSCDCP are not required, as Part 1.1 already establishes the relationship of the draft CSCDCP to Volume 1 of the Campbelltown (Sustainable City) Development Control Plan 2015 (CSCDCP).

A detailed section on stormwater is not required as the relevant requirements are specified in Council's Engineering Design Guide for Development and approved Water Cycle Management Strategy, May 2018. A copy of this report may be provided upon request.

The indicative layout reflects the current land use zoning plan as originally made in 2017. A further amendment to the draft CSCDCP would occur upon finalisation of the Planning Proposal that was adopted by Council at its Ordinary Meeting on 2 November 2021. This amendment would ensure the layout plan provides for boundary road designs across the length of land that interfaces with the Upper Canal.

Council has also resolved to prepare a planning proposal amendment to reflect the Condition 22a area of 2984/2020/DA-CW. This amendment would rezone the 22a area from R2 Low Density Residential to a suitable conservation zone consistent with the requirements of the NSW Chief Scientist and Engineer. This land would share a boundary with the Upper Canal and would reduce the interface of perimeter roads and future housing lots.

Clause 2.18 in Part 2 (Requirements Applying to all Types of Development) of the CSCDCP already details the requirements for development applications adjacent to the Upper Canal. The inclusion of the corridor within the State Environmental Planning Policy (Transport and Infrastructure) 2021.

c) Sydney Water

The submission identifies that tree planting must comply with Sydney Water's Building Over Assets Policy. Concern is raised that the species list in appendix 1 of the draft CSCDCP cannot comply with the Building Over Assets Policy and would be in breach of the *Sydney Water Act, 1994* if planted over assets in the verge/footpath area. To resolve this issue, the species list should be consistent with their technical requirements.

Comments: The list of street tree species is unchanged from the original adopted and in-force CSCDCP for Mt Gilead. Amendments to the list of suitable street trees will be investigated and implemented in the next amendment of the CSCDCP to be commenced from by mid 2022.

2. Public Submission

A public submission that objects to the development of Mt Gilead is summarised below.

a) Climate Change

Although efforts to address urban heat island effect are supported, the responsibility for tree planting in the front and rear of yards should be met by the developer, with a requirement the tree be maintained or replaced if they do not survive.

Comment: The draft CSCDCP proposes that future owners are required to plant at least one tree in the front and rear setback. This would be the responsibility of the future lot owner to satisfy prior to seeking an occupation certificate for the dwelling.

b) Bushfire Emergency Plan

Concern is raised regarding lack of information concerning bushfire evacuation.

Comments: The purpose of a development control plan is to give effect to the Campbelltown Local Environmental Plan 2015 and to specify local development guidelines for development. This includes a requirement for development to be consistent with Planning for Bushfire Protection 2019 that requires referral to the NSW Rural Fire Service (RFS) for land identified on the Bushfire Prone Land Map. The RFS considers evacuation in its assessment of subdivision applications and specifies requirements for developers in regard to layout planning, street design and asset protection zones.

Further, the NSW Department of Planning and Environment has also published a Strategic Bushfire Study for the Greater Macarthur land release areas as published on their website in December 2021. This report concludes the level of residual risk after the inclusion of bushfire protection measures typically applied under Planning for Bushfire Protection 2019 is appropriate.

c) Care of koalas

Concern is raised that Council has ignored all reports into the future of the Campbelltown Koala population, including the Koala Plan of Management and the Chief Scientist and Engineer reports on Koalas.

The submission suggests that funds allocated to the Koala Hospital at Port Stephens could have been redirected to Campbelltown to build a koala care facility.

Comment: Council has been a strong advocate for koala corridor conservation, having considered many reports on the creation of strategic linkage areas and advocating to the NSW Government and Agencies to support additional east-west connections, including under or overpasses of Appin Road. In this regard, the NSW Chief Scientist and Engineer,

Koala Independent Expert Panel Advice regarding the protection of the Campbelltown Koala Population Report is welcomed.

In response to concerns about planning at Mt Gilead being inconsistent with Council's Comprehensive Koala Plan of Management, this matter was addressed in the report considered by Council at its Ordinary Meeting on 2 November 2021 in regard to the Mt Gilead Stage 1 Planning Proposal. Within this report, it was advised that the Environment, Energy and Sustainability Branch of DPE, reviewed the applicant's Biodiversity Certification Assessment report, prepared by Ecological Australia (December 2020) and advised it was not inconsistent with the conferral of biodiversity certification. Furthermore, the provisions of Clause 4.8 of State Environmental Planning Policy (Biodiversity and Conservation) 2021 is not applicable to the determination of development applications, or the development control plans for the site due to biodiversity certification of the land.

In regard to a koala care facility in Campbelltown, this issue was explored as part of the Greater Macarthur Koala Partnership Forum held in March 2019. The forum was organised by resolution of Council and facilitated by Elton Consulting who reported on the outcomes to the Ordinary Meeting of Council in June 2019. Dr David Phalen, who presented at the forum, advised that the feasibility of establishing a local koala hospital and rehabilitation sanctuary is considered low on the grounds that a new facility would duplicate services that already exist (eg Koala Health Hub). In addition, existing services provide separate rehabilitation sites which is ideal for addressing the chlamydia issue.

On the grounds that high quality veterinary care is already provided, Dr Phalen suggested that the most feasible approach would be to support existing service providers. This suggestion was a recommendation of Council's submission on the Macarthur 2040 Strategy.

Conclusion

The amendment to Volume 2, Part 7 Mt Gilead Development Control Plan seeks to provide contemporary controls to support new housing development.

The recent commencement of the Stage 1 plan of subdivision for 333 lots, will soon permit the individual owners of these lands to submit applications for new dwellings by either development application or complying development certificate.

In response to submissions, Council officers will continue to liaise with State authorities to implement improvements to the Campbelltown (Sustainable City) Development Control Plan from 2022. Until this time, it is recommended that Council adopt the exhibited amendments attached to this report.

Attachments

1. Volume 2 Part 7 Figtree Hill Development Control Plan Amendment No.17 (contained within this report) [↓](#)

DRAFT

Campbelltown (Sustainable City) Development Control Plan (Amendment No. 17) 2021

Under Section 3.43(4) of the Environmental Planning and Assessment Act 1979, this Campbelltown (Sustainable City) Development Control Plan (Amendment No. 17) 2022 amends Campbelltown (Sustainable City) Development Control Plan (Amendment No 8) 2019 (the Plan) in the following Manner:

1. Volume 2 Site Specific Development Control Plans: Part 7 Mt Gilead is modified as detailed on the following pages.

Volume 2: Site Specific Development Control Plans

Part 7 Figtree Hill

List of Amendments to the Plan:

Amendment No	Date of Adoption by Council	Effective Date
Amendment No 8	14 April 2020	4 May 2020
Amendment No 17	TBA	TBA

Campbelltown (Sustainable City) Development Control Plan

Volume 2 Site Specific Development Control Plans

Part: 7
Figtree Hill
~~Mt Gilead~~

Part 7**FIGTREE HILL MT GILEAD**

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Part 7**FIGTREE HILL MT-GILEAD****1. INTRODUCTION****1.1. Land to which this Development Control Plan Applies**

This Part applies to the land identified in Figure 1.

This Part establishes additional provisions for ~~Mt-Gilead~~ Figtree Hill. When a development control is not specified in this Part, development should be consistent with all other relevant controls of Volume 1 Campbelltown (Sustainable City) DCP. Where there is an inconsistency between Part ~~6-7~~ and any other Part of this Development Control Plan, Part ~~67~~ applies to the extent of the inconsistency.

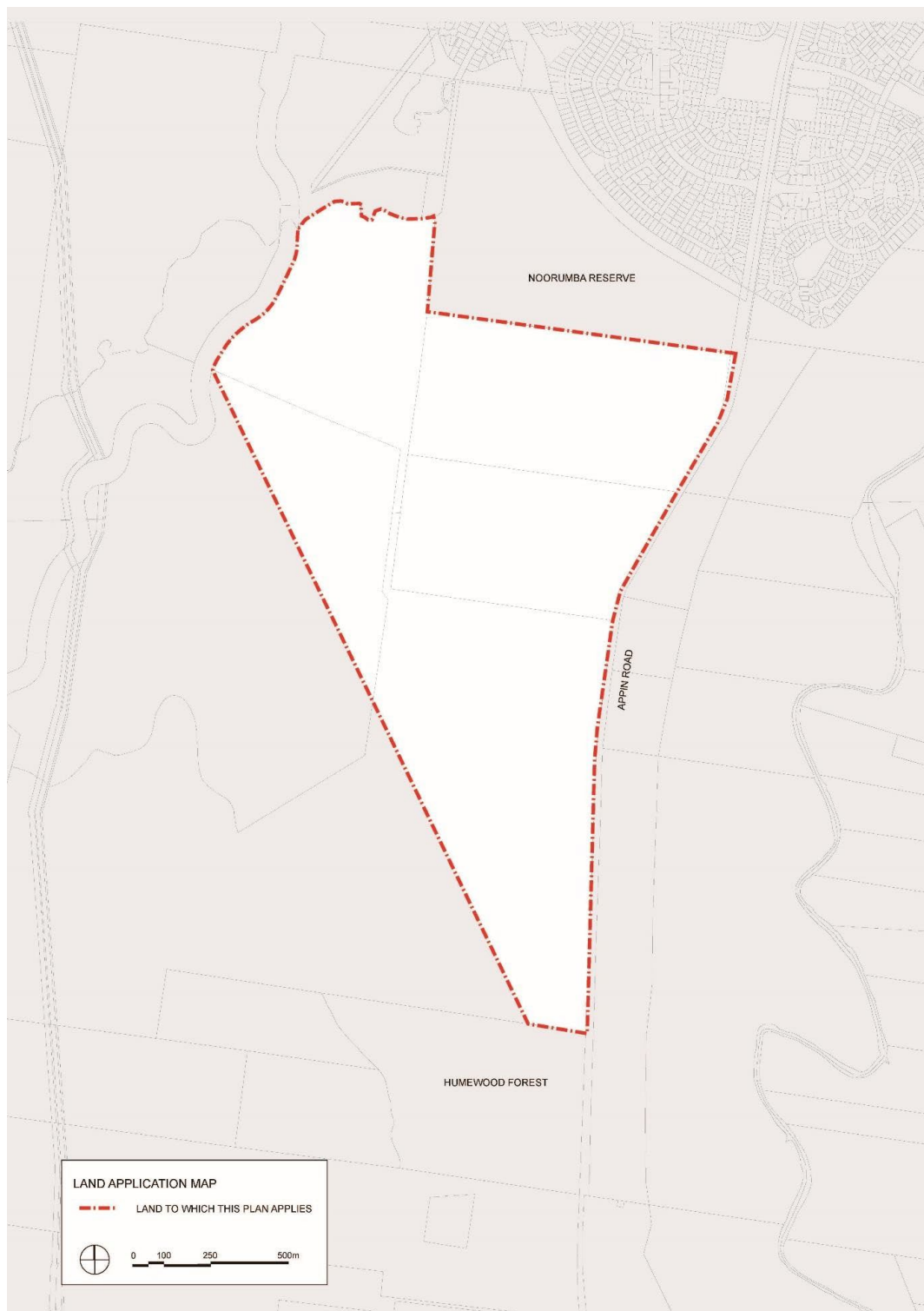
The arrangement of controls in this section does not represent any particular order of priority or importance. Maps and diagrams in this Part are indicative only.

Campbelltown City Council Engineering Design Guide for Development applies to development specified in this Part.

Part 7

FIGTREE HILL MT GILEAD

Figure 1: Land to which this DCP applies



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FIGTREE HILL MT GILEAD

1.2. Campbelltown LEP Compliance Table

This DCP is intended to satisfy Clause 6.3 of Campbelltown Local Environmental Plan 2015, as it applies to the subject land. ~~Any development within the area depicted in Figure 1A must address the requirements outlined in the table below.~~

Table 1: Consistency with Clause 6.3

CLEP 2015 Clause 6.3 Requirement	Relevant Provision / Control
(a) A staging plan for the timely and efficient release of urban land, making provision for necessary infrastructure and sequencing.	Development may be undertaken in a single stage (as shown in Figure 1A, staging plan) or in any number of substages provided that development reflects the progressive delivery of road, utility and local infrastructure over the land. Development may be undertaken pursuant to several development applications with an explanation of how this is compatible with the delivery of infrastructure.
(b) An overall transport movement hierarchy showing the major circulation routes and connections to achieve a simple and safe movement system for private vehicles, public transport, pedestrians and cyclist.	This infrastructure shall be provided in accordance with Section 3.2 (including, without limitation, consistency with the details in Figures 4, 5 and 6).
(c) An overall landscaping strategy for the protection and enhancement of riparian areas and remnant vegetation, including visually prominent locations, and detailed landscaping requirements for both the public and private domain.	All development shall be undertaken in accordance with Section 3.3 (including, without limitation, consistency with the details in Figure 7).
(d) A network of passive and active recreational areas.	All development shall be undertaken in accordance with Section 3.3 (including, without limitation, consistency with the details in Figure 7).
(e) Stormwater and water quality management controls.	All development shall be undertaken in accordance with the Campbelltown City Council Engineering Design Guide for Development. Section 2.18 of Volume 1 of CSCDCP
(f) Amelioration of natural and environmental hazards, including bushfire, flooding and site contamination and in relation to natural hazards, the safe	<u>Bushfire</u> All future development is to comply with the NSW Rural Fire Service's Planning for Bushfire Protection. This includes the provision of suitable asset protection zones and appropriate

Part 7

FIGTREE HILL MT GILEAD

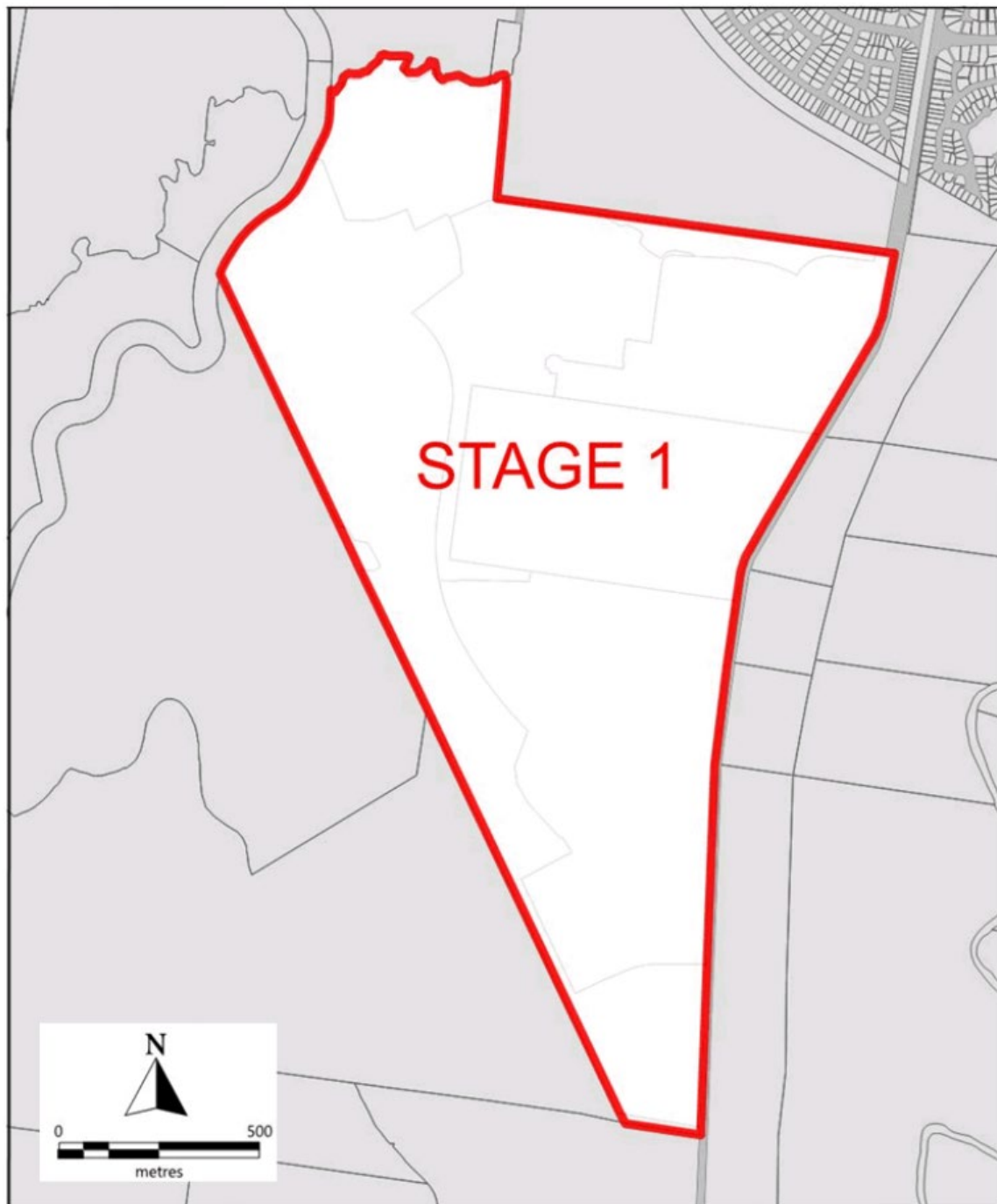
occupation of and evacuation from, any land so affected.	<p>maintenance of vegetated open space areas.</p> <p><u>Flooding</u></p> <p>All future development is to comply with Council's Engineering Design Guides for development.</p> <p><u>Contamination</u></p> <p>All future development is to comply with State Environmental Planning Policy No. 55 – Remediation of Land.</p> <p><u>Mine Subsidence</u></p> <p>All future development is to comply with the requirements of NSW Mine Subsidence Board Advisory.</p>
(g) Detailed urban design controls for significant development sites.	<p>All development must address the matters under Section 3.1 including consideration of the principles provided in Figure 3, Section 3.4, Section 3.5 and be consistent with low density residential development control in Volume 1, Part 3. Where there is an inconsistency, Sections 3.4 and 3.5 of this part of the DCP prevail.</p> <p>Development in the vicinity of the "One Tree Hill" site shall be undertaken in accordance with Section 3.3 (including, without limitation, consistency with the details in Figure 7) and the objectives of the RU2 Rural Landscape Zone in which it is located.</p> <p>All development shall be undertaken in accordance with Section 3.1 (including, without limitation, consideration of the principles provided in Figure 3).</p>
(h) Measures to encourage higher density living around transport, open space and service nodes.	Any development must locate smaller high density residential types of development around transport, open space and service nodes in accordance with Section 3.4.
(i) Measures to accommodate and control appropriate neighborhood commercial and retail uses.	Commercial and retail development shall be concentrated in the B1 Neighbourhood Centre Zone within the precinct and must be undertaken in accordance with the objectives of B1 Neighborhood Centre Zone and Volume 1, Section 6 of the Campbelltown (Sustainable City) Development Control Plan 2015.
(j) Suitably located public facilities and services, including provision for appropriate traffic management facilities and parking.	Public facilities and services are to be provided in the B1 Neighbourhood Centre Zone and shall be provided in accordance with Council's Engineering Design Guide for Development.

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FIGTREE HILL MT-GILEAD

Note: Unless otherwise specified, a reference to a section or figure is a reference to the corresponding section or figure in this Volume 2, Part 7 of Campbelltown (Sustainable City) Development Control Plan.

Figure 1A: Figtree Hill Mt-Gilead Staging



Part 7**FIGTREE HILL MT GILEAD**

Note: Multiple Sub-stages may occur under the initial stage.

2. VISION AND DEVELOPMENT OBJECTIVES**2.1. Vision for Mt Gilead**

Mt Gilead will be a high quality residential estate set within a rural landscape setting. When completed, Mt Gilead will contain approximately 1,700 detached dwellings and a population of around 5,000 people. Mt Gilead will contain significant bushland parks providing attractive recreation areas and a pleasing setting for residential development. A small community hub co-located with open space will be provided in a central location to provide a focal point for the community.

European heritage will be interpreted through street layout and open space provision, providing an insight into land use patterns and significant early settlers. Known areas of Aboriginal cultural heritage will be protected.

Access will be provided from ~~three~~-two main entries off Appin Road. The rectilinear subdivision layout will provide legible connections, maximise accessibility and transport choice, and offer alternative trips via walking and cycling.

Housing will typically be detached single and two storey dwellings on a range of lot sizes to provide choice and diversity. Smaller lots will be located in areas of special character such as close to open spaces, the community hub and bus route.

2.2. Key Development Objectives

Key Development Objectives for Mt Gilead are to:

- Create an environmentally and socially sustainable residential estate at Mt Gilead that provides housing diversity and choice within the Campbelltown local government area.
- Provide a broad variety of lot sizes.
- Ensure all development achieves a high standard of urban and architectural design.
- Promote walking and cycling, and provide good access to public transport.
- Maximise opportunities for future residents to access and enjoy the outdoors.
- Protect riparian corridors and significant vegetation.
- Provide for the establishment of a biodiversity corridor to allow for the movement of fauna from Noorumba Reserve through the subject site to connect with the Nepean River corridor and the Beulah biobanking site.
- Respect the heritage significance of the Mount Gilead homestead site including the outbuildings, mill and dam and their setting.

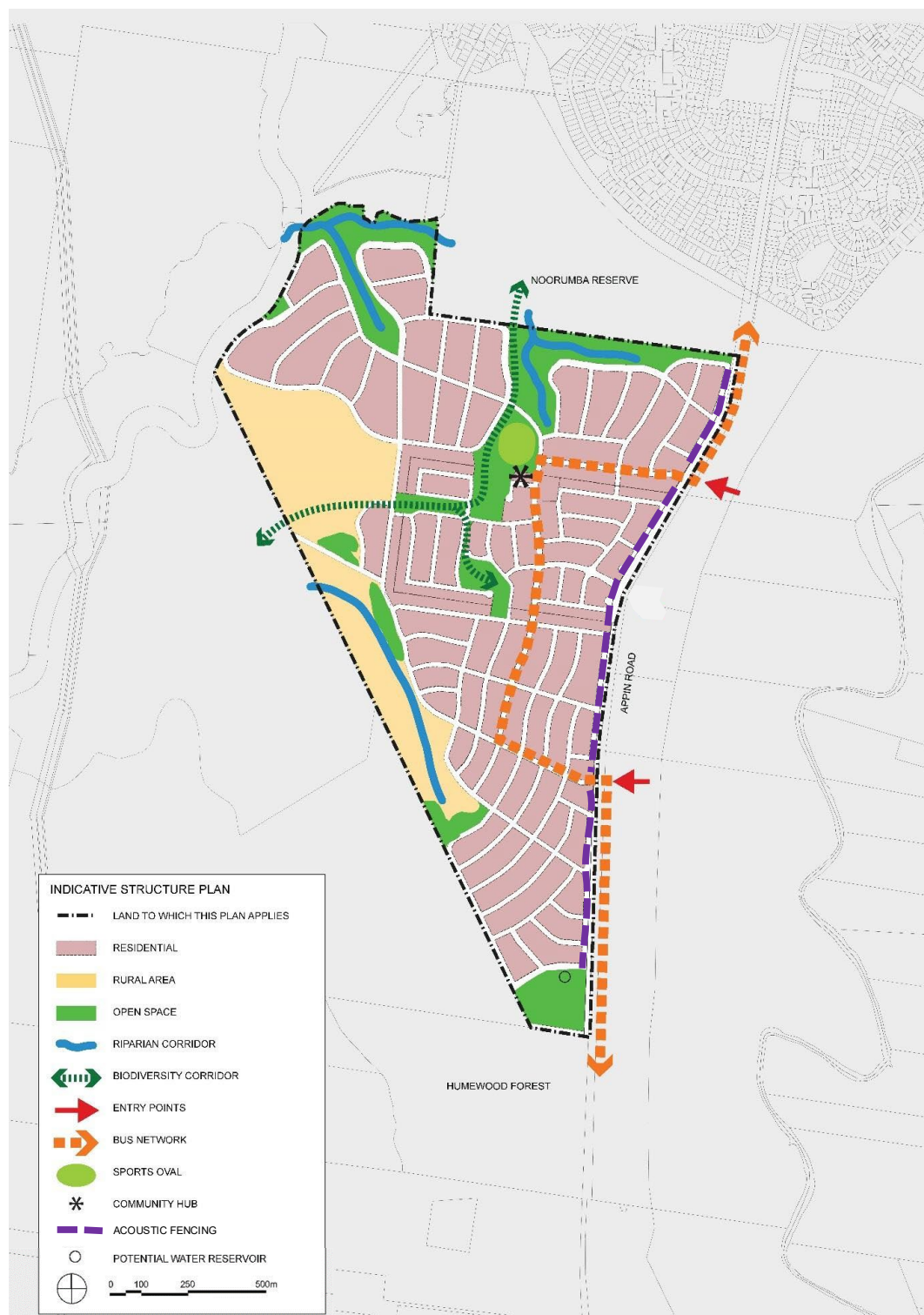
Controls

1. Development of Mt Gilead is to be generally consistent with the Indicative Structure Plan shown in Figure 2.

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FIGTREE HILL MT GILEAD

Figure 2: Figtree Hill Mt Gilead Indicative Structure Plan



Part 7

FIGTREE HILL MT-GILEAD

3. DEVELOPMENT PRINCIPLES AND CONTROLS

3.1. Heritage and Views

Objectives

- Interpret the rural landscape values of the site and surrounding locality.
- Where possible, retain and enhance European heritage through its integration into the development of **Figtree Hill Mt-Gilead**.
- Retain the regional views to hills to the west from within the subdivision to retain the visual context of the landscape's prior land uses and heritage values.
- Retain the 'bald' character of One Tree Hill above the background skyline when viewed from The Old Mill, with a single landmark tree.
- **Recognise the State Heritage Listing of the Upper Canal**

Controls

1. Development of Mt Gilead is to be consistent with the heritage principles identified in Figure 3 Heritage Principles Plan. The following specific measures are to be incorporated into the subdivision design:
 - i. An interpretation of the historic carriageway alignment from Appin Road to the Mt Gilead homestead at the existing entrance to the Mt Gilead Property as shown in Figure 3 ~~Heritage Principles Plan~~ **Heritage Principles Plan**. This should include land mark specimen tree planting.
 - ii. Retention of One Tree Hill as a grassed knoll with a single tree.
 - iii. Interpretation of the former Hillsborough Cottage is to be provided in the general vicinity as identified in Figure 3 Heritage Principles Plan. This may include landscaping, signage, walling or/and the erection of a commemorative plaque.
 - iv. **Be consistent the with the Upper Canal State Heritage curtilage.**
2. Landscape screening is to be provided in the locations identified in Figure 7 Indicative Landscape Strategy to:
 - i. Ensure that housing at Mt Gilead is not visible when viewed from the Old Mill.
 - ii. Interpret the original landscape setting around the lake when viewed from the Old Mill.
3. Where possible, the key view corridors identified from the indicative locations in Figure 3 Heritage Principles Plan to the Old Mill and One Tree Hill are to be retained and interpreted.
4. When the subdivision street pattern and open space locations are finalised, a site review will be required to confirm that important views to the west are retained and interpreted within the public domain (streets and parks). These locations will be identified on the plans submitted with development applications for subdivision.

Note: Methods to retain and interpret views include:

- Using trees species that will not block views when mature.
- Placement of seating and/or interpretive signage at the viewpoints that explains the view and its significance in the context of the locality's cultural and natural heritage.

Development to be consistent with Section 2.18 of

Campbelltown (Sustainable City) Development Control Plan Volume 2 Part 7

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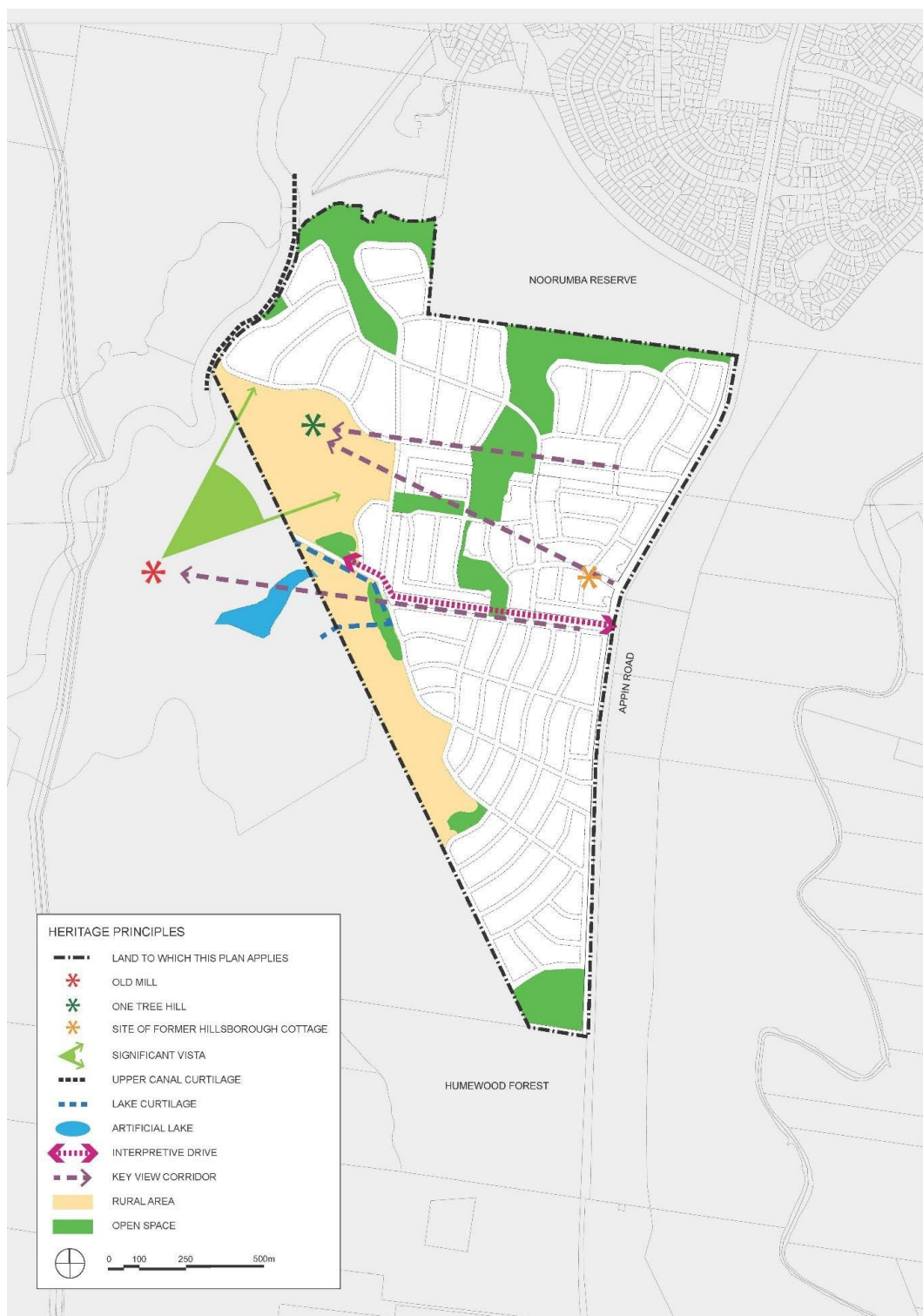
Part 7

FIGTREE HILL MT-GILEAD

Part 7

FIGTREE HILL MT GILEAD

Figure 3: Heritage Principles Plan



Part 7

FIGTREE HILL MT GILEAD

3.2. Street Network and Public Transport

Objectives

- Provide a clear hierarchy of interconnected streets that enables safe, convenient and legible access.
- Provide easily accessible connections to Appin Road.
- Ensure carriageways and verges match the function of the road.
- Provide adequate land within verges for infrastructure, landscaping and pathways.
- Facilitate use of public transport with suitable seating and adequate road widths.
- Provide a clear pedestrian and cycle network that provides links between bus stops, the community hub and open space areas.
- Provide a connected, convenient, efficient and safe network of pedestrian and cycle shareways.
- Promote the efficient use of land by allowing pedestrian and cycle shareways located within open spaces wherever practical.

Controls

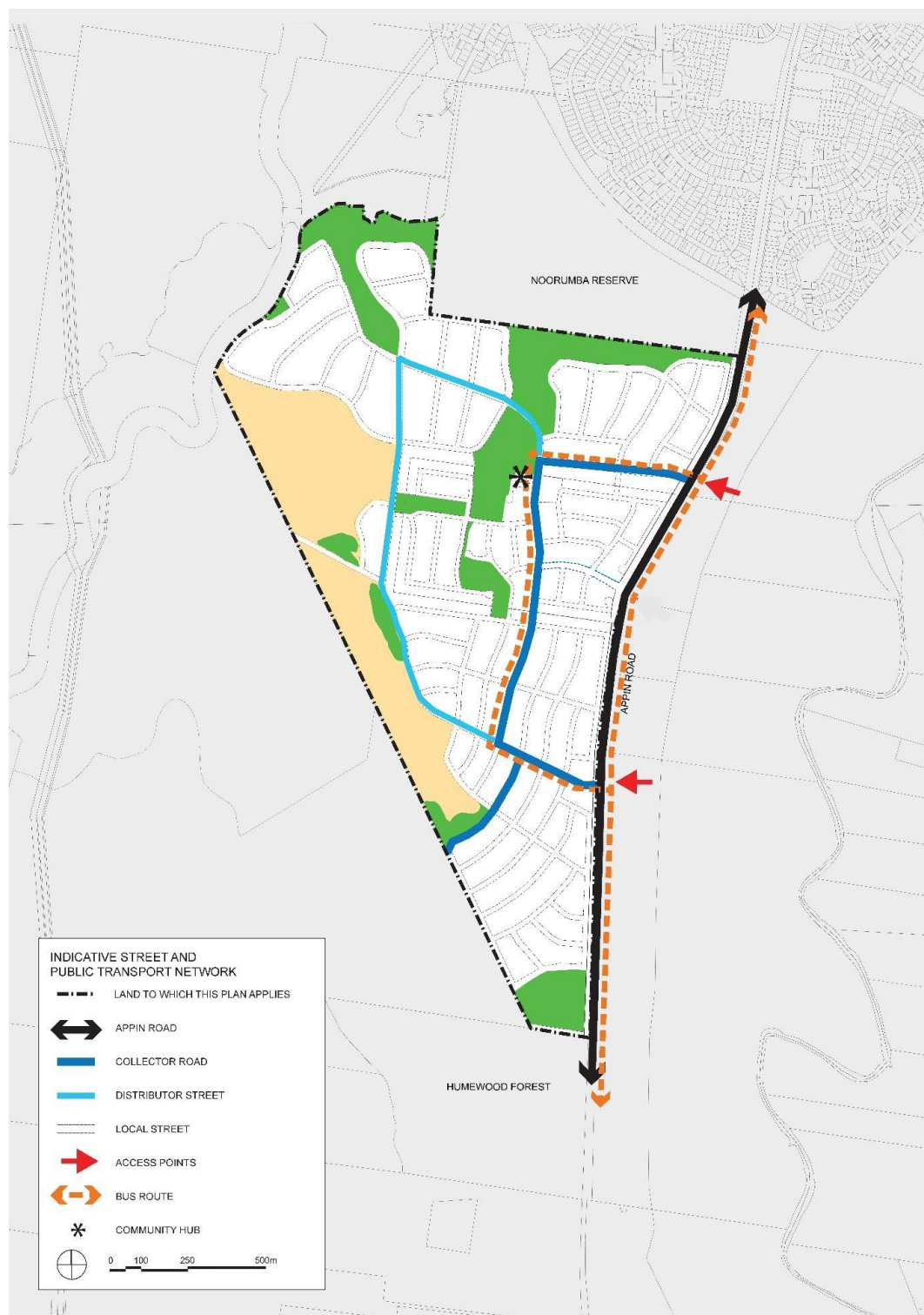
1. The design of the local street network is to:
 - i. facilitate walking and cycling and enable direct local vehicle trips;
 - ii. create a safe environment for walking and cycling with safe crossing points;
 - iii. encourage a low-speed traffic environment;
 - iv. optimise solar access opportunities for dwellings;
 - v. take into account the site's topography and view lines;
 - vi. provide frontage to and maximise surveillance of open space;
 - vii. facilitate wayfinding and place making opportunities by taking into account streetscape features; and
 - viii. retain existing trees, where appropriate, within the road reserve.
2. ~~Three~~ **Two** entrances are to be provided off Appin Road generally in accordance with the locations identified in Figure 2 Mt Gilead Indicative Structure Plan and Figure 4 Indicative Street Network and Public Transport.
3. The public street network is to be provided generally in accordance with Figure 4 Indicative Street Network and Public Transport.
4. Street design is to comply with the minimum standards in the cross-sections detailed in Figure 5 Indicative Street Cross Sections.
5. Where bus bays are required on the Collector Road, the carriageway must be widened to accommodate a 2.5m wide bus parking bay.
6. Alternative street designs may be permitted on a case-by-case basis if the functional objectives and requirements of the street design are maintained and the outcome is in accordance with the Campbelltown City Council Engineering Design Guide for Development.
7. All kerbs are to be barrier kerbs.
8. **Pedestrian paths and cycle ways within Open space should be well connected to the local road network.**

Part 7**FIGTREE HILL MT GILEAD**

9. Cul-de-sac streets will only be permitted where there are physical constraints such as sloping land, riparian corridors and bushland. Verges abutting open space and riparian areas may be reduced to 1m in width providing no servicing infrastructure is installed on the non-residential side of the road.
10. Appropriate seating or shelters shall be provided at bus stops.
11. Footpaths must be provided on at least one side of every street, except on the collector road where a footpath must be provided on both sides, unless it can be located within adjacent open space.
12. Pedestrian and cycle network is to be provided in accordance with Figure 6 Indicative Pedestrian/Cycle Network, and is to:
 - i. provide safe and convenient linkages between residences and open space systems, neighbourhood shops, the community facility and the bus route;
 - ii. respond to the topography and achieve appropriate grades for safe and comfortable use where possible; and
 - iii. comply with the requirements of Campbelltown City Council Engineering Design Guide for Development.
13. Street trees are to be provided in a manner consistent with the Indicative Street Tree Hierarchy at Appendix 1.
14. A 10m wide Landscape Green Link is to be provided in the verge of the local street in the location shown in Figure 7 Indicative Landscape Strategy. The Landscape Green Link is to be planted with endemic native plant species and designed in a manner consistent with Figure 5 Indicative Street Cross Sections.
15. Water Sensitive Urban Design green infrastructure such as raingardens, swales, tree pits, grasscrete within road carriageways and parking areas where it contributes to, and meets the objectives and principles of the Figtree Hill Stormwater Management Strategy and Council's engineering specifications.
16. With the agreement of Council's Urban Release Area team, alternative road pavement finishes, to reduce solar absorption, may be trialed within Figtree Hill.

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FIGTREE HILL MT-GILEAD

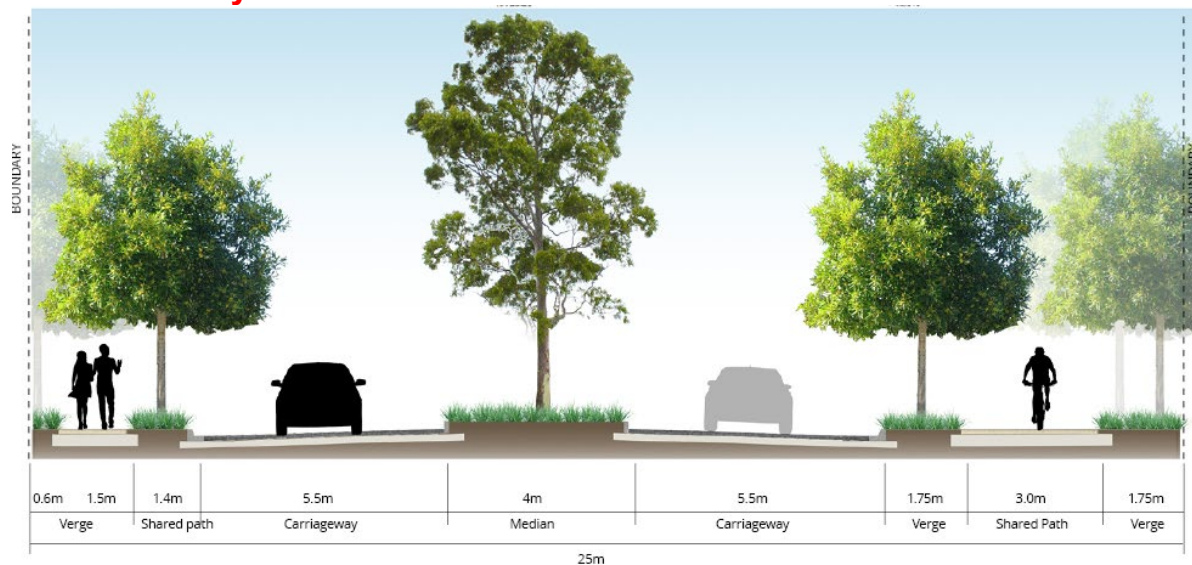
Figure 4: Indicative Street Network and Public Transport



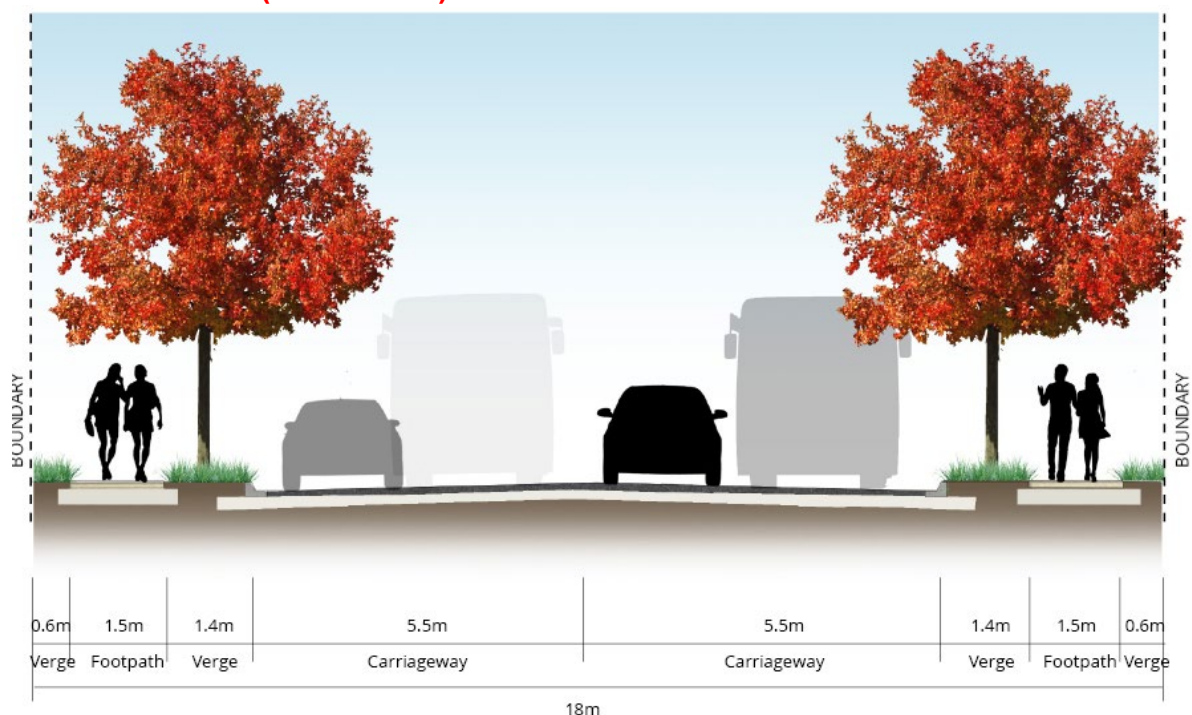
Part 7 FIGTREE HILL MT-GILEAD

Figure 5: Indicative Street Cross Sections

Northern Entry Collector Road



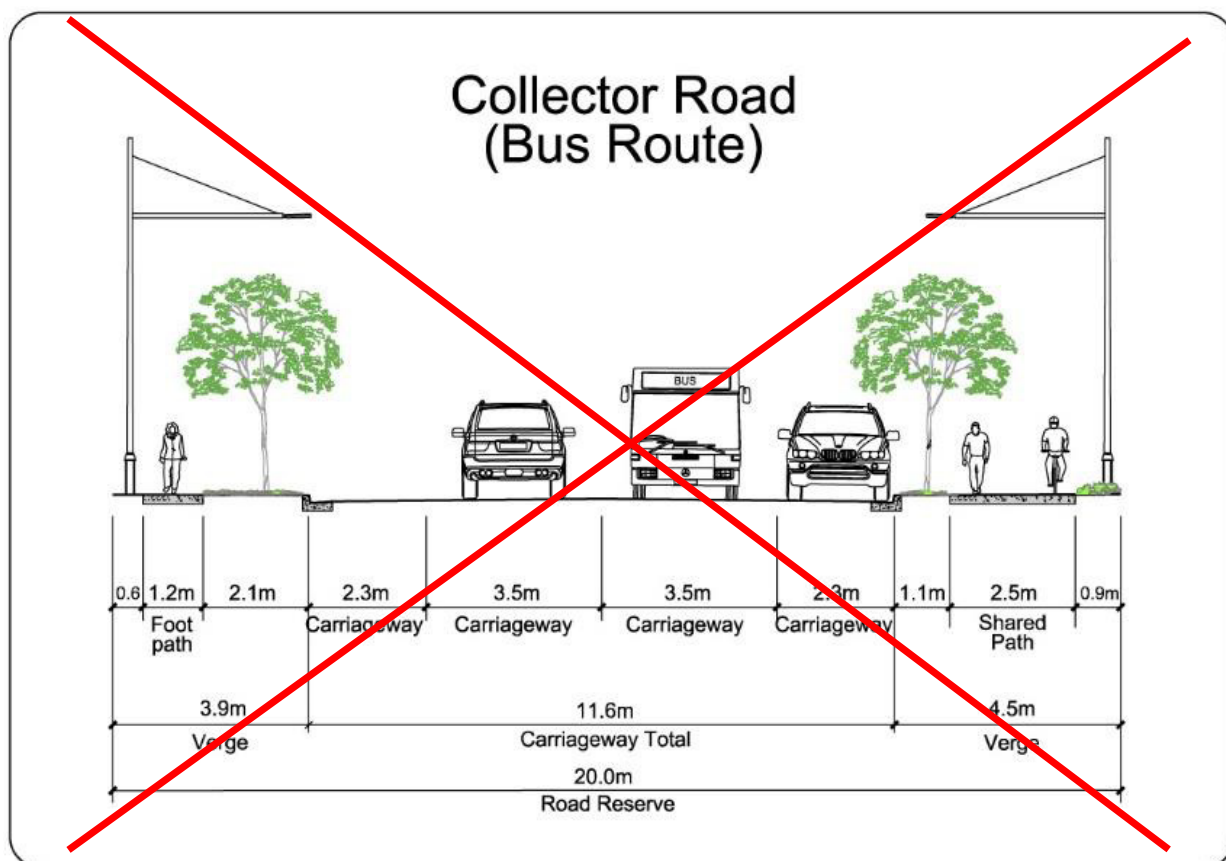
Collector Road (Bus Route)



Note: Carriageway to be locally widened at bus stops to 12.0m to allow for 2.5m bus bay
Where adjoining Managed Land BioBank reserve to widen by 1m to provide 2.5m
sharepath on BioBank side.

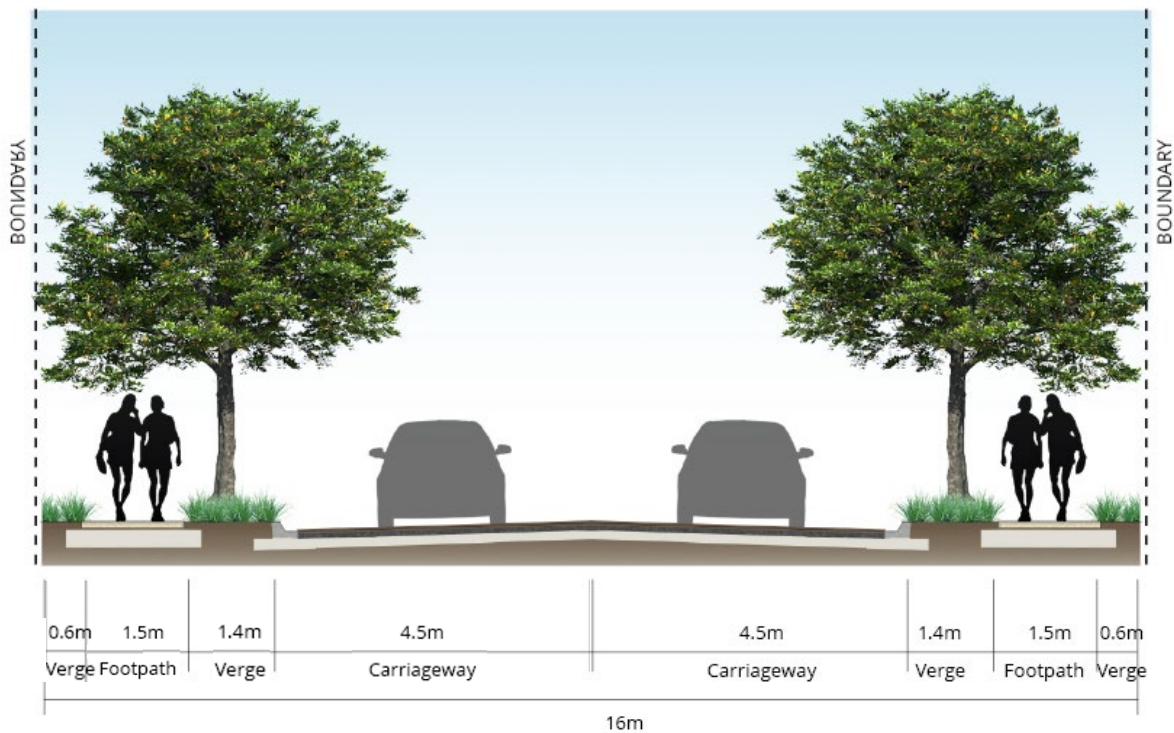
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FIGTREE HILL MT-GILEAD



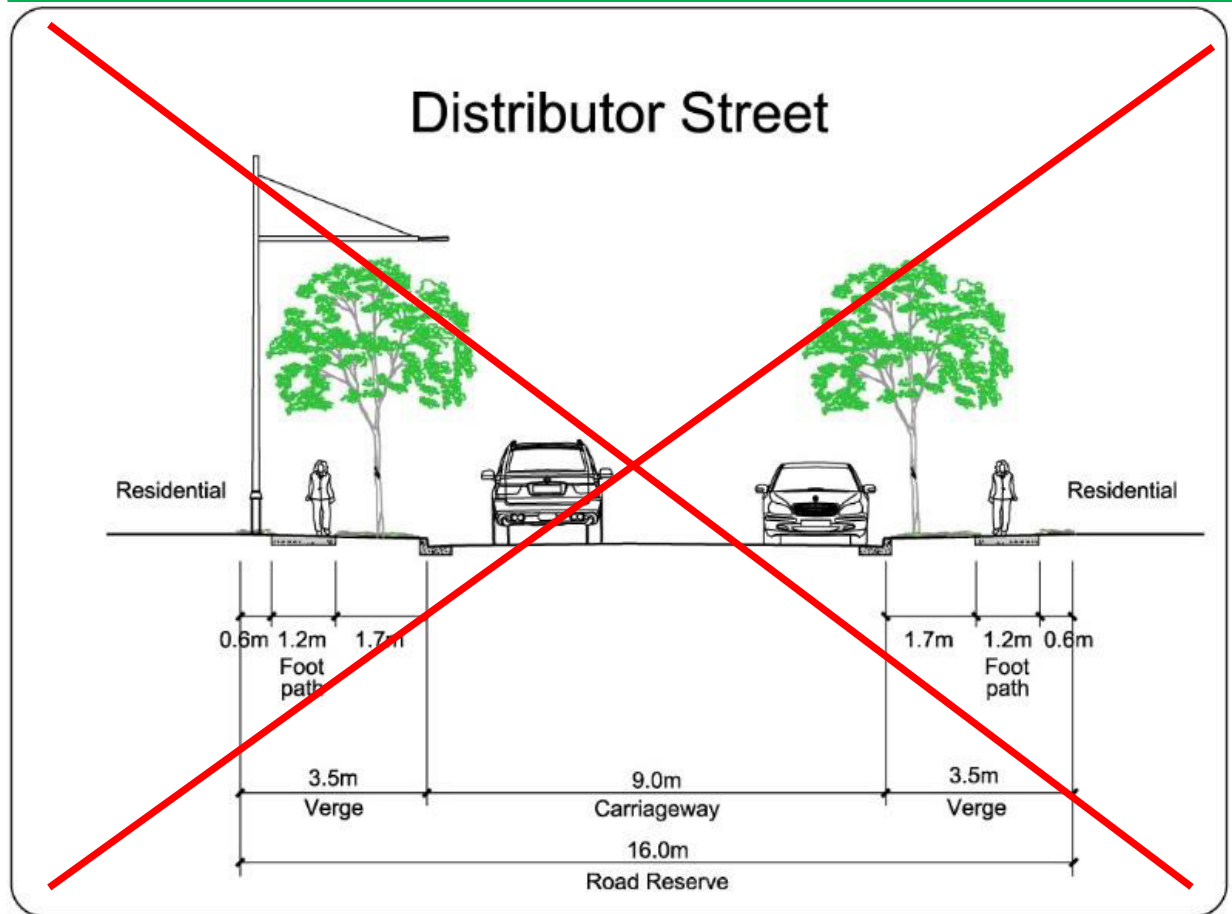
Part 7
FIGTREE HILL MT-GILEAD

Distributor Street

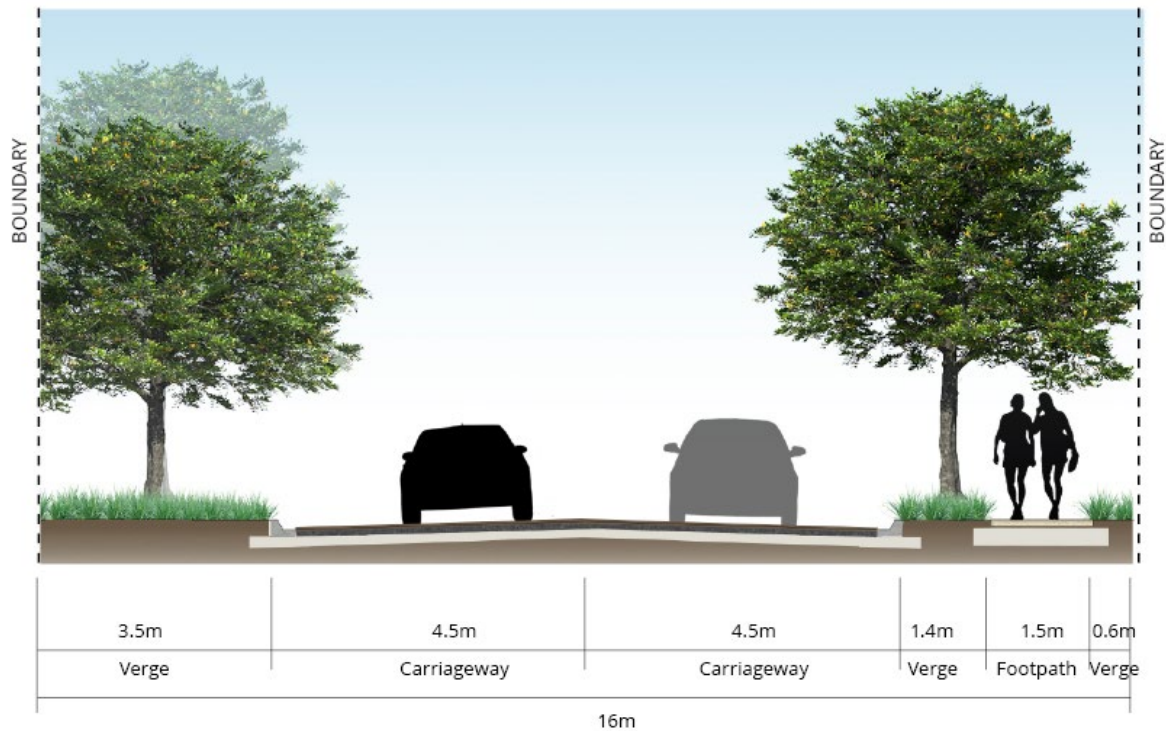


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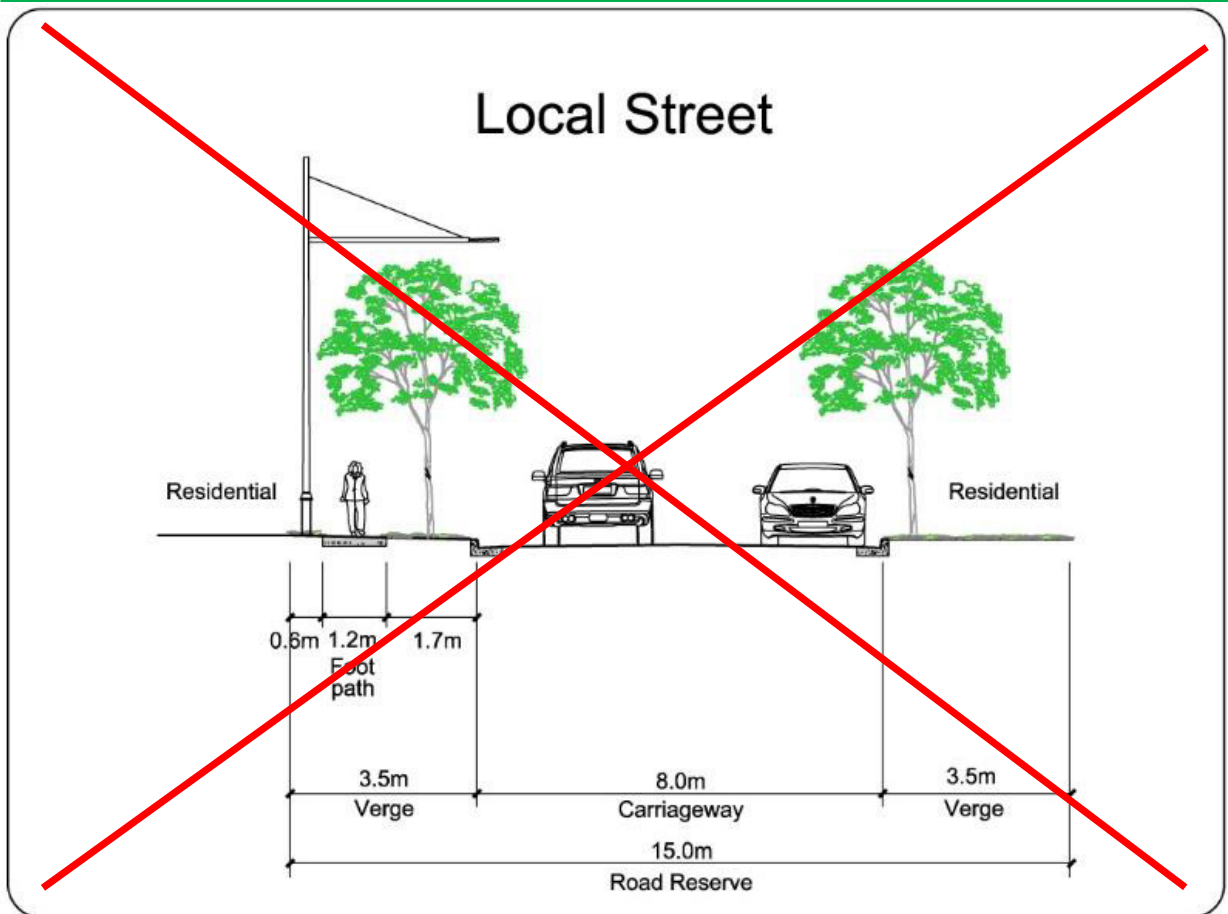
FIGTREE HILL MT-GILEAD



Part 7
FIGTREE HILL MT-GILEAD
Local Road



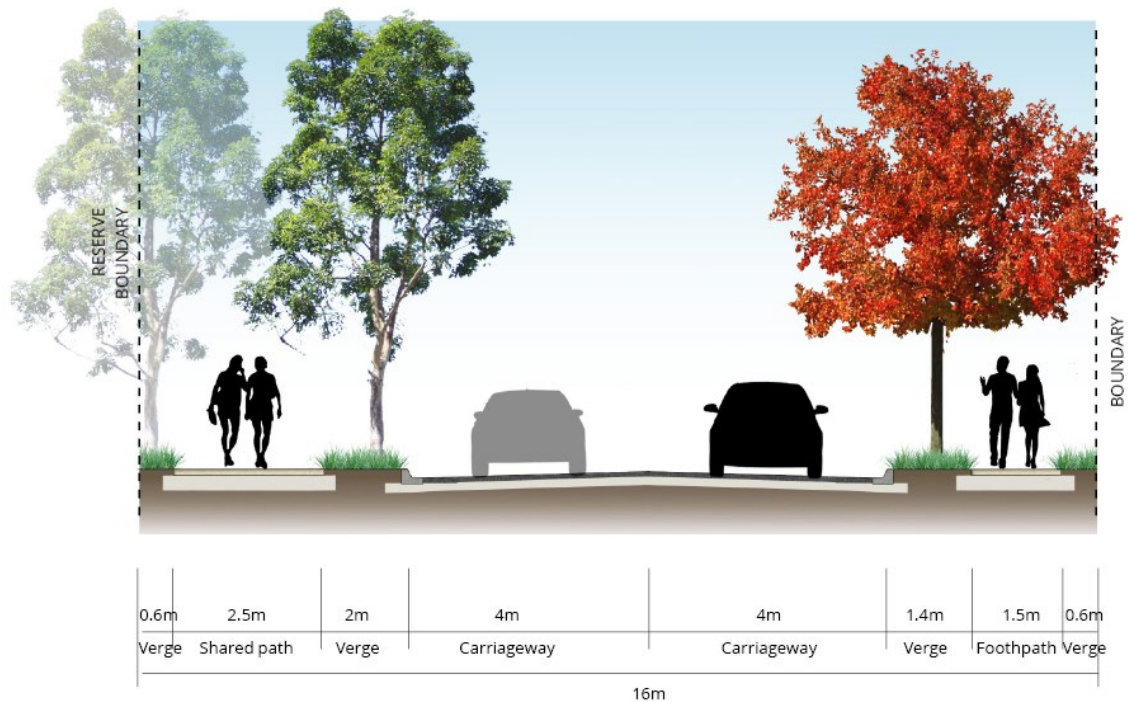
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FIGTREE HILL MT-GILEAD



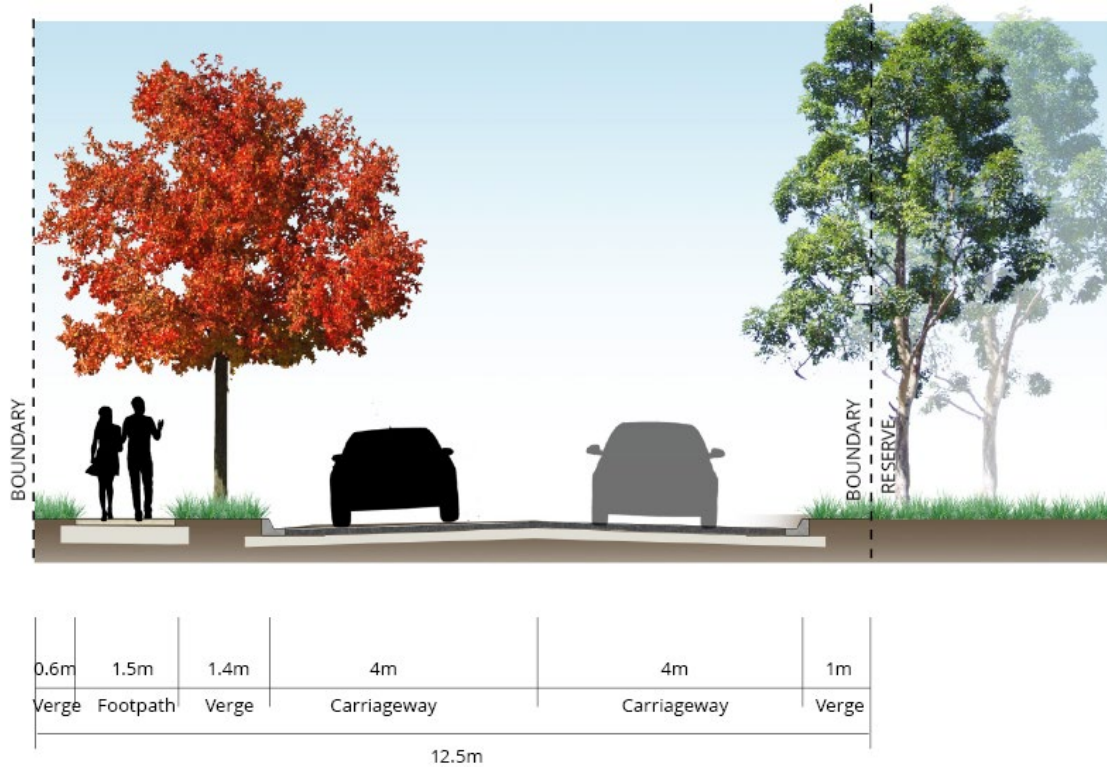
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FIGTREE HILL MT-GILEAD

Local Road adjoining Mt Gilead Noorumba BioBank

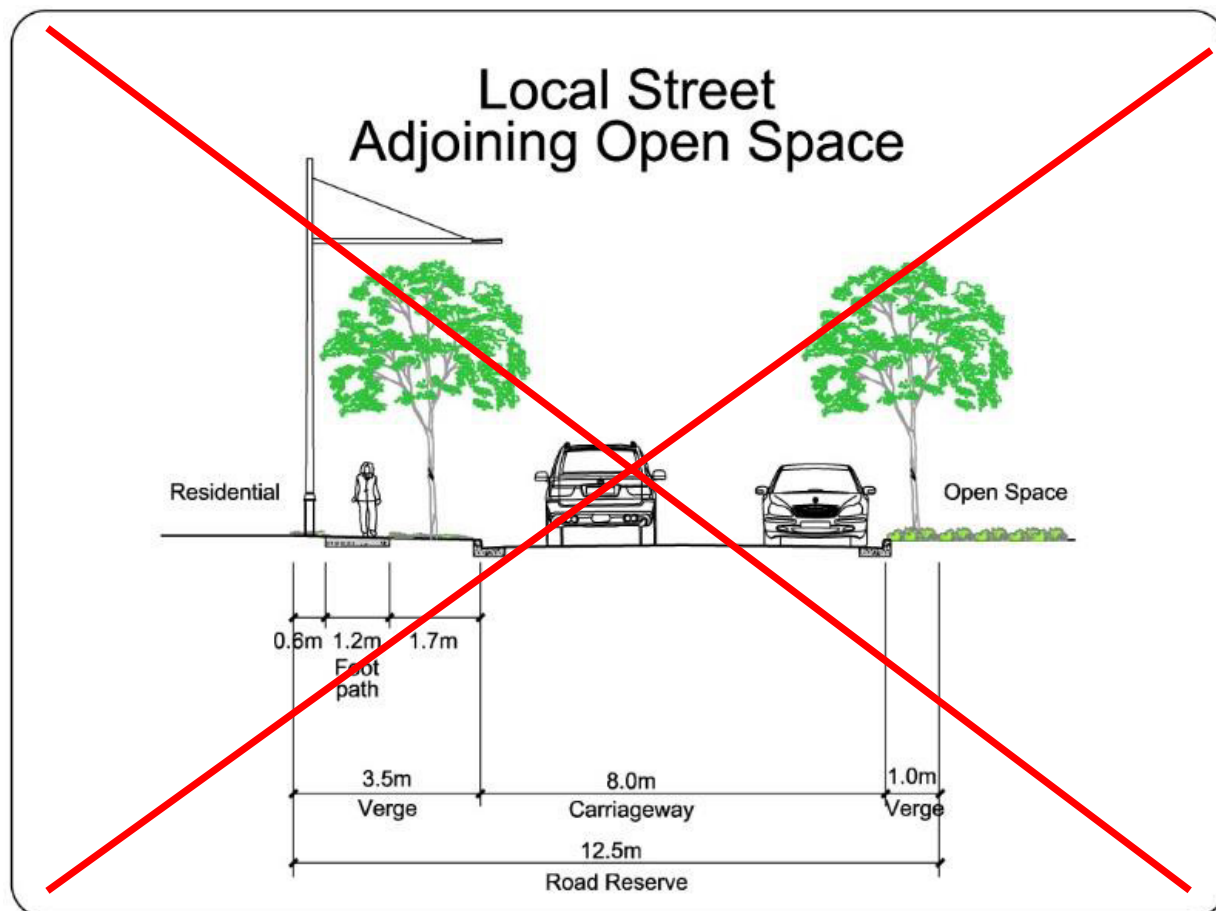


Local Road adjoining Managed Land BioBank and Open Space



Part 7

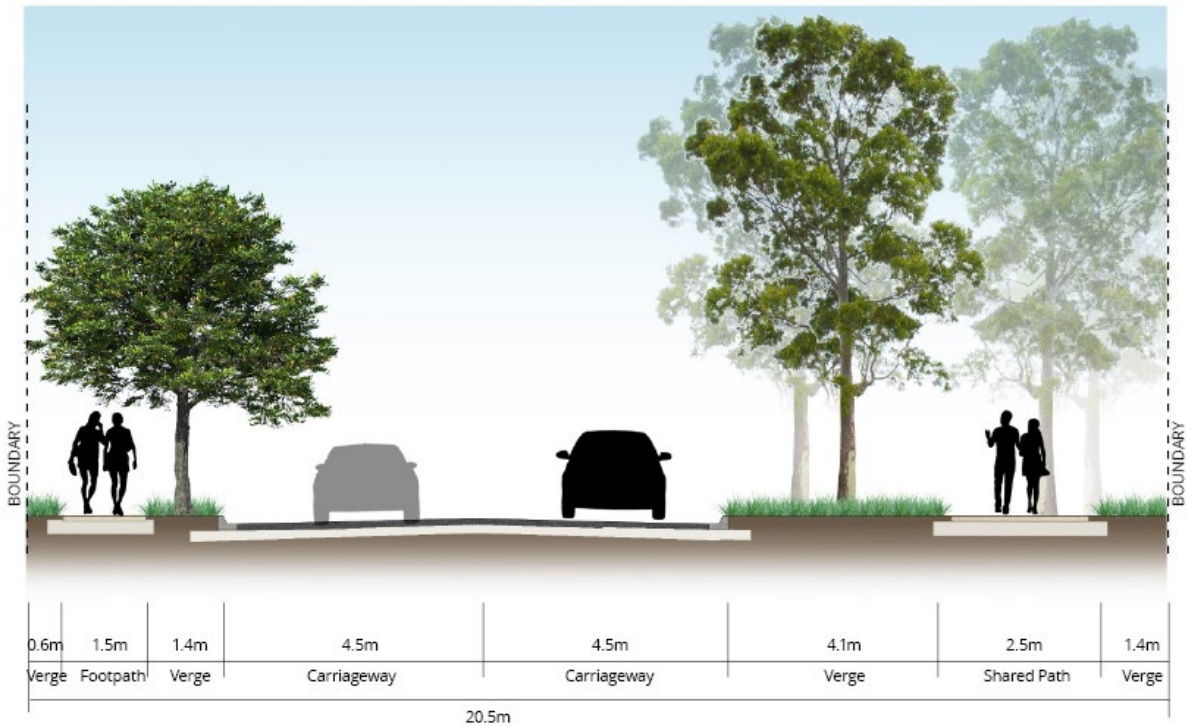
FIGTREE HILL MT-GILEAD



Part 7

FIGTREE HILL MT-GILEAD

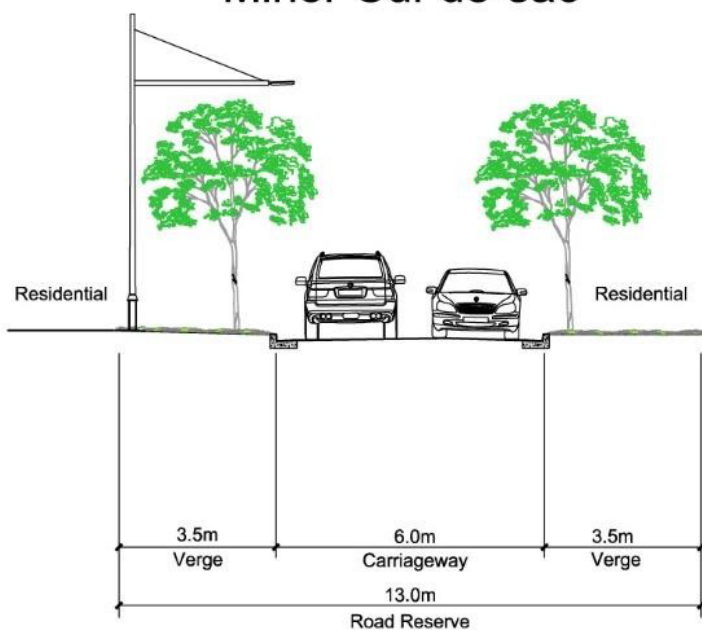
Homestead Interpretive Drive



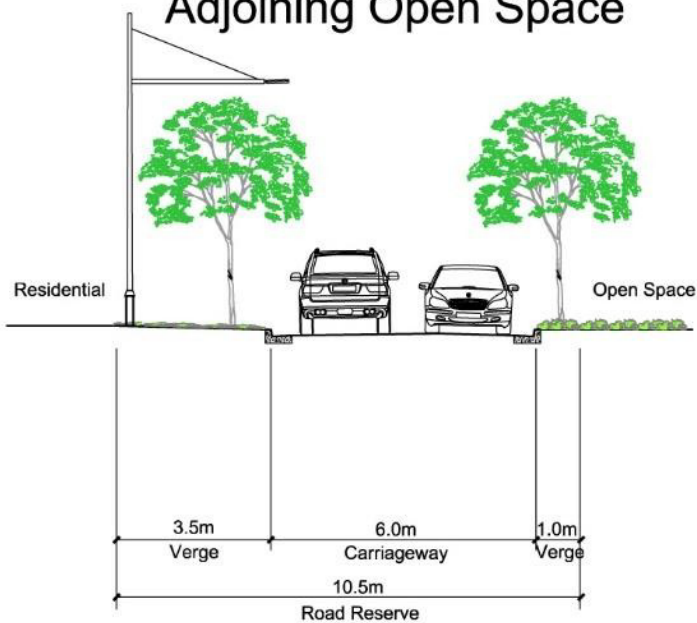
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FIGTREE HILL MT-GILEAD

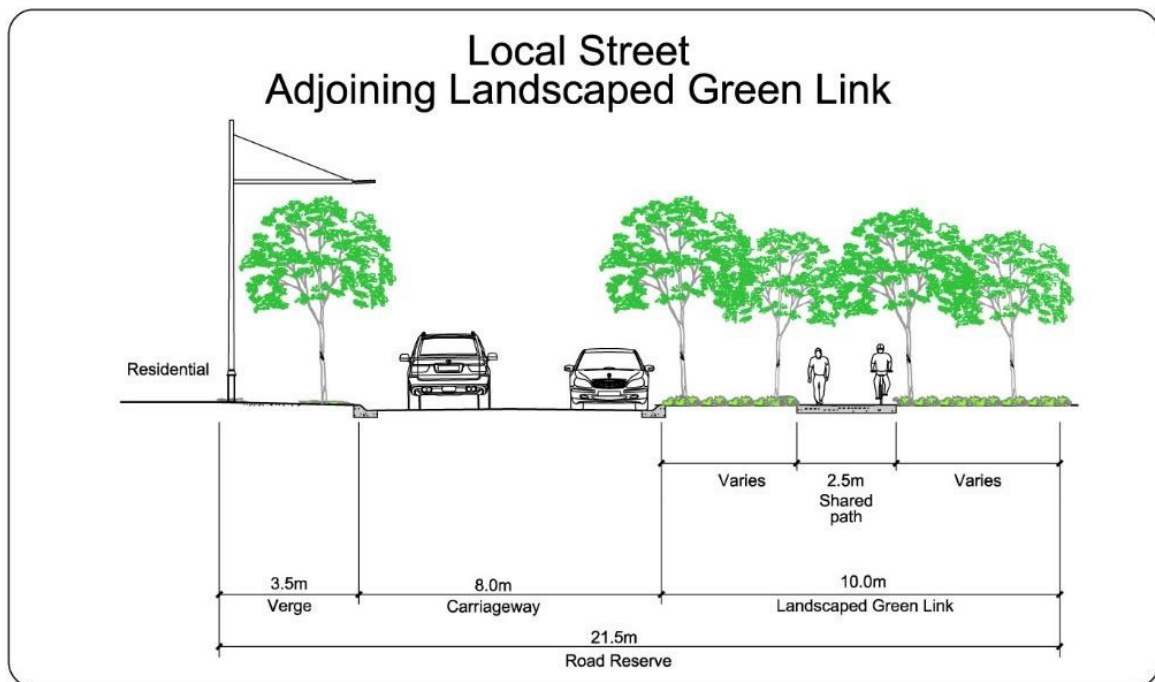
Minor Cul-de-sac



**Minor Cul-de-sac
Adjoining Open Space**



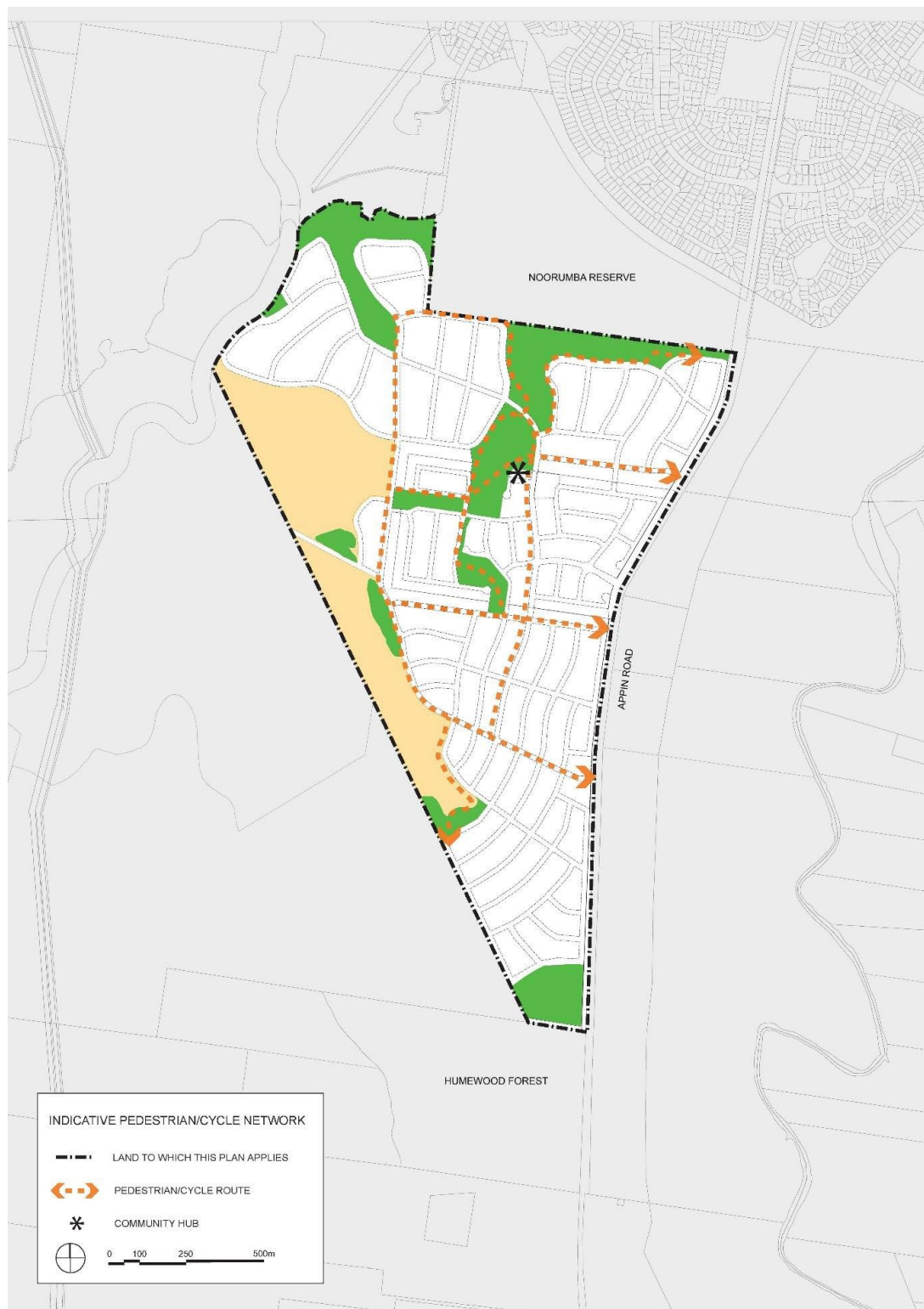
Part 7
Figtree Hill - Addendum



Part 7

Figtree Hill - Addendum

Figure 6: Indicative Pedestrian/Cycle Network



Part 7**Figtree Hill - Addendum****3.3. Public Open Space and Landscaping*****Objectives***

- Provide safe and accessible open space areas for the enjoyment of the local population and promote local character.
- Provide open space which can be used by a range of users, linked with other activities and services.
- Conserve trees and other vegetation of ecological, aesthetic and cultural significance.
- Provide, enhance and protect existing watercourses and riparian corridors and improve habitat features.
- Promote riparian areas for the conservation and enhancement of riparian habitat and connectivity values, and for passive open space uses and activities where such uses will not degrade the riparian corridors.
- Restore and conserve remnant bushland.

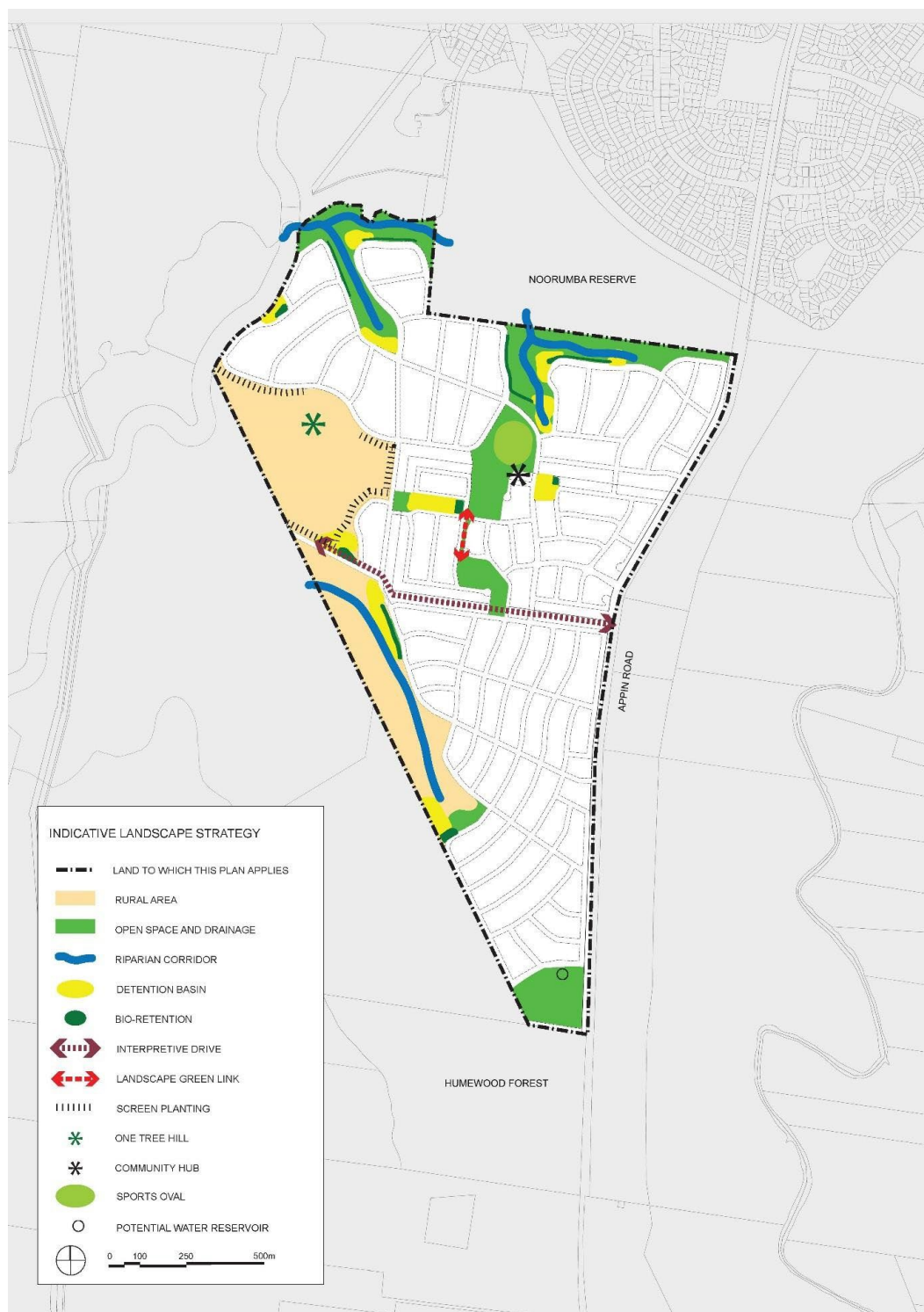
Controls

1. Landscaping and public open spaces are to be generally provided in accordance with Figure 7 Indicative Landscape Strategy.
2. Public Open Space is to be linked using streets, pedestrian paths and cycle ways.
3. Development is to front public open spaces to allow for casual surveillance and enhance safety.
4. Riparian areas are to be protected and enhanced.
5. Bushland to be conserved is to be identified in each development application for subdivision, and the application is to provide details of proposed regeneration and restoration.
6. Significant trees are to be retained where possible. Trees proposed for removal are to be identified in each development application and the impact of their removal is to be assessed appropriately.
7. Screen planting on the slopes of One Tree Hill as shown on Figure 7 Indicative Landscape Strategy should not be planted above the background skyline.

Part 7

Figtree Hill - Addendum

Figure 7: Indicative Landscape Strategy



Part 7

Figtree Hill - Addendum

3.4. Residential Subdivision

Objectives

- Provide a residential subdivision layout that utilises development areas efficiently and responds to the natural attributes of the site.
- Establish a consistent residential character and sense of place.
- Ensure that residential lots are sited to provide a high level of residential amenity in terms of solar access, views, outlook and proximity to open spaces.
- Provide a range of densities, lot sizes and house types to foster a diverse community and interesting streetscapes.
- Provide for a maximum of 65 lots less than 450m² in area (but with a minimum area of 375m²) in appropriate locations where they will not impact on the streetscape character of the wider Mt Gilead development.

Controls

1. Street layouts are to be an appropriate length and width to ensure that pedestrian connectivity, stormwater management and traffic safety objectives are achieved.
2. Subdivision layout is to deliver a legible and permeable street network that responds to the natural site topography, the location of existing significant trees and bushland, and solar access design principles.
3. Residential lots should be rectangular in geometry as far as possible.
4. The minimum lot width ~~at the building line~~ ~~on~~ to any street frontage is 12.5m.
5. The maximum number of lots with a minimum area of 375m² and ~~maximum area below-of~~ 450m² is 65.
6. Lots less than 450m² are to be located within 200m of key amenity attractors such as the bus route, community hub and open space areas.
7. Subdivision layouts must provide a variety of lot frontages and lot sizes within each street. Lots less than 450m² must be dispersed throughout the subdivision and not be located in a manner where they form the dominant streetscape presentation.
8. The repetition of lot widths of 12.5m is to be avoided, with no more than 3 lots of this frontage to be adjacent to one another.
9. ~~The use of zero lot boundaries are only permitted on lots with a width of less than or equal to 12.5m.~~
10. ~~Where zero lot lines are to be utilised, an easement for maintenance and access 0.9m wide is to be registered on the adjoining lot.~~
11. ~~Building Envelope Plans are to be provided for all lots to clearly identify:~~
 - ~~Primary frontage of the lot (if required)~~
 - ~~Location of zero lot lines if lot width is less than or equal to 12.5m~~
 - ~~Setbacks or dwelling footprint~~
 - ~~Dual occupancies are to be identified~~

Part 7

Figtree Hill - Addendum

- Location of driveway
- Location of services and drainage infrastructure
- Other relevant considerations for the lots such as Asset Protection Zones, bushfire construction requirements, acoustic construction standards and landscaping

3.5. Residential Development

3.5.1. Front Setbacks

Objectives

- ~~Provide a variety of front setbacks dependant on lot size.~~
- Create streets with a diverse and interesting character while maintaining consistent street setbacks.
- Encourage articulation of the front facades of dwellings.
- Reduce the dominance of garages on the streetscape.

Controls

1. Front setbacks for all dwelling types are to be consistent with Table 2.

Table 2: Front setbacks

Lot Size Requirement	>450m ² Setback
Front setback	4.5m
Articulation zone	3.5m
Garage line	5.5m and at least 1m minimum behind the façade building line

2. To create an interesting and diverse streetscape, at least two of the following building elements are ~~encouraged~~ required within the front setback articulation zone:
 - i. entry feature or portico;
 - ii. awnings or other features over windows (excluding roller shutters);
 - iii. balcony treatment to any first-floor element
 - iv. recessed or projecting architectural elements;
 - v. open verandahs; and
 - vi. a mix of building materials, finishes and colours.
3. The articulation zone is to occupy no more than 50% of the frontage, excluding any garage.
4. Where permitted, any third garage space is to be setback at least an additional 1m behind the main garage.

3.5.2. Side and rear setbacks

Objectives

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- Protect the amenity of adjacent properties particularly in terms of privacy and overshadowing.
- Use land efficiently.

Controls

1. Minimum side and rear setbacks are to be consistent with Table 3 and Figure 8.
2. Upper storey setbacks are to ensure that neighbouring dwellings receive the minimum required solar access to ~~habitable rooms and~~ private open space.
3. ~~Any continuous wall shall be no more than 10m in length. Walls over 10m long shall have a minimum offset of 300mm for a minimum of 2m. This does not apply~~ Walls constructed to the lot boundary are only permitted on lots with a width of 12.5m or less and where an easement for maintenance has been provided on the adjoining lot.

Table 3: Minimum side and rear setbacks

Lot Size	Lot width \leq of 450 m² 12.5m	Lot width $>$ 450 m ² 12.5m
Side setback – single-storey ground floor	Side A – 0m Side B – 0.9m	0.9m
Side setback – double-storey upper floor	Side A – 1.2m Side B – 0.9m 4.2m	
Side setback - garage	Side A - 0m Side B – 0.9m	0.9m
Rear setback – ground level	4m	
Rear setback – upper level	6m 8m	
Zero Lot line Max Length	11m	

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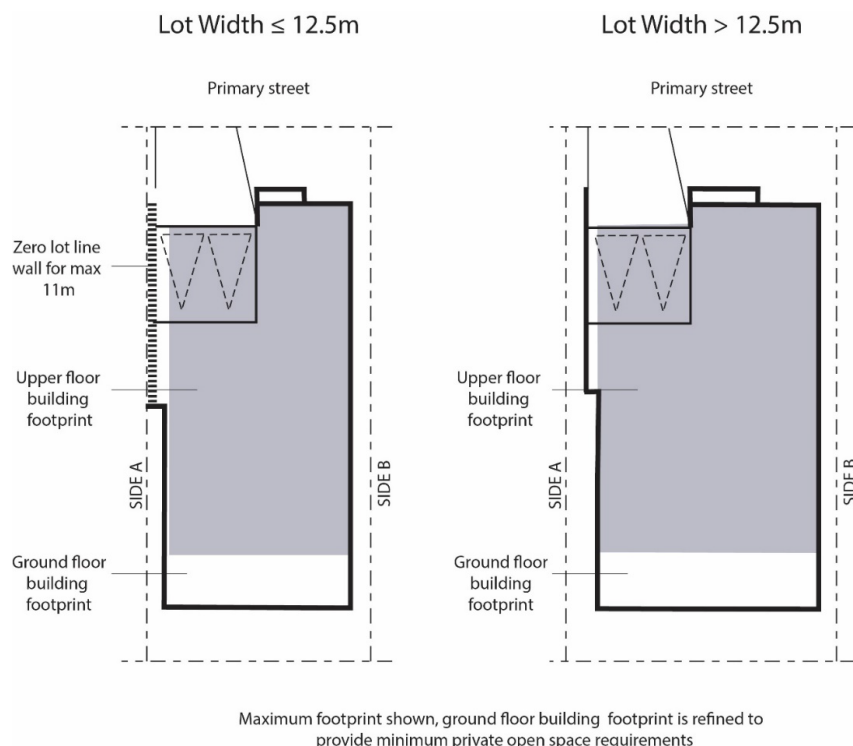


Figure 8:
Side and rear setbacks and building footprint

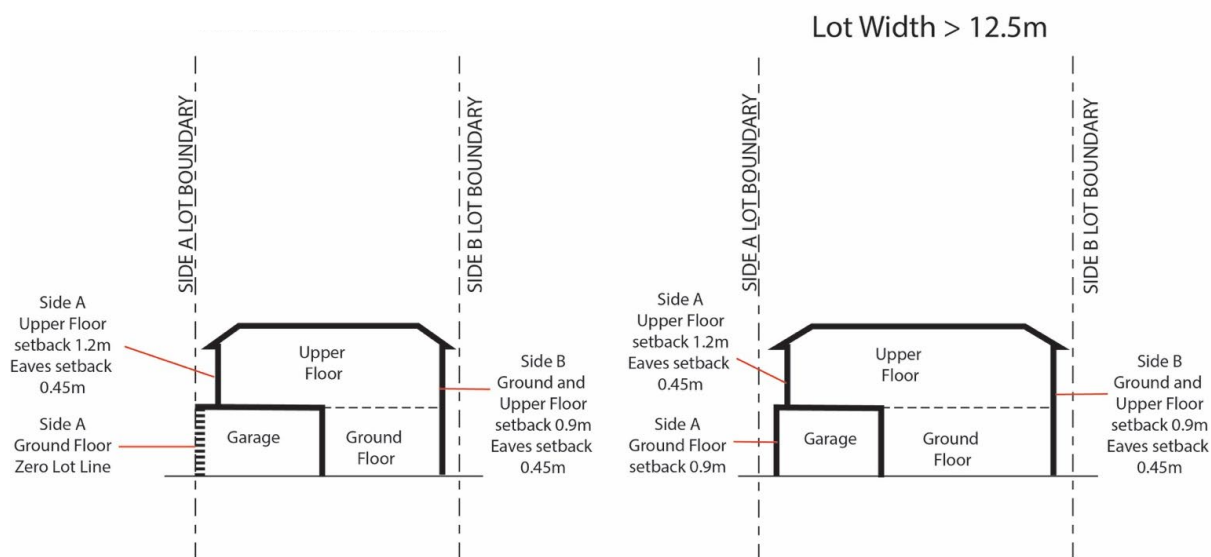


Figure 9:
Elevation of side setback requirements

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3.5.3. Corner lots

Objective

- Ensure that land is efficiently used at block ends.
- Provide a strong visual identification of the street block by articulating both frontages.
- Locate garages on secondary street frontages.

Controls

1. The minimum lot size on a corner lot is 450m².
2. To provide an attractive streetscape, dwellings on corner lots are to provide appropriate articulation to the facade on both street frontages. Minimum secondary setbacks are to be consistent with Table 4 and Figures 10 and 11.
- ~~3. Small windows to bathrooms, en suites or the laundry are not to be visible from the secondary street frontage.~~
4. Where feasible, garages should be located on the secondary street frontage of corner lots.
- ~~5. To prevent carparking over the public road verge, garages located on secondary street frontages are to be setback either 2m or a minimum of 5.5m and integrated into the dwelling design consistent with Table 4 and Figure 12 and 13. Garages setback from secondary street frontage that are greater than 2m but less than 5.5m will not be accepted.~~
- ~~6. Dwellings shall be set back at least 3m from the secondary street boundary. However, garages on secondary streets are to be set back at least 5.5m from the boundary.~~ Dwellings and landscaping shall be designed to minimize the amount of privacy/security fencing that faces roads.
- ~~7. Garages located on secondary street frontages are to be setback a minimum of 0.9m from the rear boundary of the lot.~~

Table 4: Minimum secondary street setbacks

Requirement	Setback
Where façade elements provide articulation	
Secondary setback to building line	3m
Secondary setback to articulation	2m
Minimum length of articulation from front building line	4m
Where built corner provides articulation	
Secondary setback to building line for first 4m from front building line	2m
Secondary setback to building line for remainder of facade	3m
Garages	
Secondary setback to garages	At 2m, or minimum of 5.5m

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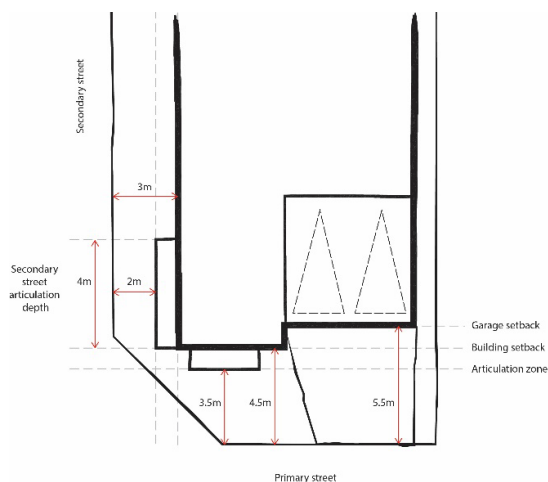


Figure 10:
Articulation to secondary setback with
façade elements

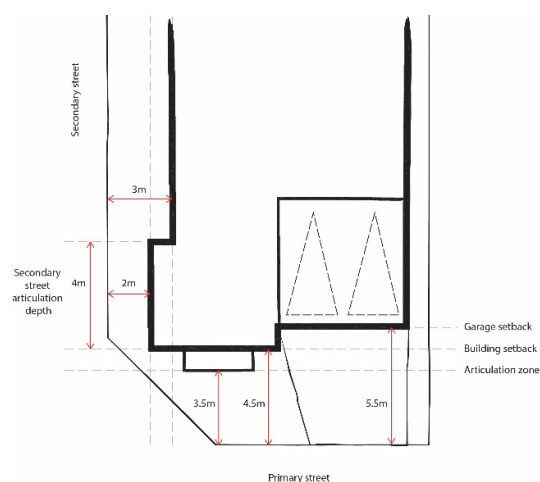


Figure 11: Articulation to secondary
setback with built corner

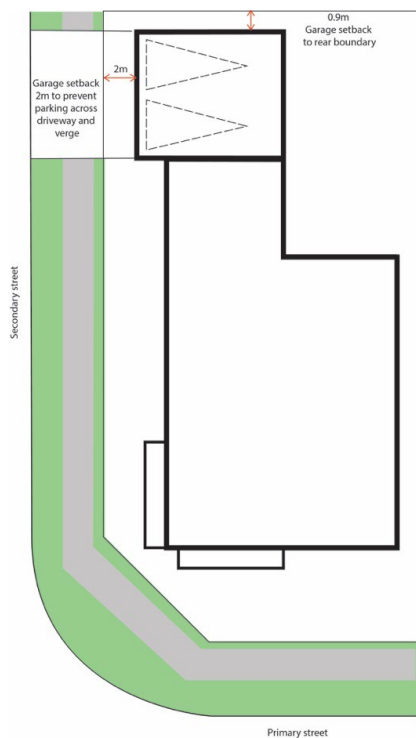


Figure 12: 2m setback to garage on
secondary street frontage

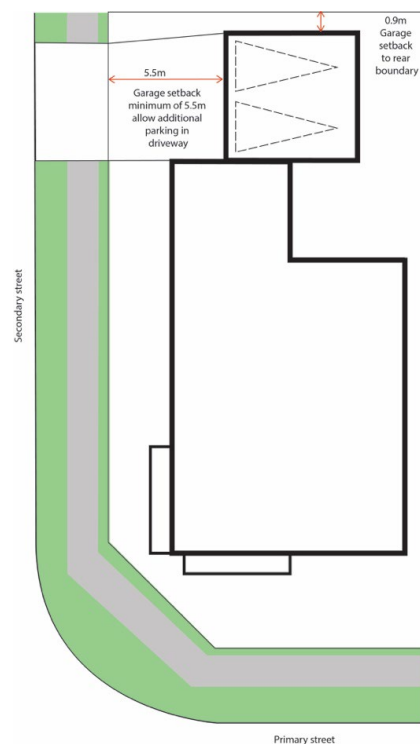


Figure 13:
Minimum 5.5m setback to garage on
secondary street frontage

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3.5.4. Building design and materials

Objective

- To provide well designed homes that contribute to an attractive and complementary streetscape.
- To reduce the amount of incoming solar radiation and heat absorption.
- To minimize the extent of urban heat island impacts from new development.
- To ensure building materials contribute to an attractive and complementary streetscape that reflects the natural environment.

Controls

1. With the exception of zero lot line walls, eaves are to be provided to all facades of the dwelling with a minimum width of 450mm excluding fascia and gutters.
2. Alternative solutions to eaves may be considered on merit provided appropriate sub shading is provided to windows and of contemporary architectural design.
3. Front facades are to feature at least one habitable room with a window facing onto the street.
4. Small windows to bathrooms, en-suites or the laundry are not to be visible from the ground floor to the primary street frontage.
5. Building material colours are to be of neutral and lighter colours. Front doors are exempt from this requirement.
6. Building facades visible from the street are to incorporate three different building materials.
7. Black and dark coloured roofs are not permitted. Metal roofs are to have a Solar Absorption ratio equal to or below 0.65 and tile roofs are to have a Solar Absorption ratio equal to or below 0.80 as classified by the National Construction Code. This selection is also to be reflected in the BASIX Report submitted with the DA.
8. Garage doors are to have a Solar Absorption ratio below 0.65 as classified by the National Construction Code.
9. Balconies are only permitted on facades where they are facing streets or open space. Upper floor balconies facing rear or side boundaries will be considered on their merits provided:
 - i. appropriate privacy and amenity impacts to adjoining properties are addressed
 - ii. they are setback at least further than 6m from the rear boundary.

3.5.5. Garages, driveways and parking

Objective

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- To ensure driveways and garages are delivered in a coordinated manner.
- To ensure dwellings include appropriate carparking for residents.
- To ensure garages and parking areas do not detract from the streetscape.
- To provide safe convenient access for vehicles, pedestrians and cyclists whilst minimizing conflict between them.
- To reduce the effect of heat absorption and provide cooler streets by encouraging lighter material finishes.

Controls

1. These controls are in addition to the provisions in section 3.4.2 of the DCP. Where there is an inconsistency, the controls in this section prevail.
2. Each dwelling is to be provided with a minimum of 2 carparking spaces, 1 of which must be garaged behind the building line.
3. Garage door openings cannot exceed 6m in width.
4. Triple garages are only permitted where lots have an area of 700m² or more and a lot width at the building line of at least 18.5m ~~not permissible on lots smaller than 1,500m².~~
5. Triple garages are not to be orientated to the secondary frontage or corner lots.
6. Carports are not permitted.
7. The maximum crossover width across the verge is 3m for a single garage and 4.5m for double and triple garages.
8. Driveways are to be constructed with pavers, coloured concrete or stenciled concrete. Lighter driveway colours and materials are required to reduce heat absorption
9. The section of driveway located between the property boundary and the street kerb (verge) must be constructed from plain concrete.
10. Landscaping at a minimum of 500mm is to be provided between the driveway and boundary line

3.5.6. Private Open Space

Objective

- Contribute to effective stormwater management, management of micro-climate impacts and energy efficiency.
- Ensure a balance between built and landscaped elements in residential areas.
- Provide high quality private open space within properties for relaxation and entertainment.
- Provide useable private open space relative to the size of the property.

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- Provide private open space with high levels of amenity including privacy and direct sun access.
- Ensure that dwellings are designed to minimise overshadowing of adjacent properties including private open space.

Controls

~~1. Private Open Space is to be provided at the following minimum rates:~~

- ~~i. Lots equal to or less than 450m²: 15% minimum of the site area; and~~
- ~~ii. Lots above 450m²: 20% minimum of the site area.~~

1. An area of Principal Private Open Space (PPOS) is to be provided that is directly accessible from the main living area of a dwelling. It is to have a maximum gradient of 1:10 and be provided at the following minimum rates:

- i. Lots equal to or less than 450 m²: 20m² with minimum dimension of 3m; and
- ii. Lots above 450m²: 25m² with minimum dimension of 5m.

Note: "Principal Private Open Space" means the portion of private open space which is conveniently accessible from a living zone of the dwelling.

2. For lots equal to or less than 450m², at least 2 hours of direct sunlight is to be received to 50% of the PPOS area of the proposed dwelling between 9am and 3pm on 21 June.
3. For lots above 450m², at least 3 hours of direct sunlight is to be received to 50% of the PPOS area of the proposed dwelling between 9am and 3pm on 21 June.
4. Direct sunlight to the PPOS of neighbouring dwellings is to be maintained in accordance with the above minimum requirements.

3.5.7. Landscaping

Objective

- To ensure landscaping contributes to an attractive streetscape.
- To ensure landscaping on individual lots contribute to increasing canopy cover through the release area.
- To minimise the extent of urban heat island impacts from new development.

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Controls

1. Minimum landscaped areas are to be provided for lots as outlined in Table 5:

Lot area	Minimum landscaped area
Lots $\leq 450\text{m}^2$	15% of lot area
$>450\text{m}^2 - 600\text{m}^2$	20%
$>600\text{m}^2 - 900\text{m}^2$	30%
$>900\text{m}^2$	40%

2. At least 50% of the landscaped area required by Table 5 is to be provided behind the building line.
3. The front yard of all allotments must provide a minimum area of soft landscaping consistent with Table 6.
Note: *Soft landscaping means a part of a site used for growing plants, grasses and trees, but does not include any building, structure, hard paved area, rock aggregate or pebbles.*

Table 6: Soft landscaping required to front yards

Lot width	Minimum % of front yard to be landscaped
12.5m – 18m	25%
$>18\text{m}$	50%

4. A minimum of two trees must be provided to be provided to the front garden and additional two trees in the rear of all lots. Tree species are to be a minimum pot size of 30L when planted and capable of growing between 4m to 6m in height at maturity.
5. Landscaping should maximise the use of locally indigenous and other drought tolerant native plants where possible.
6. Artificial turf is not permitted.

3.5.8. Retaining walls

Objective

- Ensure retaining walls have a positive impact on the streetscape.
- Ensure amenity between lots and dwellings is maintained.
- Ensure safe car and pedestrian access to and from the block and along the street.

Controls

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***Note:** These controls apply to retaining walls not constructed as part of the initial subdivision works carried out for each lot.*

1. All retaining walls (i.e. structural or landscaped) need to be identified in the DA plans.
2. No filling shall be permitted within 2m of any property boundary unless sufficient details are submitted to Council illustrating how privacy, overshadowing, stormwater management and access issues have been addressed to Council's satisfaction.
3. Any retaining wall shall not adversely alter surface flows to adjoining private land.
4. Any retaining walls and associated structures shall be designed to be located wholly within the property boundary, except where written or legal agreements have been reached between relevant parties to Council's satisfaction.
5. Any retaining wall requiring work on neighbouring properties shall require the consent of the adjoining owner/s.
6. Any retaining wall exceeding 600mm shall be designed by a suitably qualified person. Retaining walls higher than 900mm shall be designed by a structural engineer and made from appropriate material.
7. Retaining walls visible from the street or public open space frontages cannot exceed 500mm in height.
8. A 500mm wide planted strip must be provided between any terraced retaining walls.
9. Retaining walls are to be constructed from natural stone, coloured concrete sleepers and rendered or feature block walls or brick if consistent with the dwelling materials.
10. Treated pine sleepers are not permitted.

3.5.9. Fencing

Objective

- Ensure boundary fencing is of a high quality and does not detract from the streetscape.
- Ensure boundary koala proof fencing is provided in accordance with the commitments in the Biodiversity Certification Agreement that applies to the land.

Controls

1. All fencing is to be constructed flush to finished ground level to prevent koala access to private lots.
2. All boundary fencing is to be of Lysaght 'Smartascreen' or similar in Colorbond 'Woodland Grey' colour or similar to meet the requirements of the Biodiversity

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Certification Agreement to prevent koala from entering private lots. Refer to Figure 14.

3. Boundary fencing not visible from the street is required to be a maximum of 1.8m high and must finish 6.5m from the front boundary and return to the side wall of the home.
4. ~~A front~~ Any fence forward of the building line to the primary street frontage or side boundaries is to be a maximum of 1.2m high and with a predominantly open character. ~~The design of the fence is also to integrate a letterbox.~~
5. On corner lots, fencing to the secondary street frontage is to be a maximum of 1.8m in height, inclusive of retaining walls and consistent with Figure 15. Square hollow steel section posts are to be of 100mm x 100mm with 20mm to 30mm horizontal slats with spacing of between 5mm to 10mm. All posts and rails are to be installed internally to face the lot not the street. Fencing slats are to be of durable material and to be finished in Colorbond 'Woodland Grey' or similar.
6. Corner lot fencing 1.8m in height must not be located closer than 8.5m from the Primary Street boundary ~~must may extend to a maximum of 4m behind the front façade~~ consistent with Figures 16, 17 and 18.
7. On corner lots, ~~where a the~~ front fence is proposed it is to continue around the corner to the secondary street for a minimum ~~of 30% of the lot length on this frontage~~ depth of 8.5m from the primary street boundary consistent with Figures 16, 17 and 18.
8. A 1.8m side fence on a secondary street is to be:
 - ~~i. a maximum of 50% of the lot length;~~
 - i. include a gradual transition to the front fence that has continued along the secondary frontage; and
 - ii. of a similar look and character as the front fence.
 - iii. Plantings

Note: The provision of a front fence is not mandatory.



Figure 14:
Example side and rear boundary fencing



Figure 15:
Example secondary street frontage

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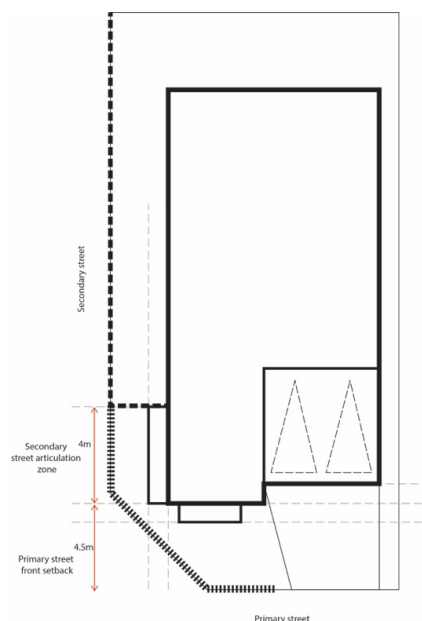


Figure 16:
Secondary street fencing with garage
access from Primary Street

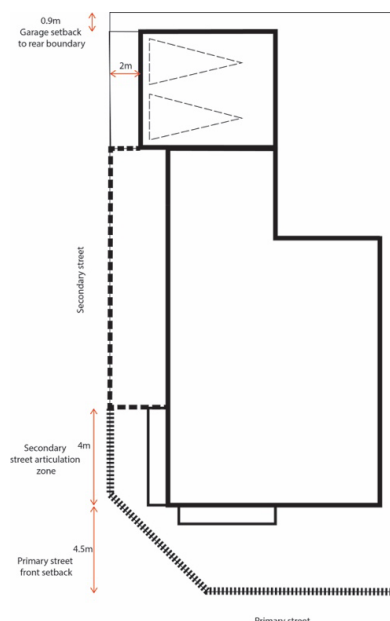


Figure 17:
Secondary street fencing with garage
access from secondary street

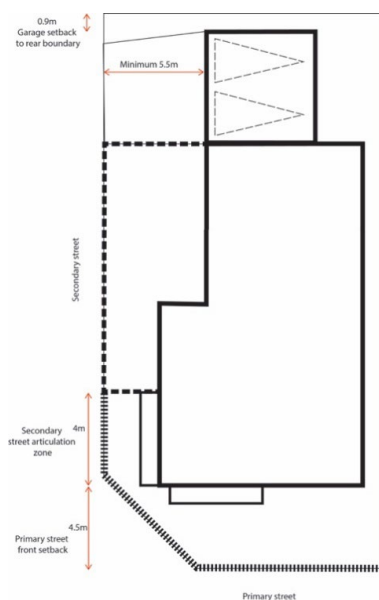


Figure 18:
Secondary street fencing with garage
access from secondary street frontage

- ■ ■ ■ ■ Secondary street frontage fencing maximum 1.8m high to start after secondary street frontage articulation zone (i.e. 8.5m into block from primary frontage)
- ||||| Front fencing (if provided) 1.2m high to return around street corner to minimum depth of articulation zone on secondary street frontage

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3.5.9. Land Adjacent to Appin Road

Objective

- Ensure reasonable standards of residential amenity and a high quality residential environment in the vicinity of Appin Road.
- Ensure residential dwellings are not adversely impacted by traffic noise.

Controls

1. In addition to the provisions of clause 3.5 of Volume 1 development is to comply with *Development Near Rail Corridors and Busy roads – Interim Guideline (Department of Planning 2008)*.
2. Where required, an acoustic fencing is to be located along the frontage to Appin Road to ensure residential amenity criteria are satisfied.
3. Any required acoustic fencing is to be constructed as part of the initial subdivision of land that interfaces with Appin Road. Appropriate detail is to be provided to confirm the proposed materials and consistent interface with the upgrade of Appin Road.
4. Where acoustic fencing is proposed, appropriate are to be provided to confirm whether there are any limitations on ancillary development that can be undertaken in proximity to the fencing. If there are any limitations, these are to be registered on the title of the burdened lots.
5. Unless there is prior agreement with Transport for NSW, any acoustic fencing is to be located on the boundary of private lots and the Appin Road reserve and is to be maintained by the individual lot owner.

3.5.10. Additional controls for double frontage lots

Objective

- To ensure nominated double fronted lots are of high quality design and positively address both frontages.
- To provide well designed homes that contribute to an attractive and complementary streetscape.
- To preserve the function, use and aesthetic of the estate's main entry roads.

Controls

1. The primary and secondary frontages are to be nominated on Building Envelope Plans to ensure a coordinated streetscape outcome is achieved.
2. Garages are to be located on the primary frontage and setback a minimum of 5.5m from the street.
3. The secondary frontage is to be detailed with the same architectural features as the primary elevation.

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4. A minimum setback of 3m is to be provided to the secondary frontage, including articulation.
5. Articulation to the secondary frontage to a public road and must not exceed 60% of the lot frontage.
6. The secondary frontage must include an alternate dwelling entry.
7. Private Open Space is to be located to the side of the dwelling to ensure privacy from the secondary frontage consistent with Figure 19.
8. Vehicular access to the northern and southern entry collector roads is prohibited.

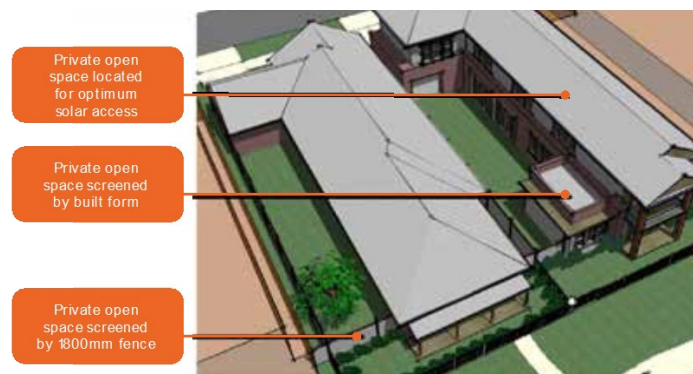


Figure 19:
Private Open Space location on double frontage lots

3.5.11. Additional controls for dual occupancies, semi-detached dwellings and attached dwellings

Objective

- To ensure other dwelling types are of high quality design and positively address street frontages.

Controls

Note: These controls are in addition to the provisions in section 3.6.3, 3.6.4 and 3.6.5 of the DCP. Where there is an inconsistency, the controls in this section prevail.

Unless otherwise specified, these forms of development are to be consistent with the controls for dwelling houses in Section 3.5 of this part of the DCP.

1. The setbacks outlined in Tables 2, 3 and 4 apply to dual occupancy semi-detached dwellings and attached dwelling forms of development. The side setbacks do not apply to attached dwellings delivered between two other attached dwellings.
2. Private Open Space is to be provided at the rates specified for lots less than 500m² as specified in control 3.5.6(1)(i) and 3.5.6(2)(i) and 3.5.6(4).

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3. Each dwelling is to provide a minimum of one tree in the front garden and one tree in the rear of each dwelling. Tree species are to be a minimum height of 1m when planted and capable of growing between 4m to 6m in height at maturity.
4. These controls override the need to consider the *Low Rise Medium Density Design Guide for development applications* for side by side dual occupancies.

APPENDIX 1 INDICATIVE STREET TREE HIERARCHY



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Delete tree species and replace with revises species list approved by Council's Landscape Team.

Type 1 - Heritage Drive / Heritage Marker


Araucaria cunninghamii (to heritage gateway)


Jacaranda mimosifolia

Type 2 - Collector/Distributor Roads


Pyrus capital


Pyrus calleryana


Magnolia soulangeana

Type 3 - Appin Rd


Eucalyptus teretecornis


Corymbia maculata


Eucalyptus crebra

Type 4 - Typical Local St


Elaeocarpus reticulatus


Melaleuca decora


Tristaniopsis laurina

Type 5 - Typical Local St bordering open space


Melaleuca decora


Tristaniopsis laurina


Melaleuca linearifolia

context

52-58 William Street East Sydney NSW 2011
PO Box A866 Sydney South NSW 1235
T. 8244 8900 F. 8244 8988 E. context@context.net.au

Project Ref: 12584 | Dwg No: ST2
Date: 10 September 2014
Client: Mt Gilead

Suggested Street Trees
Mt Gilead

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Proposed Tree Species

Local Roads:

Cupaniopsis anacardioides



Lagerstroemia indica



Pistacia chinensis



Brachychiton populneus



Tristaniopsis laurina 'Luscious'



Waterhousea floribunda



Angophora floribunda



Araucaria cunninghamiana



Access Streets:

Angophora floribunda



Cupaniopsis anacardioides



Tristaniopsis laurina 'Luscious'



Pistacia chinensis



8.3 Outcome of Public Exhibition and Public Hearing - Reclassification of Land at Campbelltown Sportsground Planning Proposal

Reporting Officer

Executive Manager Urban Centres
City Development

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.5 - Host and promote major sporting events, showcasing our city's sporting facilities and encouraging community participation in sport and recreation

Officer's Recommendation

1. That Council forward the Planning Proposal to reclassify land at Campbelltown Sportsground at attachment 1 to this report to the Minister for Planning and Public Spaces and request that the Planning Proposal be made.
2. That all those who made a formal submission on this Planning Proposal, be notified of Council's decision.

Executive Summary

- At its meeting on 12 October 2021 Council resolved to forward the subject Planning Proposal (PP) and attachments to the Department of Planning and Environment (DPE) for a Gateway Determination. The PP sought to reclassify part of the subject site from community land to operational land, by way of amending the Campbelltown Local Environmental Plan 2015 (LEP).
- DPE issued a Gateway Determination on 1 November 2021. The Gateway Determination required public exhibition for 28 days and for a public hearing be held by March 2022. The Gateway Determination included a 12 month timeframe to complete the LEP amendment.
- The PP and associated documents were publically exhibited from 11 November 2021 to 9 December 2021. No submissions were received during the public exhibition.
- A public hearing was held on 17 February 2022, which was chaired by an independent chairperson in accordance with the *Local Government Act 1993* (LG Act). One submission was made at the public hearing.
- Following the public hearing the independent chairperson provided a report which is at attachment 2 which includes a discussion on the submission made at the public hearing.

- It is recommended that Council forward the subject Planning Proposal to the DPE and request that the amendment to its LEP be made.

Purpose

The purpose of this report is:

- To advise Council of the outcome of the public exhibition and public hearing of the subject PP in accordance with the Council resolution of 12 October 2021.
- To seek Council's endorsement of the proposed next steps in regards to the proposed land reclassification through an amendment to the LEP.

Property Description: 12 Old Leumeah Road, Leumeah (Lot 2 DP 1019063)

Applicant: Campbelltown City Council

Owner: Campbelltown City Council

History

This report relates to 12 Old Leumeah Road, Leumeah (Lot 2 DP 1019063) which contains Campbelltown Sports Stadium, Campbelltown athletics centre and related car park. Campbelltown Stadium is one of NSW's premier regional football stadiums. The athletics centre is an internationally certified synthetic athletics centre.

Council has been undertaking work relating to the review of its Local Environmental Plan which has included the simplification of Council's LEP. The LEP review included, but was not limited to, the transfer of deferred areas to the standard instrument and improving its readability. As part of Council's ongoing planning for the Campbelltown Local Government Area (LGA), further work is required to rectify mapping anomalies and fragmented planning controls.

This PP seeks to amend the LEP to address the fragmented land classification for the subject land, which includes the Campbelltown Sports Stadium. A copy of the PP is at attachment 1.

Report

The PP and associated attachments were publically exhibited from 11 November to 9 December 2021.

Land owners located within 200 m of the subject site were notified of the public exhibition in accordance with the Council's Community Participation Plan. Exhibition materials were made available on Council's website and on the NSW Planning Portal website.

In response to the public exhibition of the PP and associated attachments no submissions were made.

A public hearing on the PP was also held on 17 February 2021 in accordance with the LG Act. One submission was made at the public hearing. Land owners located within 200 m of the subject site were notified of the public exhibition in accordance with the Council's Community Participation Plan. Exhibition materials were available on Council's website and on the NSW Planning Portal website.

The public hearing was held as an electronic meeting using Microsoft Teams and was chaired by Ms Sandy Hoy of Parkland Planners. The independent chairperson was chosen via a competitive procurement process.

One person registered to attend the public hearing. Their submission is shown below.

No.	Submission	Council Response
1 Resident	<p>The submission raised concerns in relation to the following:</p> <ul style="list-style-type: none"> The public notice is deficient in the information provided. No proposal or reasoning was provided. Why does a public park need to become subject to access restrictions, in reference to the access restrictions to Campbelltown Sportsground. Concerned that the reclassification will result in the precinct becoming privatised. 	<p>Notification of the planning proposal was undertaken in accordance with the <i>Environmental Planning and Assessment Act 1979</i> (EP&A Act). Under the current legislation, letters to residents and access to the planning proposal documentation via Council's website is required. A newspaper article was also published to engage a wider audience.</p> <p>Under the current agreement, the Campbelltown Sportsground facility is closed to the general public. In order to access the site a booking is required. The planning proposal does not amend the current arrangement.</p> <p>There are no plans for Council to sell the land. Should a sale ever be undertaken, community consultation would be required.</p>

A copy of the Public Hearing Report prepared by the Independent Chairperson is attachment 2 to this report.

Gateway Determination Conditions

The following table provides responses to the gateway determination conditions that are required to be met in order for the PP to be finalised.

No.	Condition/Requirement	Response
1	<p>Public exhibition is required under section 3.34(2)(c) and schedule 1 clause 4 of the EP&A Act follows:</p> <ol style="list-style-type: none"> The PP must be made publically available by December 2021 for a minimum of 28 days; and The PP authority must comply with the notice requirements for public exhibition of planning proposal and the specifications for material that must be made 	<p>The PP and associated attachments were publically exhibited for 28 days from 11 November to 9 December 2021.</p> <p>The PP and associated attachments were made publically available on Council's website and the NSW Planning Portal website.</p> <p>Section 10.17 and 10.18 of the EP&A Act allows Councils to satisfy public exhibition</p>

	publically available along with planning proposals as identified in Section 6.5.2 of A guide to preparing local environmental plans (Department of Planning and Environment, 2018).	requirements during the COVID-19 pandemic.
2	No consultation is required with public authorities/organisations under Section 3.34(2)(d) of the EP&A Act	Noted.
3	A public hearing is required before March 2022, to be held into the matter by any person or body under Section 3.34(2)(e) of the EP&A Act.	A public hearing was held on 17 February 2022. The Independent Chairperson for the hearing was Ms Sandy Hoy from Parkland Planners.
4	Council must send the planning proposal to the Department, for Governor Approval and finalisation of the LEP.	Noted. This is the recommendation of this report.
5	The time frame for completing the LEP is to be 12 months following the date of the Gateway Determination.	Council was issued the Gateway Determination on 1 November 2021. Should the PP be supported by Council the PP and associated attachments will be sent to DPE for making in advance of the 2 November 2022 finalisation deadline.

A copy of the gateway determination is located at attachment 3.

Next Steps

Subject to the Council adopting the recommendations of this report, the next step in the process is to forward the adopted PP to the DPE and request that it makes the required amendments to the Campbelltown LEP.

Conclusion

One submission was received during the public exhibition and public hearing of the Planning Proposal. The submission was made verbally at the public hearing. The submission mainly relates to the notification process and the future use of the Campbelltown Sportsground.

The notification undertaken for the Planning Panel was consistent with the process that is required to be followed in accordance with the *Environmental Planning and Assessment Act, 1979*. Letters were sent to properties within 200 m of the subject for both the public exhibition and public hearing. A newspaper advertisement for both the public exhibition and public hearing was also published in the local newspaper.

The existing land classification for the subject site is fragmented and its simplification by reclassifying that part of the site currently classified as community land, to operational land, will provide a consistent land classification across the entire site. This will also simplify the ongoing management of the land. Council has no intention to sell the land and there is no proposed change to the current land use zones.

The proposed reclassification is considered reasonable in the circumstances and is expected to increase the level of opportunity for the site to operate as the premier sporting facility for Campbelltown and the Macarthur region.

Attachments

1. Planning Proposal - Reclassification - Campbelltown Stadium (contained within this report) [↓](#)
2. Campbelltown Sportsground Reclassification Public Hearing Report (contained within this report) [↓](#)
3. Letter and Gateway Determination (contained within this report) [↓](#)
4. LEP Practice Note and Responses (contained within this report) [↓](#)
5. Title Search (contained within this report) [↓](#)
6. Land Classification Map (contained within this report) [↓](#)
7. Draft LEP Map (distributed under separate cover)



Planning Proposal

Reclassification of Land at Campbelltown Sportsground from Community Land to Operational Land

March 2022

This Planning Proposal seeks to amend the Campbelltown Local Environmental Plan 2015 (CLEP 2015) and explains the intent of, and justification for, the reclassification of land located at Campbelltown Sports Stadium from Community to Operational Land. The purpose of the reclassification of land is to facilitate the ongoing use and management of the Stadium and to classify the whole site, which currently is part community land and part operational land, as operational land.

The subject site is located at 12 Old Leumeah Road, Leumeah (Lot 2 DP 1019063). The subject site is bounded by Rose Payten Drive to the north-east, Pembroke Road to the south-east, West Leagues Club and Old Leumeah Road to the south west and the Main southern railway and Wests Tennis Club to the north -west.

A map of the subject site is provided in Figure 1 below.



Figure 1: Subject site

The site is currently zoned B2 – Local Centre, RE1 – Public Recreation and SP2 – Drainage and includes both existing operational and community land. The existing operational land encompasses a significant portion of the B2 – Local Centre zone and SP2 – Drainage zone whilst the community land is encompassed by both the RE1 – Public Recreation zone and B2 – Local Centre zones. Figure 2 outlines the zoning of the site and Figure 3 shows the distribution of community and operational land across the site. This planning proposal only seeks to reclassify the community land to operational land.

Background

Campbelltown Sports Stadium is a key asset for the local community. Campbelltown Sports Stadium is one of NSW's premier regional football stadiums and an internationally certified synthetic athletics centre. The stadium also includes on site car parking and hosts approximately 50 event days during a regular calendar year. The athletics centre hosts athletics events at all levels from school carnivals to elite and is heavily booked throughout the year.

Council has recently undertaken work relating to the LEP Review which included the simplification of Council's LEP. The LEP Review included but was not limited to, the transfer of deferred areas to the standard instrument and the rectification of planning controls to improve readability. As part of Council's ongoing planning for the LGA, further work is required to simplify mapping anomalies and fragmented planning controls. This planning proposal seeks to amend the CLEP 2015 to address the fragmented land classification for the Campbelltown Sports Stadium.

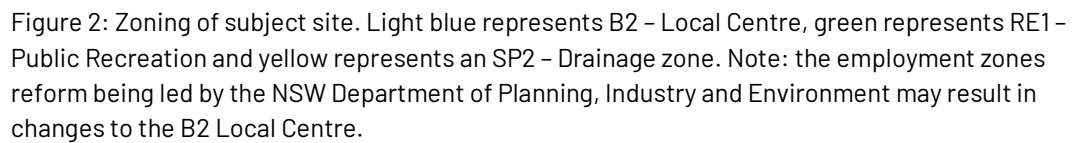
Campbelltown Sports Stadium is identified as a key location for entertainment and sporting events in the Reimagining Campbelltown City Centre Master Plan. The amendment would allow Council to investigate further opportunities for the site which would include colocation with and expansion of Council's facilities.

Existing Situation

The site currently comprises of a single lot of land that in Leumeah. The site is located on Old Leumeah Road and is bounded by Rose Payten Drive and Pembroke Road in Leumeah as well as the main southern railway. The site incorporates Campbelltown Stadium, an athletics track and stadium and associated car parking.

The site is zoned RE1 – Public Recreation, B2 – Local Centre and SP2 – Drainage under the Campbelltown Local Environmental Plan 2015. A zoning map of the site is shown in Figure 2 below.

The proposal to reclassify the land only relates to a portion in the middle of the site. Figure 3 in this planning proposal identifies the breakdown and location of community land and operational land within the site.



The objective of this Planning Proposal is to reclassify the portion of the site that is community land to operational land. The proposed reclassification would create the potential for additional future uses that would work in cohesion with the existing facilities.

4



Figure 3: Current land classification for the subject site. Green represents community land and yellow is operational land.

The planning proposal does not seek to amend the zoning or any other planning controls under CLEP 2015.

The intended land classification for the entirety of the site is outlined in Figure 4 below.

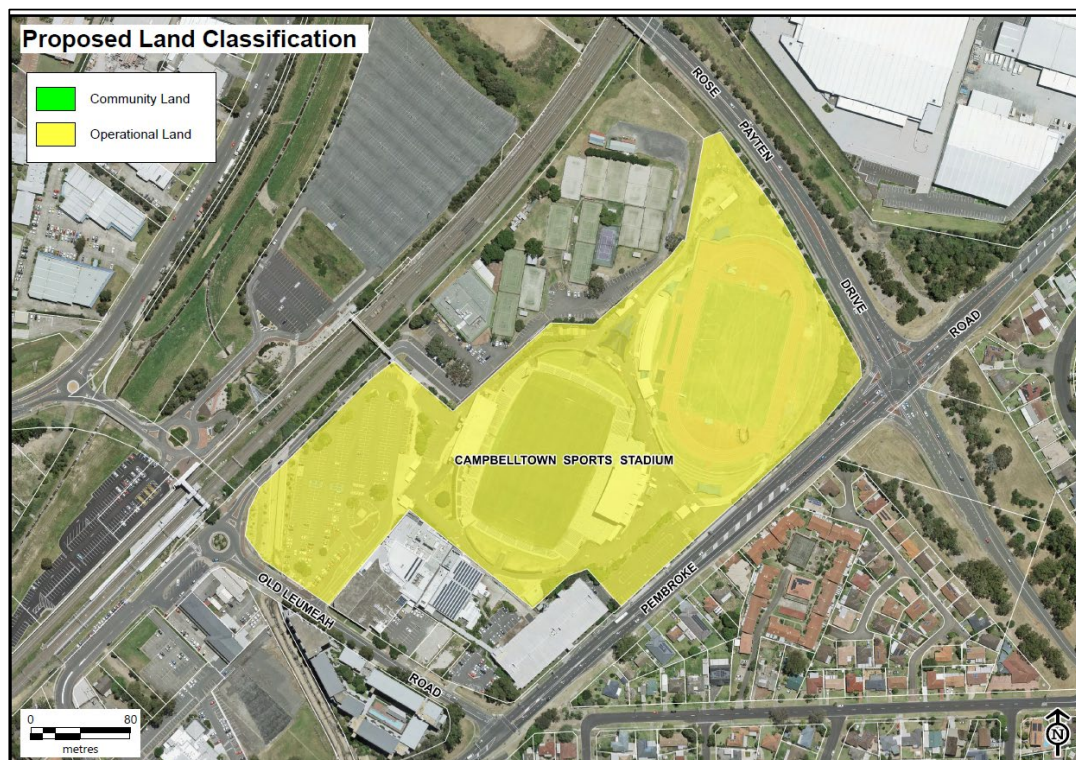


Figure 4: Proposed land classification for the subject site. The planning proposal seeks to reclassify the remaining community land to operational land.

Site Specific Merits of the Proposed Reclassification

The existing land classification of the site outlined in Figure 3 is considered to be fragmented and is not consistent with any Council or State Government policies. The proposal to reclassify the land to operational land as shown in Figure 4 does not incorporate any rezoning of the site.

It is intended to maintain the use of the site as a prime sporting facility within Campbelltown and the Macarthur region. There are currently early investigations for additional refurbishments of the site to continue the improvement of the site. The reclassification would assist Council in investigating additional opportunities for the site that would be considered complimentary with the existing use as a sports and entertainment precinct.

The current site does not operate like a normal RE1 – Public Recreation zone in that access to the site is only available by a booking system. When the site is booked, access to the site is restricted for people who are not related to the particular event. For example, when a school books the athletics centre for a school carnival, the general public are not able to use the athletics centre. Similarly, when the Macarthur Bulls are playing at the Campbelltown Stadium, access for the general public is through the purchase of a ticket, they are not able to turn up and use the grounds

at the same time. In this regard the site operates differently from other open space across the Campbelltown Local Government Area.

Reclassification of the site would not amend the existing arrangements for the use of the site which is currently based on a bookings system and a contractual agreement for Macarthur FC A-League team and the NRL's Wests Tigers.

The proposed reclassification of the site would improve on the fragmented nature of the current classification and would benefit the greater community by removing potential complication if improvements to the Stadium infrastructure, or other sports and entertainment activities, are made in the near future.

Part 2 – Explanation of provisions

The objectives and intended outcomes of the planning proposal will be achieved by amending the CLEP 2015 through the inclusion of the subject site as 'Operational Land' under Schedule 4 of the CLEP 2015. The proposed wording is outlined below in Figure 3.

Insert into Part 1 of Schedule 4 of CLEP 2015 the following:

Column 1	Column 2
Locality	Description
Campbelltown Sports Ground	Lot 2 DP 1019063 12 Old Leumeah Road, Leumeah

Figure 3: Proposed wording to be inserted into CLEP 2015

The following table in figure 4 provides greater detail in response to the Secretary's requirements as stated in the Practice Note 16-0001 checklist including interests in the land. A detailed response to each checklist item can be found in attachment 1 and the results of a title search of each lot can be found in attachment 2.

Property Information	Interest	Proposed Action	Recommended Schedule 4 Part	Are all interests proposed to be removed?
<p>Lot 2 DP 1019063</p> <p>Lot 2 DP 1019063 was created on 12 January 2001 by the consolidation of around 20 lots</p> <p>Council is the landowner.</p> <p>A certificate of title is provided in attachment 2.</p>	<p>The land excludes minerals (S141 Public Works Act, 1912) as regards</p> <p>The land designated (X) in the title diagram and reservations and conditions in the Crown grant(s) as regards the residue.</p>	No further action is required.	1	No
As above	GB868332 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	G922754 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	G876149 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	G876150 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No

As above	G954679 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	G908696 Covenant affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	K307969 Easement for co-axial cable affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP268962 Easement for electricity purposes 6 metre(s) wide affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP268962 Easement for underground mains 1 metre(s) wide & variable affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP268962 Easement to drain water 2 metre(s) wide and variable affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP1019063 Easement for electrical substation affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No

As above	DP1019063 Easement to drain water 11.52 metre(s) wide and variable appurtenant to the land above described	No further action is required.	1	No
As above	DP1019063 Easement to drain water 2 metre(s) wide and variable appurtenant to the land above described	No further action is required.	1	No
As above	DP1019063 Right of way 9.7 metre(s) wide appurtenant to the land above described	No further action is required.	1	No
As above	DP1019063 Easement for support 2.3 metre(s) wide appurtenant to the land above described	No further action is required.	1	No
As above	DP1019063 Easement for underground cables 2 wide affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP1019063 Easement to drain water 3.05 metre(s) wide affecting the part(s) shown so burdened in the title diagram	No further action is required.	1	No
As above	DP1195758 Easement for water supply purposes 4 metre(s) wide affecting the part(s) shown so burdened in DP1195758	No further action is required.	1	No

As above	DP1195758 Easement for water supply purposes 3 metre(s) wide affecting the part(s) shown so burdened in DP1195758	No further action is required.	1	No
As above	DP1195758 Easement for water supply purposes 3 metre(s) wide affecting the part(s) shown so burdened in DP1197903	No further action is required.	1	No

Figure 5: Interests on the subject site

Part 3 – Justification**Section A – Need for the planning proposal****1. Is the planning proposal a result of any strategic study or report?**

The subject site is currently in Council ownership and contains a stadium, track and field (athletics) oval and car parking. Plans to refurbish the precinct are currently being considered. The potential of this site is documented in the Reimagining Campbelltown City Centre Master Plan.

The planning proposal is therefore in part a result of the work undertaken through the Re-imagining Campbelltown City Centre Master Plan where the stadium will play a key part within a greater entertainment and sports precinct. The vision for the site incorporates an indoor facility, upgraded oval and aquatic centre. In more recent times, the stadium has undergone renovations and is home to the A-League football side Macarthur Bulls Football Club who play all their home matches at the venue.

2. Is the planning proposal the best means of achieving the objective or intended outcomes, or is there a better way?

The Planning Proposal is the best way to achieve the intended outcomes and objectives. It follows the LEP practice note for Classification and reclassification of public land through a local environmental plan issued by the NSW Department of Planning, Industry and Environment.

The planning proposal also responds to the PN 16-001 Checklist (Attachment 1) and provides additional detail relating to historical information that exists for the relevant lots as well as a Title Search (Attachment 2).

Section B – Relationship to strategic planning framework**3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?**

Yes.

The Planning Proposal is consistent with the relevant objectives and actions outlined in the Greater Sydney Region Plan and the Western City District Plan.

Greater Sydney Region Plan

The Plan provides a framework for the predicted growth in Greater Sydney. The Plan identifies key goals of delivering a metropolis of three 30 minute cities through four key themes, infrastructure and collaboration, liveability, productivity and sustainability.

The Planning Proposal is consistent with the Greater Sydney Region Plan as it aims to improve the quality of open space and provide a state of the art facility for the community to use. The planning proposal is considered to be consistent with Objective 7 'Communities are healthy, resilient and socially connected' of the Plan. The planning proposal will facilitate flexibility in the future management and operation of the precinct thereby enhancing opportunities for further upgrades to the site. The proposal aims to simplify the land classification for the site.

Western City District Plan

The Western City District Plan sets out priorities and actions for the Western Parkland City which are structured on themes that are based on the Greater Sydney Region Plan. The planning proposal is considered to be consistent with Planning Priorities W3, W6 and W18 identified in the Plan. The current Campbelltown Stadium and surrounding grounds is considered to be an important piece of social infrastructure. The reclassification of the land will assist Council in simplifying the land classification for the site and would promote other uses to be integrated onto the site. The need for entertainment facilities was a key matter raised by the community during public consultation during the preparation of the Western City District Plan.

Glenfield to Macarthur Urban Renewal Corridor Strategy

The Glenfield to Macarthur Urban Renewal Precinct was identified as a growth corridor by the State Government for the purposes of providing further jobs, open space, improved movement networks and revitalisation of existing urban centres through good design.

The Planning Proposal is consistent with the Strategy and is consistent with the Leumeah Precinct Plan adopted as part of this Strategy.

4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?**Campbelltown Community Strategic Plan – Campbelltown 2027**

The overarching Community Strategic Plan represents the principal community outcome focused strategic plan guiding Council's policy initiatives and actions.

The proposal is considered to be consistent with the relevant outcomes headed accordingly within the Plan:

- A vibrant, liveable city;
- A respected and protected natural environment;
- A thriving attractive city; and
- A successful city.

The planning proposal is consistent with the outcomes listed.

Campbelltown Local Strategic Planning Statement (LSPS)

The Campbelltown Local Strategic Planning Statement (LSPS) came into effect on 31 March 2020.

The LSPS is Campbelltown City Council's plan for our community's social, environmental and economic land use needs over the next 20 years.

The LSPS provides context and direction for land use decision making within the Campbelltown Local Government Area (LGA).

Its purpose is to:

- Provide a 20 year land use vision for the Campbelltown LGA
- Outline the characteristics that make our city special
- Identify shared values to be enhanced or maintained
- Direct how future growth and change will be managed
- Prioritise changes to planning rules in the Local Environmental Plan (Campbelltown Local Environmental Plan 2015) and Council's Development Control Plans
- Implement the Region and District Plans as relevant to the Campbelltown LGA
- Identify where further detailed strategic planning may be needed.

The LSPS responds to region and district planning initiatives and information received from the Campbelltown community during the public exhibition period for the future of our city. The public exhibition of the Draft LSPS provided an opportunity for our community and key stakeholders to provide feedback. Consultation with Government Departments and Agencies, and the Greater Sydney Commission was also undertaken to ensure alignment with other planning initiatives and priorities for Greater Sydney.

The LSPS identifies the Campbelltown Sports Stadium as a key component in Theme 1 of the document which promotes Campbelltown as becoming a vibrant and liveable city. In accordance with priority 1 of the LSPS the promotion of Campbelltown Sports Stadium as a key sporting venue and the venue of choice for major events in the Macarthur region.

The reclassification of the subject site would assist to simplify the land classification for the site and would also assist in unlocking potential management options and future complementary co-located uses. The reclassification of the land would allow for greater flexibility to the greater site which would potentially unlock other land uses for community benefit.

Action 9.15 of the LSPS identifies that by investigating other future uses and colocation opportunities to complement the site, Campbelltown would be able to leverage existing international and national events at the Stadium and attract further investment for major events and businesses.

Reimagining Campbelltown City Centre Master Plan

The Reimagining Campbelltown City Centre Master Plan is a key strategic vision that provides a structured plan for the future growth of the Campbelltown CBD which includes the suburbs of Leumeah, Campbelltown and Macarthur. The subject site is within the boundary of the Re-imagining Campbelltown CBD study area and is consistent with the Master Plan.

The planning proposal is consistent with the four key growth principles outlined within the document:

- Centre of opportunity
- No grey to be seen
- City and bush
- The good life

The planning proposal assists in the development of the entertainment precinct and will continue to provide a modern Council facility within the Campbelltown CBD. The proposal would allow for the ongoing maintenance of the site and also allow for additional uses to be incorporated into the site that would be complementary to the Stadium and entertainment precinct.

5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

The following table provides a brief assessment of consistency against each State Environmental Planning Policy (SEPP) relevant to the Planning Proposal.

State Environmental Planning Policies	Comment
SEPP 14 – Coastal Wetlands	Not applicable
SEPP 19 – Bushland in Urban Areas	Consistent. The planning proposal does not affect the bushland in the subject area.
SEPP 21 – Caravan Parks	Not relevant to the Proposal

SEPP 33 – Hazardous or Offensive Development	Not relevant to the Proposal
SEPP 36 – Manufactured Home Estates	Not relevant to the Proposal
SEPP 44 – Koala Habitat Protection	Consistent. The planning proposal to reclassify does not impact on koala habitat.
SEPP 47 – Moore Park Showground	Not relevant to the Proposal
SEPP 50 – Canal Estate Development	Not relevant to the Proposal
SEPP 55 – Remediation of Lands	Consistent. The use of the land for public recreation purposes is not changing as part of this planning proposal. The use as a Stadium and Track and Field Centre will continue to operate.
SEPP 64 – Advertising and Signage	Not relevant to the Proposal. Any future signage would be subject to the provisions of SEPP 64.
SEPP 65 – Design Quality of Residential Apartment Development	The planning proposal is not inconsistent with the SEPP. Residential apartment development is not proposed as part of this Planning Proposal.
SEPP 70 – Affordable Housing Schemes	Not relevant to the Proposal
SEPP 71 – Coastal Protection	Not relevant to the Proposal
SEPP (Concurrences and Consents)	Not relevant to the Proposal
SEPP (Building Sustainability Index: BASIX) 2004	Not relevant to the Proposal
SEPP (Aboriginal Land) 2019	Not relevant to the Proposal
SEPP (Activation Precincts) 2020	Not relevant to the Proposal
SEPP (Educational Establishments and Child Care (Facilities) 2017	Not relevant to the Proposal
SEPP (Affordable Rental Housing) 2009	Not relevant to the Proposal
SEPP (Exempt and Complying Development Codes) 2008	Not relevant to the Proposal
SEPP (Gosford City Centre) 2018	The SEPP does not apply to the land.
SEPP (Infrastructure) 2007	Not relevant to the Proposal
SEPP (Housing for Seniors or People with a Disability)	Not relevant to the Proposal
SEPP (Koala Habitat Protection) 2020	The site does not include any koala habitat.
SEPP (Koala Habitat Protection) 2021	The site does not include any koala habitat.
SEPP (Kosciusko National Park) 2007	Not relevant to the Proposal
SEPP (Kurnell Peninsular) 1989	Not relevant to the Proposal
SEPP (Miscellaneous Consent Provisions)	Not relevant to the Proposal
SEPP (Penrith Lakes Scheme) 1989	Not relevant to the Proposal
SEPP (Primary Production and Rural Development) 2019	Not relevant to the Proposal
SEPP (State and Regional Development) 2011	Not relevant to the Proposal
SEPP (State Significant Precincts) 2005	This SEPP does not apply to the land

SEPP (Sydney Drinking Water Catchment) 2011	This SEPP does not apply to the land
SEPP (Sydney Region Growth Centres) 2006	The proposal is consistent with this SEPP
SEPP (Three Ports) 2013	This SEPP does not apply to the land
SEPP (Urban Renewal) 2010	This SEPP does not apply to the land
SEPP (Western Sydney Employment Area) 2009	This SEPP does not apply to the land
SEPP (Western Sydney Parklands) 2009	This SEPP does not apply to the land
SEPP (Vegetation in Non-Rural Areas) 2017	Not relevant to the Proposal

Figure 6 - Consistency with State Environmental Planning Policies

Consideration of Deemed SEPPs	Comment
Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment	Consistent. The proposal would not impact on the water quality and river flows of the Georges River and its tributaries. No development is proposed as part of the proposal.

Figure 7 - Consistency with Deemed State Environmental Planning Policies

6. Is the planning proposal consistent with applicable Ministerial Directions (s9.1 directions)?

The following table provides a brief assessment of consistency against each section 9.1 direction relevant to the planning proposal.

Consideration of s9.1 Directions	Comment
1. Employment and Resources	
1.1 Business and Industrial Zones	The proposal does not seek to amend the existing B2 zoned land on the site. The proposal only seeks to reclassify the existing community land to operational land.
1.2 Rural Zones	Not relevant to the Proposal. The Proposal does not propose any amendments to rural zones.
1.3 Mining, Petroleum Production and Extractive Industries	Not applicable
1.4 Oyster Aquaculture	Not applicable
1.5 Rural Lands	Not applicable
2. Environment and Heritage	
2.1 Environment Protection Zones	Not applicable
2.2 Coastal Protection	Not applicable
2.3 Heritage Conservation	Not applicable
2.4 Recreation Vehicle Areas	Not applicable
2.5 Application of E2 and E3 zones and Environmental Overlays in Far North Coast LEP's	Not applicable
2.6 Remediation of Contaminated Land	Not applicable
3. Housing, Infrastructure and Urban Development	
3.1 Residential Zones	Not applicable
3.2 Caravan Parks and Manufactured Homes	Not applicable

3.3 Home Occupations	Not applicable
3.4 Integrating Land Use and Transport	Not applicable
3.5 Development Near Licensed Aerodromes	Not applicable
3.6 Shooting Ranges	Not applicable
4. Hazard and Risk	
4.1 Acid Sulfate Soils	Not applicable
4.2 Mine Subsidence and Unstable Land	Not applicable
4.3 Flood Prone Land	The planning proposal is consistent with this Direction. The proposal will not impact this Direction.
4.4 Planning for Bushfire Protection	The proposed amendments will not impact on this Direction and the Proposal is generally consistent.
5. Regional Planning	
5.1 Implementation of Regional Strategies	Not applicable
5.2 Sydney Drinking Water Catchments	Not applicable
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	Not applicable
5.4 Commercial and Retail Development along the Pacific Highway, North Coast	Not applicable
5.5 - 5.7	Repealed
5.8 Second Sydney Airport	Not applicable
5.9 North West Rail Link Corridor Strategy	Not applicable
5.10 Implementation of Regional Plans	The proposal is consistent.
5.11 Development of Aboriginal Land Council Land	Not applicable
6. Local Plan Making	
6.1 Approval and Referral Requirements	The Planning proposal does not trigger the need for any additional concurrence, consultation or referral to a Minister or Public Authority.
6.2 Reserving Land for Public Purposes	The Proposal does not propose any additional land for public purposes. The planning proposal seeks to reclassify already existing public land from community to operational land to simplify the land classification for the site.
6.3 Site Specific Provisions	The planning proposal is not inconsistent with this Direction.
7. Metropolitan Planning	
7.1 Implementation of a Plan for Growing Sydney	The Proposal is consistent with this Direction.
7.2 Implementation of Greater Macarthur Land Release Investigation	The proposal is not inconsistent with this Direction.
7.3 Parramatta Road Corridor Urban Transformation Strategy	Not applicable

7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	Not applicable
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable
7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable
7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor	<p>The Proposal is not inconsistent with this Direction.</p> <p>The planning proposal seeks to facilitate the reclassification of the land from community to operational for the Campbelltown Sportsground. The proposal seeks to achieve a simplified approach for the land classification by amending the existing community land portion for the site.</p>
7.8 Implementation of the Western City Aerotropolis Plan	The proposal is consistent with this Direction.
7.9 Implementation of Bayside West Precincts	Not applicable
7.10 Implementation of Planning Principles for the Cooks Cove Precinct	Not applicable
7.11 Implementation of St Leonards and Crows Nest 2036 Plan	Not applicable
7.12 Implementation of Greater Macarthur 2040	The planning proposal is not inconsistent with this Direction. The proposal does not seek to amend the zoning or the current use of the site. The planning proposal seeks to achieve a more simplified approach to the land classification on the site. The current land classification for the entirety of the site is considered unorderly.

Figure 8 - Consistency with Section 9.1 Directions

Section C – Environmental, social and economic impact**7. Is there any likelihood that critical habitat or threatened species, populations' or ecological communities or their habitat will be adversely affected as a result of the proposal?**

No.

There is no critical habitat or threatened species, populations' or ecological communities or habitat located on the site.

8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

No.

It is anticipated that there would be no environmental effects as a result of the planning proposal. The planning proposal seeks reclassification of land only.

9. Has the planning proposal adequately addressed any social and economic effects?

Yes.

The Planning Proposal is not supported by a social or economic assessment. The planning proposal seeks to reclassify the land from community to operational land to simplify the status of land for the Campbelltown Sportsground (stadium, athletics centre and car parks) and to promote future development that is complementary to the existing sporting complex.

Section D – State and Commonwealth Interests**10. Is there adequate public infrastructure for the planning proposal?**

Yes.

The planning proposal will not result in a need for additional public infrastructure. This proposal seeks to simplify the management of public infrastructure for the benefit of the whole community.

11. What are the views of the State and Commonwealth public authorities consulted in accordance with the Gateway Determination?

Consultation will occur with any public authorities identified in the Gateway Determination.

The reclassification planning proposal aims to include an operational land status for the remaining parts of the site. The existing site includes both community and operational land that would be considered fragmented.

Part 4 – Mapping

The Planning Proposal seeks to include a new Land Reclassification (Part Lots) Map into CLEP 2015. The map is located at attachment 4 to this proposal.

Part 5 – Community consultation

In accordance with 'A guide to preparing local environmental plans' prepared by the Department of Planning and Environment (2016), the consultation strategy was:

An advertisement placed in any local paper in publication at the time of exhibition (potentially including the Macarthur Chronicle and Campbelltown – Macarthur Advertiser) identifying the purpose of the Planning Proposal and where the Planning Proposal can be viewed.

The Planning Proposal was exhibited on Council's website (www.campbelltown.nsw.gov.au). Council's libraries also have access to the website.

The planning proposal was made available on the NSW Planning Portal website (www.planningportal.nsw.gov.au).

Due to the recent events relating to COVID-19, an amendment to the EP&A Act, specifically the inclusion of Clauses 10.17 and 10.18, allowed Council to satisfy the requirements for public exhibition by having documentation on Council's website.

The public exhibition period was from 11 November 2021 to 9 December 2021. No submissions were received during the public exhibition period.

- **Public Hearing**

A public hearing was held on 17 February, 2022 and facilitated by an independent chairperson. A report from the independent chairperson on the outcomes of the hearing is attached.

Part 6 – Project Timeline

The planning proposal will require the Governor's approval in accordance with attachment 1 (PN-16-001). Where an LEP requires the Governor's approval, delegation to make the plan cannot be requested. In this instance, Council will request that DPIE make the amendment.

Dates	Item
22 July 2021	Local Planning Panel advice
14 September 2021	Council endorsement
September 2021	Referral to DPIE for Gateway Determination
October 2021	Gateway Determination
November/December 2021	Public exhibition of planning proposal and referral to any required public authorities
17 February 2021	Independent Public Hearing
12 April 2022	A report to Council on submissions received and Independent Public Hearing report
April 2022	Send planning proposal to DPIE for finalisation
April 2022	Council request DPIE to seek Governor's approval and make LEP Amendment
May 2022	Making of LEP Amendment

It should be noted that the Council elections were held in December 2021 and the project timeline has taken this into account.



PROPOSED RECLASSIFICATION OF COMMUNITY LAND AT CAMPBELLTOWN SPORTSGROUND PUBLIC HEARING AND SUBMISSIONS REPORT

FINAL

28 FEBRUARY 2022



CAMPBELLTOWN CITY COUNCIL

PROPOSED RECLASSIFICATION OF
COMMUNITY LAND AT
CAMPBELLTOWN SPORTSGROUND

PUBLIC HEARING AND SUBMISSIONS REPORT

FINAL

28 FEBRUARY 2022

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DIRECTOR: Sandy Hoy

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1.1 Purpose of this report

This report makes recommendations to Council regarding the proposed reclassification.

Figure 1 Location of Campbelltown Sportsground



PROPOSED RECLASSIFICATION OF COMMUNITY LAND AT CAMPBELLTOWN SPORTSGROUND
PUBLIC HEARING REPORT – DRAFT
PARKLAND PLANNERS

The subject site is bounded by Rose Payten Drive to the north-east, Pembroke Road to the south-east, Wests Leagues Club and Old Leumeah Road to the south-west, and the Main Southern Railway and Wests Tennis Club to the north-west.

The proposed reclassification applies to parts of the Council-owned land (Lot 2 DP 1019063) comprising Campbelltown Sportsground.

The site is currently owned and managed by Campbelltown City Council and includes a sports stadium and grandstands, athletics track, entry gates, and associated car parks.

1.3 Contents of this report

The remainder of this report contains:

- ❑ a general explanation of the proposed reclassification of the subject land from community land to operational land (Section 2)
- ❑ explanation of the proposed reclassification of Campbelltown Sportsground (Section 3)
- ❑ the public hearing details (Section 4)
- ❑ submissions (Section 5)
- ❑ assessment of submissions and recommendations (Section 6).

2 RECLASSIFICATION OF COMMUNITY LAND

2.1 What is reclassification of community land?

Under the *Local Government Act 1993*, public land is classified as either 'operational' or 'community' land. Campbelltown Sportsground is currently classified as community and operational land under the *Local Government Act 1993*.

Community land would ordinarily comprise land accessible to the public, such as a park, sporting fields, or a community centre. Community land must not be sold, except in the limited circumstances referred to in Section 45 (4) of the Act.

The use of community land must be consistent with a Plan of Management. It is understood that Campbelltown Sportsground is included in the *Plan of Management No. 6 prepared under the Local Government Act 1993 for Sportsgrounds* (Campbelltown City Council, 1998).

Community land may only be leased or licensed for up to 21 years without the Minister's consent or up to 30 years with the Minister's consent. Community land may only be leased or licensed for more than 5 years if public notice of the proposed lease or licence is given and, in the event that an objection is made to the proposed lease or licence, the Minister's consent is obtained. Council also cannot grant a lease, licence or other estate for private purposes over community land.

Operational land would ordinarily comprise land held as a temporary asset or as an investment, land which facilitates the carrying out by a Council of its functions, or land which may not be open to the general public, such as a works depot. Operational land may be leased for a longer period of time, and may be sold/ transferred. Operational land does not have any special restrictions and can be used by Council for a broad range of purposes.

Classification or reclassification of land does not affect any estate or interest a council has in the land.

2.2 Process of reclassification of community land

The *Local Government Act 1993* and the *Environmental Planning and Assessment Act 1979* set out requirements that Councils must follow when reclassifying community land to operational land. Relevant legislation can be accessed at www.legislation.nsw.gov.au.

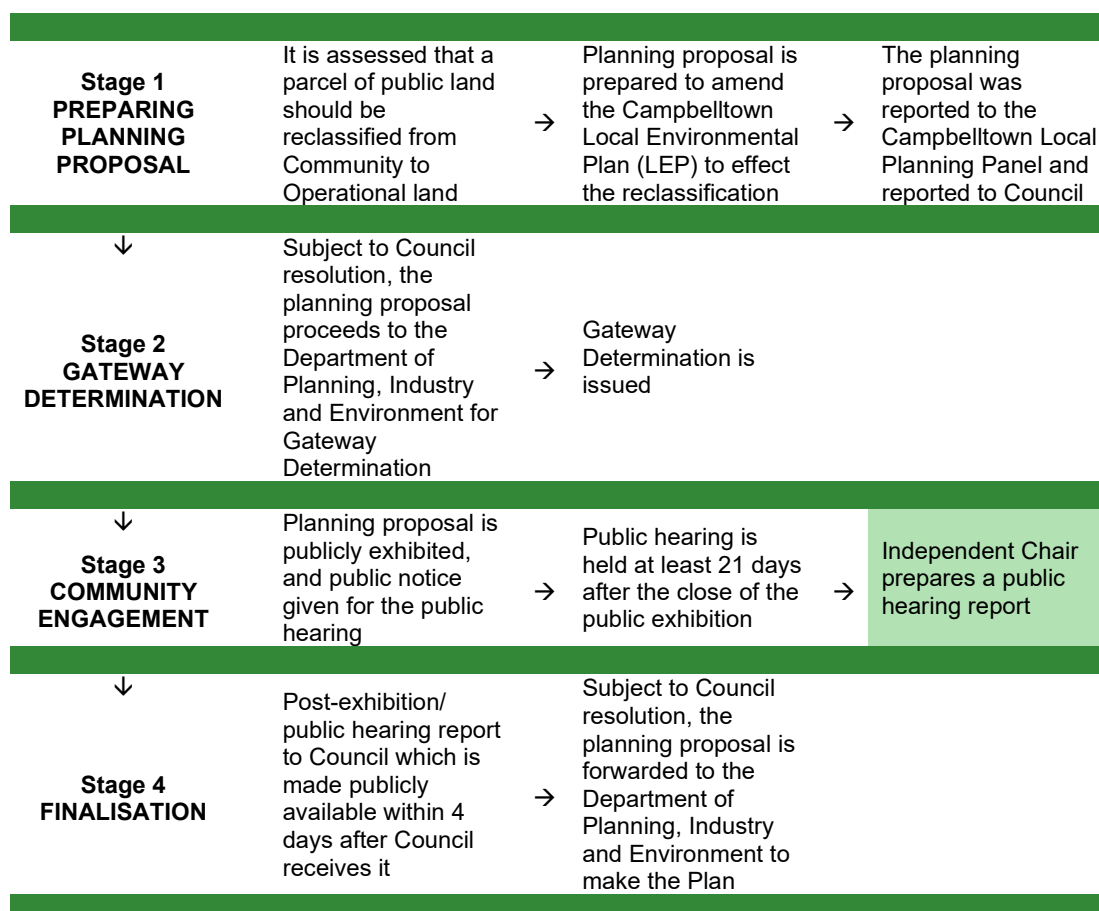
Reclassification may be carried out by either:

1. A Local Environmental Plan under the *Environmental Planning and Assessment Act 1979* through Section 27(1) of the *Local Government Act 1993*, or
2. Council resolution under Section 27(2) of the *Local Government Act 1993*.

Council is proposing to reclassify the Council-owned community land under Option 1 ie. by amendments to the Campbelltown Local Environmental Plan 2015.

The process of reclassifying community to operational land by changes to the Campbelltown Local Environmental Plan 2015 is in Figure 2.

Figure 2 Process of reclassifying community land to operational land by local environmental plan



2.3 Process of the public hearing and report

Table 1 Process of the public hearing and report

Dates	Process	Relevant legislation
28 July 2021	Campbelltown Local Planning panel advice	
12 October 2021	Campbelltown City Council resolved to support the proposal to reclassify part of Campbelltown Sportsground from community to operational land	
19 October 2021	Council referred the planning proposal to the NSW Department of Planning and Environment for Gateway Determination	Section 3.34(1) of the <i>Environmental Planning and Assessment Act 1979</i>
1 November 2021	Gateway Determination issued by DPE	Section 3.34(2) of the <i>Environmental Planning and Assessment Act 1979</i>
11 November -9 December 2021	Council places copies of the planning proposal and supporting information on public exhibition for comment. Copies were available on Council's website, and at Council's administration centre. No submissions to the planning proposal were received.	

Dates	Process	Relevant legislation
27 January 2022	Public notice of the public hearing after the conclusion of the statutory public exhibition of the planning proposal	
Thursday 17 February 2022	The public hearing into the proposed reclassification was held. The person presiding at the public hearing is not a councillor or employee of the council holding the public hearing, or has been a councillor or employee of that council at any time during the 5 years before the date of her appointment.	Section 29 of <i>Local Government Act 1993</i> Department of Planning and Environment Practice Note PN 16-001 Section 47G of <i>Local Government Act 1993</i>
28 February 2022	Independent chairperson at public hearing prepared the public hearing report and issued it to Council.	
February 2022	Council must make a copy of the public hearing report available for inspection by the public at a location within the area of the council no later than 4 days after it has received a report from the person presiding at the public hearing as to the result of the hearing.	Section 47G of <i>Local Government Act 1993</i>
Consideration of the public hearing report and public submissions by Council.		
<i>If Council decides to proceed with the reclassification:</i>		
Council requests the Department of Planning and Environment to prepare the draft Local Environmental Plan to give effect to the planning proposal.		
	Amendment made to the <i>Campbelltown Local Environmental Plan 2015</i> to reclassify the community land as operational land may make provision to the effect that, on commencement of the plan, the land ceases to be a public reserve, and that the land is by operation of the plan discharged from any trusts, estates, interests, dedications, conditions, restrictions and covenants affecting the land or any part of the land.	Section 27 of <i>Local Government Act 1993</i>
	Reclassification of the land to operational land.	Section 30(1) of <i>Local Government Act 1993</i>

3 PROPOSED RECLASSIFICATION OF CAMPBELLTOWN SPORTSGROUND

3.1 Proposal to reclassify parts of Campbelltown Sportsground

The background to and reasons for the proposed reclassification are set out in detail in the planning proposal.

Council is seeking to reclassify the land from community to operational land for several reasons, including:

- ❑ the current distribution of community and operational land at Campbelltown Sportsground is complex and irregular. The intention of the subject Planning Proposal is to simplify the land classification by changing the classification of the portion of the site that is 'community' land to 'operational' land so that the whole site is under the one classification
- ❑ to assist Council in simplifying the status of the site and having one consistent set of rules to govern its management and use.

The Planning Proposal states that Council intends to maintain the use of the site as a prime sporting facility within Campbelltown and the Macarthur region. There are currently early investigations for additional refurbishments of the site to continue the improvement of the site. The reclassification would assist Council in investigating additional opportunities for the site that would be considered complimentary with the existing use as a sports and entertainment precinct.

The current site does not operate like a normal RE1 – Public Recreation zone in that access to the site is only available by a booking system. When the site is booked, access to the site is restricted for people who are not related to the particular event. For example, when a school books the athletics centre for a school carnival, the general public are not able to use the athletics centre. Similarly, when the Macarthur Bulls are playing at the Campbelltown Stadium, access for the general public is through the purchase of a ticket, they are not able to turn up and use the grounds at the same time. In this regard the site operates differently from other open space across the Campbelltown local government area.

Reclassification of the site would not amend the existing arrangements for the use of the site which is currently based on a bookings system and a contractual agreement for Macarthur FC A-League team and the NRL's Wests Tigers.

The proposed reclassification of the site would improve on the fragmented nature of the current classification and would benefit the greater community by removing potential complication if improvements to the Stadium infrastructure, or other sports and entertainment activities, are made in the near future.

The planning proposal was prepared to reclassify Council-owned land at Campbelltown Sportsground from 'Community' land to 'Operational' land by amending *Campbelltown Local Environmental Plan 2015* Schedule 4, Part 1 to include Campbelltown Sportsground.

The planning proposal does not seek to amend the current zoning for the site or any other planning controls under Campbelltown Local Environmental Plan 2015.

3.2 Proposed reclassification of Campbelltown Sportsground

The current and proposed classification of Campbelltown Sportsground are shown in Figures 3 and 4.

Figure 3 Current classification of Campbelltown Sportsground



Figure 4 Proposed classification of Campbelltown Sportsground



The parts of Campbelltown Sportsground which are proposed to be recategorised from community land to operational land are in Figure 5.

Figure 5 Parts of Campbelltown Sportsground proposed for reclassification



Campbelltown Sportsground and two grandstands



South-west corner of the athletics track



Roadway off Old Leumeah Road



Entry gates

4 THE PUBLIC HEARING

4.1 Advertising and notification

Campbelltown City Council advised the community about the public hearing in several ways as follows:

- ❑ Media release on 8 February 2022 (refer to Figure 6 below)
- ❑ Notice and supporting information provided on Council's community engagement site 'Over to You Campbelltown' commencing 27 January 2022 (refer to Figure 7 below)
- ❑ 888 letters were sent to the owners/occupiers of properties within 200 metres of the site
- ❑ An email was sent on 17 February 2022 to individuals registered on Council's 'Over to You Campbelltown' page advising them of the public hearing. The aim was to advise individuals who have previously made a submission on other publicly exhibited projects about the public hearing.

Figure 6 Media release

The screenshot shows the Campbelltown City Council website. The header includes the council's logo and a search bar. The main content area features a news article titled "Register for public hearing on Campbelltown Sportsground" dated 08 Feb 2022. The article text describes the proposal to standardise land classification at the sportsground precinct and provides details about the public hearing. A "Register now" button is visible. To the right, there is a "RELATED INFORMATION" section with links to other news items like "Celebrate Valentine's On Q", "Lace up for the Campbelltown City Challenge Walk", "Get involved in improving access in Campbelltown", "Celebrate International Women's Day", and "Campbelltown Sports and Health Centre of Excellence update".

Register for public hearing on Campbelltown Sportsground

08 Feb 2022 All suburbs

Media Release - 8 February 2022

Campbelltown residents can now register to attend a public hearing on a proposal to standardise the classification of land at the Campbelltown Sportsground precinct.

The proposal, which includes the Campbelltown Sports Stadium and Athletics Centre lands, would bring consistency across the precinct's land classification and simplify its ongoing management and governance which is currently a mix of community and operational land.

Standardising the land classification to operational would allow for more efficient planning of future activities and sporting and entertainment upgrades that would help realise the land's potential as a key sporting and entertainment precinct within the Reimagining Campbelltown City Centre Master Plan.

Standardising the land classification does not change the precinct's zoning and will not change the types of land uses currently permitted on the land.

The public hearing is required to be organised by the Council, in accordance with the Local Government Act 1993 and will be chaired by an independent chair person.

The outcome of the public hearing and recommendations of the chairperson will be reported at an ordinary meeting of Council.

The public hearing will be held on Microsoft Teams from 6pm on Thursday 17 February 2022.

Any person interested in attending the hearing or making a submission must register with Council at overtouyou.campbelltown.nsw.gov.au by close of business on Tuesday 15 February.

RELATED INFORMATION

[Register now](#)

MORE NEWS

Celebrate Valentine's On Q
03 Feb 2021

Lace up for the Campbelltown City Challenge Walk
21 Feb 2022

Get involved in improving access in Campbelltown
18 Feb 2022

Celebrate International Women's Day
15 Feb 2022

Campbelltown Sports and Health Centre of Excellence update
27 Jan 2022

News category: Media Release

Figure 7 Notice about public hearing on 'Over to You Campbelltown'

overtouyou.campbelltown.nsw.gov.au/public-hearing-campbelltown-sportsground

CAMPBELLTOWN STAFF PORTAL Campbelltown City Council Website Development Applications & Planning Proposals Sign In | Register

Search

Public Hearing

Home » Public Hearing – Reclassification of Land – Campbelltown Sportsground

Public Hearing – Reclassification of Land – Campbelltown Sportsground

[f](#) [t](#) [in](#) [e](#)

A public hearing will be held via Microsoft Teams to provide community members with the opportunity to share their views about a proposal to reclassify part of the land at No. 12 Old Leumeah Road, Leumeah from Community land to Operational land. The land is generally known as Campbelltown Sportsground, in which exists the Campbelltown Stadium and track and field ground.

The primary objective of the Planning Proposal is to amend the Campbelltown Local Environmental Plan 2015 to reclassify the remaining community land to operational land. The proposal would assist in simplifying the status of the site and would potentially unlock the site for uses that are complimentary to the Stadium and track and field ground. The reclassification would also allow Council to unlock land that may be considered under utilised and promote other uses that would work in cohesion with the Sportsground.

The public hearing is scheduled to be held on Thursday, 17 February 2022 at 6pm, online via Microsoft Teams in accordance with the Public Health (COVID-19 Temporary Movement and Gathering Restrictions Order) 2021.

The public hearing will be chaired by an independent person from Parkland Planners in accordance with the Local Government Act 1993.

Interested persons will need to register their attendance by completing the form below (you will need to sign up if you aren't a member of OverToYou) by close of business on Tuesday, 15 February 2022 to:

- Virtually attend or listen to the hearing
- Make a submission at the hearing.

Documentation providing details of the proposed Reclassification of Land can be viewed under the documents tab:

- Planning Proposal
- Attachment 1 – PN-16-001 - LEP Practice Note and responses
- Attachment 2 – Title Searches
- Attachment 3 – Council Report and Resolution of 12 October 2021
- Attachment 4 - Land Classification Map
- Attachment 5 - Draft Local Environmental Plan Map
- Gateway Determination and Letter

If you would like to make a formal written submission to the Independent Chairperson, you can do this by forwarding your submission via email to sandy@parklandplanners.com.au or by post to Sandy Hoy, Parkland Planners, PO Box 41, FRESHWATER NSW 2096. The last day for receipt of written submissions is Monday, 21 February 2022.

Enquiries

Ante Zekanovic, Senior Strategic Planner
(02) 4645 4608
council@campbelltown.nsw.gov.au

REGISTER YOUR INTEREST/SUBMISSION

Register your interest/submission

You need to be signed in to take this survey [Sign In](#) [Register](#)

Page published: 27 Jan 2022, 12:05 AM

To further encourage interested people to attend the public hearing, Council sent emails to registered attendees of the public hearing on the day reminding them of the hearing and providing them with the meeting link.

4.2 Timing of the public hearing

The public hearing was timed to occur after the public exhibition of and receipt of written submissions regarding the planning proposal for the proposed reclassification of the land closed on 9 December 2021, while allowing for the mid-December 2021 to late January 2022 school holidays.

Public notice of the public hearing was given at least 21 days after the completion of the statutory public exhibition period of the planning proposal.

The public hearing to receive submissions on the proposed reclassification of community land at Campbelltown Sportsground was held on Thursday 17 February 2022 from 6:00pm online via the Microsoft Teams platform.

4.3 Chairperson

As required under Section 47G of the *Local Government Act 1993*, Council appointed an independent chairperson, Sandy Hoy, Director of Parkland Planners, to chair the public hearing. Ms. Hoy has not at any time been either a Councillor or an employee of Campbelltown City Council.

4.4 Site inspection

Ms. Hoy inspected Campbelltown Sportsground before the public hearing.

4.5 Attendance at the public hearing

The following Council officers were present at the hearing to represent Council, listen to verbal submissions, and answer questions:

David Smith	Executive Manager Urban Centres
Rad Blagojevic	Co-ordinator Urban Development
Ante Zekanovic	Senior Strategic Planner

One community member registered with Council to attend the public hearing, with that person attending the public hearing.

4.6 Agenda of the public hearing

Ms. Hoy opened the public hearing at 6:05pm, and explained the purpose and process of the public hearing. Council officers explained the purpose of the proposed reclassification, and answered questions. A presentation using information from the planning proposal was referred to for background information about the proposed reclassification.

Verbal submissions regarding the proposed reclassification were received at the public hearing. The content of those submissions is outlined in more detail in Section 5 of this report.

With there being no further submissions or questions, Ms. Hoy closed the hearing at 6:30pm.

4.7 Written submissions

Written submissions after the public hearing could be lodged with the Independent Chairperson by Monday 21 February 2022 by:

- ☐ email at sandy@parklandplanners.com.au
- ☐ post to Sandy Hoy, Parkland Planners, PO Box 41, FRESHWATER NSW 2096.

No written submissions after the public hearing were received.

5 SUBMISSIONS

5.1 Written comments before the public hearing

Written comments from the person who attended the public hearing were received before the public hearing, as follows:

1. The public notice is deficient in the information provided. No proposal or reasoning is provided.
2. Participation in the forum presumes:
 1. a knowledge of the definitions of community and administrative land (The best I could get was:
 Community land – Council owned land which should be kept for use by the general public, such as a public park. The use and management of community land is regulated by a plan of management.
 Operational land – Council owned land held as a temporary asset or as an investment, land which facilitates the carrying out of Council functions or land which may not be open to the general public, such as a works depot. “)
 2. an understanding of the intentions of Council in seeking this change ... why a does a public park need to become subject to access restrictions?

I am concerned that without these explanations, Campbelltown Sports Stadium will be privatised by stealth, limiting public use.

The form of the 'consultation' gives no relief to this belief.

5.2 Public hearing submissions

The question posed to the community regarding the purpose of the public hearing is:

Do you agree or not with the proposal to reclassify part of Campbelltown Sports-ground (Lot 2 DP 1019063) from Community land to Operational land? Why or why not?

One person attended and addressed the public hearing, with their comments and questions set out below. The person who attended the public hearing was satisfied that Council had addressed their written concerns (refer to Section 5.1 above) in the Planning Proposal and at the public hearing, and on that basis supports the proposed reclassification.

Table 2 Verbal submissions to the public hearing about classification

Submission / question	Council response
Agree with the idea to categorise as either all community land or all operational land.	Noted
Concerned that organisations such as Wests Leagues and Macarthur FC would take a long term lease on the stadium and isolate a public asset, restrict public use, and privatise it. Accept Council's commitment to keeping it public.	Noted

Submission / question	Council response
Not fussed about the classification of the carpark near the rail station, as it is not a nice place.	Noted
The proposed operational classification [shown in yellow on the classification map] is reassuring.	Noted

Other points made at the public hearing by the person who attended were in relation to the limited notification of the community about the public hearing, and the limited background information provided before the public hearing. They saw the formal media release in the local newspaper, but the Planning Proposal wasn't mentioned and it was difficult for them to find information about the reclassification proposal. Council staff responded that the process wasn't as public as it would have been without COVID restrictions, as a face to face meeting was not able to be held. Council staff followed public exhibition requirements under the *Environmental Planning and Assessment Act 1979* and Community Participation Plan and exceeded these requirements by writing to properties within 200 metres of the site to inform them about the planning proposal and then the public hearing.

6 ASSESSMENT AND RECOMMENDATIONS

6.1 Assessment of submissions

After reviewing and considering the written submission and the verbal submission made at the public hearing set out in Section 5, the key points of the submissions are:

- ❑ the classification of Campbelltown Sportsground should be consistent
- ❑ the reclassification should not result in isolating or privatising public land.

In addition to the points above, the operational land classification is more appropriate for regional sporting facilities for which bookings need to be made and which are not open for general public access.

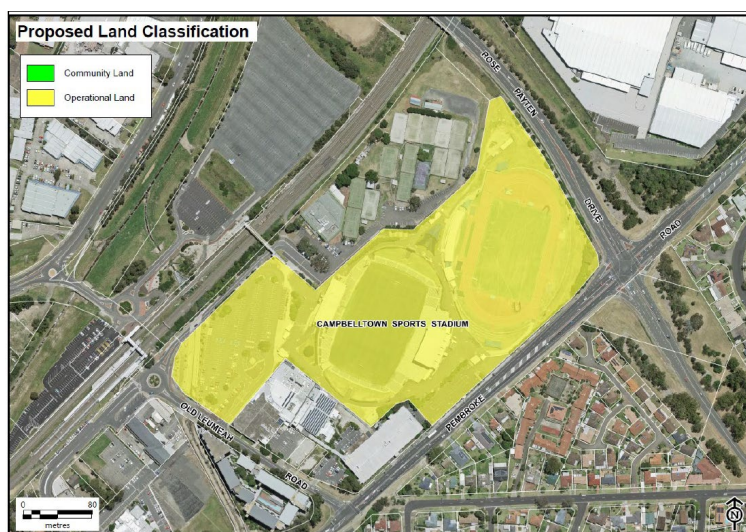
The operational land classification also allows Council the flexibility to permit commercial opportunities to support users of the Sportsground, such as a café, medical facilities, etc.

6.2 Recommendations regarding the proposed reclassification

After considering the submissions received, my recommendations to Campbelltown City Council regarding the proposed reclassification of parts of Campbelltown Sportsground from community land to operational land are to:

1. Consider the viewpoints and issues raised in the verbal and written submission outlined in Section 5 when making the decision whether to proceed with the proposed reclassification.
2. Reclassify the parts of Campbelltown Sportsground (Lot 2 DP 1019063) which are community land to operational land as shown in Figure 8 below.
3. Review community notification and engagement processes to ensure that the community is adequately notified about public hearings, and is aware of easily accessible sources of background information to assist community understanding of the proposal.

Figure 8 Proposed classification of Campbelltown Sportsground



6.3 Recommendations regarding reporting

Within four days of receiving this report, Council is required under Section 47G(3) of the *Local Government Act 1993* to make a copy of this report available for inspection by the public. It is recommended that Council:

- ☐ send a copy of the public hearing report to the person who attended the public hearing.
- ☐ keep a copy of the public hearing report for inspection at its Campbelltown administration centre and at HJ Daley Library.
- ☐ post an electronic copy of the public hearing report on Council's website.

Sandy Hoy
Director, Parkland Planners

28 February 2022



Planning,
Industry &
Environment

PP-2021-6347/IRF21/4301

Ms Lindy Deitz
General Manager
Campbelltown City Council
PO Box 57
CAMPBELLTOWN NSW 2560

Attn: David Smith

Dear Ms Deitz

Planning proposal PP-2021-6347 to amend Campbelltown Local Environmental Plan 2015

I am writing in response to Council's request for a Gateway determination under section 3.34(1) of the *Environmental Planning and Assessment Act 1979* (the Act) in respect of the planning proposal for the reclassification of a portion of land located at 12 Old Leumeah Road, Leumeah (Campbelltown Sports Ground) from 'Community' to 'Operational' land.

As delegate of the Minister for Planning and Public Spaces, I have now determined that the planning proposal should proceed subject to the conditions in the enclosed Gateway determination.

I have also agreed, as delegate of the Secretary, the planning proposal's consistency with Section 9.1 directions. No further approval is required.

As directed in LEP Practice Note LEP Practice Note 16-0001 for the reclassification of land, the Department will request Governor Approval and be the local plan-making authority.

The Department is committed to reduce processing times with the Gateway time frame provided. The amending local environmental plan (LEP) is to be finalised within 12 months of the date of the Gateway determination and sooner if possible. Council should commence public exhibition and hold a public hearing of the planning proposal as soon as possible.

The state government is committed to reducing the time taken to complete LEPs by tailoring the steps in the process to the complexity of the proposal, and by providing clear and publicly available justification for each plan at an early stage. In order to meet these commitments, the Minister may take action under section 3.32(2)(d) of the Act if the time frames outlined in this determination are not met.

Should you have any enquiries about this matter, I have arranged for Ms Neala Gautam to assist you. Ms Gautam can be contacted on 8289 6881.

Yours sincerely

1/11/2021

Adrian Hohenzollern
Director, Western District
Central River City & Western Parkland City
Department of Planning, Industry and Environment

Encl: Gateway determination



Planning,
Industry &
Environment

Gateway Determination

Planning proposal (Department Ref: PP-2021-6347): *reclassification of a portion of land located at 12 Old Leumeah Road, Leumeah (Campbelltown Sports Ground) from 'Community' to 'Operational' land.*

I, the Director Western at the Department of Planning, Industry and Environment, as delegate of the Minister for Planning and Public Spaces, have determined under section 3.34(2) of the *Environmental Planning and Assessment Act 1979* (the Act) that an amendment to the Campbelltown Local Environmental Plan (LEP) 2015 to reclassify a portion of land located at 12 Old Leumeah Road, Leumeah (Campbelltown Sports Ground) should proceed subject to the following conditions:

1. Public exhibition is required under section 3.34(2)(c) and schedule 1 clause 4 of the Act as follows:
 - (a) the planning proposal must be made publicly available by December 2021 for a minimum of **28 days**; and
 - (b) the planning proposal authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in section 6.5.2 of *A guide to preparing local environmental plans* (Department of Planning and Environment, 2018).
2. No consultation is required with public authorities/organisations under section 3.34(2)(d) of the Act
3. A public hearing is required before March 2022, to be held into the matter by any person or body under section 3.34(2)(e) of the Act.
4. Council must send the planning proposal to the Department, for Governor Approval and finalisation of the LEP.
5. The time frame for completing the LEP is to be **12 months** following the date of the Gateway determination.

1 November 2021.

Adrian Hohenzollern
Director, Western District
Central River City & Western Parkland
City

Department of Planning, Industry and
Environment

**Delegate of the Minister for Planning
and Public Spaces**

PP-2021-6347 (IRF21/4301)

LEP practice note

LOCAL PLANNING

Ref No.	PN 16-001
Issued	5 October 2016
Related	Supersedes PN 09-003

Classification and reclassification of public land through a local environmental plan

The purpose of this practice note is to update guidance on classifying and reclassifying public land through a local environmental plan (LEP). This practice note emphasises the need for councils to demonstrate strategic and site specific merit, includes a comprehensive information checklist and clarifies issues arising for public reserves and interests in land. It should be read in conjunction with *A guide to preparing local environmental plans* and *A guide to preparing planning proposals*.

Classification of public land

Public land is managed under the *Local Government Act 1993* (LG Act) based on its classification. All public land must be classified as either community land or operational land (LG Act ss.25, 26).

- **Community land** – is land council makes available for use by the general public, for example, parks, reserves or sports grounds.
- **Operational land** – is land which facilitates the functions of council, and may not be open to the general public, for example, a works depot or council garage.

What is public land?

Public land is defined in the LG Act as any land (including a *public reserve*) vested in, or under council control. Exceptions include a public road, land to which the *Crown Lands Act 1989* applies, a common, land subject to the *Trustees of Schools of Arts Enabling Act 1902* or a regional park under the *National Parks and Wildlife Act 1974*.

Why classify public land?

The purpose of classification is to identify clearly that land made available for use by the general public (community) and that land which need not (operational). How public land is classified determines the ease or difficulty a council can have dealings in public land, including its sale, leasing or licensing. It also provides for transparency in council's strategic asset management or disposal of public land.

Community land must not be sold, exchanged or otherwise disposed of by a council. It can be leased,

but there are restrictions on the grant of leases and licences, and also on the way community land can be used. A plan of management (PoM), adopted by council, is required for all community land, and details the specific uses and management of the land.

There are no special restrictions on council powers to manage, develop, dispose, or change the nature and use of operational land.

How is public land classified or reclassified?

Depending on circumstances, this is undertaken by either:

- council resolution under ss.31, 32, or 33 (through LG Act s.27(2)), or
- an LEP under the *Environmental Planning and Assessment Act* (through LG Act s.27(1)).

Councils are encouraged to classify or reclassify land by council resolution where suitable.

Classification of public land occurs when it is first acquired by a council and classified as either community or operational.

Reclassification of public land occurs when its classification is changed from community to operational, or from operational to community.

Reclassification through an LEP

Classification and reclassification of public land through an LEP is subject to both the local plan-making process in the EP&A Act and the public land management requirements of the LG Act.

A planning proposal to classify or reclassify public land, will need to be prepared in accordance with this practice note and the additional matters specified in Attachment 1 to this practice note.

Reclassification through an LEP is the mechanism with which council can remove any public reserve status applying to land, as well as any interests affecting all or part of public land (LG Act s.30).

It is critical that all interests are identified upfront as part of any planning proposal. If public land is reclassified from community to operational, without relevant interests being identified and discharged, then the land will need to be reclassified back to community (usually by council resolution under LG Act s.33¹) before being reclassified in a new planning proposal to operational, to explicitly discharge any interests.

While a reclassification proposal to remove the public reserve status of land and/or discharge interests may not necessarily result in the immediate sale or disposal of the land, the community should be aware the public land in question is no longer protected under the LG Act from potential future sale once it has been reclassified to operational.

Councils should obtain their own advice when proposing to discharge any interests and be aware that this may attract a claim for compensation under the *Land Acquisition (Just Terms Compensation) Act 1991*.

Where land has been dedicated to council by a State agency for a particular purpose and a trust exists, it is advisable for council to seek the views of that agency prior to council commencing any planning proposal affecting the land.

Public reserve is defined in the LG Act and includes a public park and land declared or dedicated as a public reserve.

Land can be dedicated as a public reserve by either:

- registering a deposited plan with a statement creating a lot(s) as 'public reserve', or
- publishing a notification in the Government Gazette for an existing parcel.

Interests in land refers to property ownership as well as rights and privileges affecting land, such as leasehold, easements, covenants and mortgages.

For the purpose of reclassification through an LEP, 'interests' means trusts, estates, dedications, conditions, restrictions and covenants affecting the land.

A legal owner of land may not be the only person with an interest in the land. For example, one person may have the benefit of an easement for services, such as water, electricity or sewerage over someone else's land.

Certain interests are registered on title to ensure they are on record and cannot be disregarded if sold to a new owner. An electronic title search is generally conducted to determine the land owner, correct land description and the type of interests which may affect the land.

Standard Instrument LEP requirements

Clause 5.2—Classification and reclassification of public land in Standard Instrument LEPs enables councils to classify or reclassify public land as operational land or community land in accordance with the LG Act. The land to be reclassified or classified is described in Schedule 4 of the LEP.

Schedule 4 is not to refer to any land already classified or reclassified.

Where there is no public land to be classified, or reclassified, through a principal LEP (i.e. the LEP applies to the whole of a local government area), Schedule 4 will appear blank.

Note: At a later stage council may lodge a planning proposal to remove previous listings in Schedule 4. This will not affect the classification status of these parcels of land.

Department assessment

A proposal to classify or reclassify public land through an LEP must have planning merit. The Department will undertake an assessment to determine whether the proposal demonstrates strategic and site specific merit.

Community consultation

Planning proposals to reclassify public land are to be publicly exhibited for at least 28 days.

A copy of this practice note is to be included in the public exhibition materials.

¹ Note: Council is required to give public notice of the proposed resolution and provide a period of at least 28 days during which submissions may be made (LG Act s.34).

Public hearings

Councils must hold a public hearing when reclassifying public land from community to operational (EP&A Act s.57 & LG Act s.29). This gives the community an opportunity to expand on written submissions and discuss issues with an independent person in a public forum.

After the exhibition period has ended, at least 21 days public notice is to be given before the hearing. This allows the person chairing the hearing sufficient time to consider written submissions and all issues raised.

There are specific requirements for the independence of the person chairing the hearing, their preparation of a public hearing report and council making the report publicly available (LG Act s.47G).

Governor's approval

The Governor's approval is required when a reclassification proposal seeks to remove any public reserve status and/or discharge any interests affecting public land (s.30).

When a council reports back to the Department on the community consultation undertaken and requests the Department make the LEP, the Department will arrange legal drafting of the LEP, including recommending the Governor approve the provisions before the LEP can be legally made.

Where the Governor's approval is required, the council's report accompanying the final planning proposal must address:

- council's interests in the land;
- whether the land is a 'public reserve';
- the effect of the reclassification, including loss of open space, any discharge of interests, and/or removal of public reserve status;
- the strategic and site specific merits of the reclassification and evidence to support this;
- any current use of the land, and whether uses are authorised or unauthorised;
- how funds obtained from any future sale of the land will be used;
- the dates the planning proposal was publicly exhibited and when the public hearing was held;
- issues raised in any relevant submissions made by public authorities and the community;
- an explanation of how written and verbal submissions were addressed or resolved; and
- the public hearing report and council resolution.

Authorisation of delegation

Local plan making functions are now largely delegated to councils.

A Written Authorisation to Exercise Delegation is issued to a council as part of the Gateway determination. However, where an LEP requires the Governor's approval, this council delegation cannot be issued. In this instance, the council must request the Department make the LEP.

A decision to classify or reclassify public land cannot be sub-delegated by council to the general manager or any other person or body (LG Act s.377(1)(l)).

Background

On July 1, 1993 when the LG Act commenced, the following land under council ownership or control, was automatically classified as *community* land:

- land comprising a public reserve,
- land subject to a trust for a public purpose,
- land dedicated as a condition of consent under s.94 of the EP&A Act,
- land reserved, zoned or otherwise designated for use under an environmental planning instrument as open space,
- land controlled by council and vested in Corporation Sole - Minister administering the EP&A Act.

Councils must keep a register of land under their ownership or control (LG Act s.53) and anybody can apply to a council to obtain a certificate of classification (LG Act s.54).

Further information

A copy of this practice note, *A guide to preparing planning proposals* and *A guide to preparing local environmental plans* is available at:

<http://www.planning.nsw.gov.au>

For further information, please contact the Department of Planning and Environment's Information Centre by one of the following:

Post: GPO Box 39, Sydney NSW 2001.

Tel: 1300 305 695

Email: information@planning.nsw.gov.au

Authorised by:
Carolyn McNally
Secretary

Important note: This practice note does not constitute legal advice. Users are advised to seek professional advice and refer to the relevant legislation, as necessary, before taking action in relation to any matters covered by this practice note.

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www.planning.nsw.gov.au

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ATTACHMENT 1 – INFORMATION CHECKLIST FOR PROPOSALS TO CLASSIFY OR RECLASSIFY PUBLIC LAND THROUGH AN LEP

The process for plan-making under the EP&A Act is detailed in *A guide to preparing planning proposals* and *A guide to preparing local environmental plans*.

Importantly, *A guide to preparing local environmental plans* contains the Secretary's requirements for matters that must be addressed in the justification of all planning proposals to reclassify public land. Councils must ensure the Secretary's requirements are addressed.

Councils must also comply with any obligations under the LG Act when classifying or reclassifying public land. More information on this can be found in *Practice Note No. 1 - Public Land Management* (Department of Local Government, 2000).

All planning proposals classifying or reclassifying public land must address the following matters for Gateway consideration. These are in addition to the requirements for all planning proposals under section 55(a) – (e) of the EP&A Act (and further explained in *A guide to preparing planning proposals* and *A guide to preparing local environmental plans*).

- ☐ the current and proposed classification of the land;
- ☐ whether the land is a 'public reserve' (defined in the LG Act);
- ☐ the strategic and site specific merits of the reclassification and evidence to support this;
- ☐ whether the planning proposal is the result of a strategic study or report;
- ☐ whether the planning proposal is consistent with council's community plan or other local strategic plan;
- ☐ a summary of council's interests in the land, including:
 - how and when the land was first acquired (e.g. was it dedicated, donated, provided as part of a subdivision for public open space or other purpose, or a developer contribution)
 - if council does not own the land, the land owner's consent;
 - the nature of any trusts, dedications etc;
- ☐ whether an interest in land is proposed to be discharged, and if so, an explanation of the reasons why;
- ☐ the effect of the reclassification (including, the loss of public open space, the land ceases to be a public reserve or particular interests will be discharged);
- ☐ evidence of public reserve status or relevant interests, or lack thereof applying to the land (e.g. electronic title searches, notice in a Government Gazette, trust documents);
- ☐ current use(s) of the land, and whether uses are authorised or unauthorised;
- ☐ current or proposed lease or agreements applying to the land, together with their duration, terms and controls;
- ☐ current or proposed business dealings (e.g. agreement for the sale or lease of the land, the basic details of any such agreement and if relevant, when council intends to realise its asset, either immediately after rezoning/reclassification or at a later time);
- ☐ any rezoning associated with the reclassification (if yes, need to demonstrate consistency with an endorsed Plan of Management or strategy);
- ☐ how council may or will benefit financially, and how these funds will be used;
- ☐ how council will ensure funds remain available to fund proposed open space sites or improvements referred to in justifying the reclassification, if relevant to the proposal;
- ☐ a Land Reclassification (part lots) Map, in accordance with any standard technical requirements for spatial datasets and maps, if land to be reclassified does not apply to the whole lot; and
- ☐ preliminary comments by a relevant government agency, including an agency that dedicated the land to council, if applicable.

Responses to Attachment 1

- The current and proposed classification of the land

The subject site includes both part community and part operational land. The planning proposal seeks to reclassify the community land portion of the site to operational land.

- Whether the land is a public reserve (defined in the LG Act)

The land would not be considered a public reserve under the Local Government Act 1993.

- The strategic and site specific merits of the reclassification and evidence to support this.

The strategic and site specific merits of the reclassification and evidence are outlined within the planning proposal.

- Whether the planning proposal is consistent with council's community plan or other local strategic plan.

The proposed reclassification is considered consistent with Council's community plan and other local strategic plans. Further detail is outlined in the planning proposal.

- A summary of council's interests in the land, including:

1. how and when the land was first acquired (e.g. was it dedicated, donated, provided as part of a subdivision for public open space or other purpose, or a developer contribution)
2. if council does not own the land, the land owner's consent;
3. the nature of any trusts, dedications etc;

Council is the relevant land owner with regards to the subject site. Further information relating to the land is outlined in the planning proposal.

- Whether an interest in land is proposed to be discharged, and if so, an explanation of the reasons why.

As part of the planning proposal, there are no interests proposed to be discharged. The subject site is currently owned by Council in its entirety and there are no interests on the land that would impact on the proposed reclassification.

- The effect of the reclassification (including, the loss of public open space, the land ceases to be a public reserve or particular interests will be discharged).

The reclassification does not seek or achieve to diminish the public open space. The use of the site will continue to operate as a publicly accessible area through the Campbelltown Sports Stadium.

- Evidence of public reserve status or relevant interests, or lack thereof applying to the land (e.g. electronic title searches, notice in a Government Gazette, trust documents);

Title searches for all lots are attached to this planning proposal.

- Current use(s) of the land, and whether uses are authorised or unauthorised

The site currently serves as a sports stadium. Further information relating to the current status of the land is provided in the planning proposal.

- Current or proposed lease or agreements applying to the land, together with their duration, terms and controls;

There are currently no lease agreements applying to the land.

- Current or proposed business dealings (e.g. agreement for the sale or lease of the land, the basic details of any such agreement and if relevant, when council intends to realise its asset, either immediately after rezoning/reclassification or at a later time);

Council does not currently have any business dealings proposed as part of the reclassification of the site. Council will investigate potential uses in the future that will accompany the sporting precinct. Potential uses on the site will relate to business establishment and would thus require a future rezoning for a portion of the site. A rezoning of any portion of the land is not proposed as part of this planning proposal and would be subject to a future planning proposal when appropriate.

- Any rezoning associated with the reclassification (if yes, need to demonstrate consistency with an endorsed Plan of Management or strategy);

Not applicable to this planning proposal.

- How council may or will benefit financially, and how these funds will be used.

The reclassification of the land will unlock further uses of the land and allow Council to investigate potential other uses that would complement and assist the functioning of the Campbelltown Sports Stadium.

- How council will ensure funds remain available to fund proposed open space sites or improvements referred to in justifying the reclassification, if relevant to the proposal.

The Campbelltown Sports Stadium will maintain its use as a useable space for the residents of Campbelltown.

- A Land Reclassification (part lots) Map, in accordance with any standard technical requirements for spatial datasets and maps, if land to be reclassified does not apply to the whole lot.

The extent of the reclassification is outlined in the planning proposal.

- Preliminary comments by a relevant government agency, including an agency that dedicated the land to council, if applicable.

Not applicable.



LAND
REGISTRY
SERVICES

Title Search



NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 2/1019063

SEARCH DATE	TIME	EDITION NO	DATE
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24/5/2021	3:13 PM	4	11/8/2014

LAND

LOT 2 IN DEPOSITED PLAN 1019063
AT LEUMEAH
LOCAL GOVERNMENT AREA CAMPBELLTOWN
PARISH OF ST PETER COUNTY OF CUMBERLAND
TITLE DIAGRAM DP1019063

FIRST SCHEDULE

CAMPBELLTOWN CITY COUNCIL (T 7560578)

SECOND SCHEDULE (21 NOTIFICATIONS)

- 1 LAND EXCLUDES MINERALS (S.141 PUBLIC WORKS ACT, 1912) AS REGARDS THE LAND DESIGNATED (X) IN THE TITLE DIAGRAM AND RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S) AS REGARDS THE RESIDUE
- 2 G868332 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 3 G922754 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 4 G876149 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5 G876150 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 6 G954679 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 7 G908696 COVENANT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 8 K307969 EASEMENT FOR CO-AXIAL CABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 9 DP268962 EASEMENT FOR ELECTRICITY PURPOSES 6 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 10 DP268962 EASEMENT FOR UNDERGROUND MAINS 1 METRE(S) WIDE & VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 11 DP268962 EASEMENT TO DRAIN WATER 2 METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 12 DP1019063 EASEMENT FOR ELECTRICAL SUBSTATION AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 13 DP1019063 EASEMENT TO DRAIN WATER 11.52 METRE(S) WIDE AND

END OF PAGE 1 - CONTINUED OVER

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NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 2/1019063

PAGE 2

SECOND SCHEDULE (21 NOTIFICATIONS) (CONTINUED)

- VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 14 DP1019063 EASEMENT TO DRAIN WATER 2 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 15 DP1019063 RIGHT OF WAY 9.7 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 16 DP1019063 EASEMENT FOR SUPPORT 2.3 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 17 DP1019063 EASEMENT FOR UNDERGROUND CABLES 2 WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 18 DP1019063 EASEMENT TO DRAIN WATER 3.05 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 19 DP1195758 EASEMENT FOR WATER SUPPLY PURPOSES 4 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1195758
- 20 DP1195758 EASEMENT FOR WATER SUPPLY PURPOSES 3 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1195758
- 21 DP1197903 EASEMENT FOR UNDERGROUND CABLES 2 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN DP1197903

NOTATIONS

NOTE: DP625593 (REGISTERED)

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

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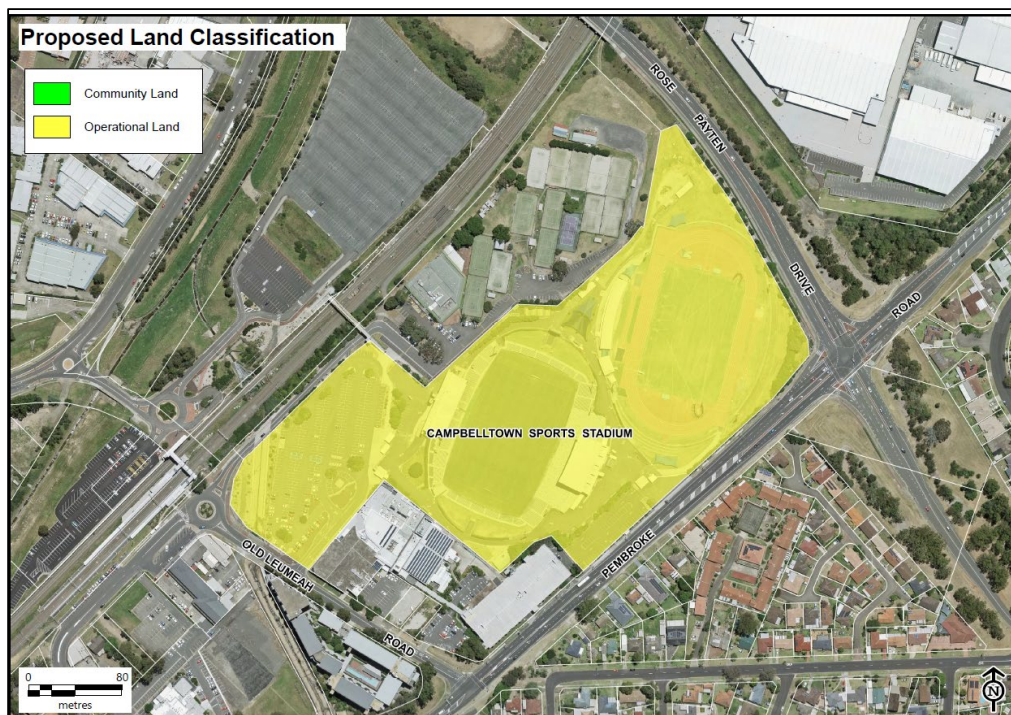
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Land Reclassification Existing Land Classification



Proposed land Classification



8.4 Outcome of Public Exhibition - Evelyn Street, Macquarie Fields Planning Proposal

Reporting Officer

Executive Manager Urban Release and Engagement
City Development

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.8 - Enable a range of housing choices to support different lifestyles

Officer's Recommendation

1. That Council adopt the Planning Proposal at attachment 1, for the Evelyn Street Fringe (Macquarie Fields) with the following post exhibition amendments:
 - a. Rezone only part of the Evelyn Street fringe from E4 (C4) Environmental Living to R2 Low Density Residential. Future proposed lot numbers, 21 and 22 to remain zoned C4 Environmental Living.
 - b. Apply a minimum lot size of 1 ha to the "residue" E4 (C4) Environmental Living zone land, aligning with proposed lots 21, 22 and 15.
 - c. Apply a minimum lot size of 1 ha for dual occupancy on the "residue" E4 (C4) Environmental Living Zone land in the plan area aligning with proposed lots 21, 22 and 15.
 - d. Revert back to the existing 2 ha minimum lot size for land aligning with proposed lots 23, 24, 25 and 26.
2. That subject to recommendation 1, Council forward the Planning Proposal to the Department of Planning and Environment and request the Minister for Planning and Homes finalise the plan.
3. That the persons and agencies responsible for submissions be thanked for their submissions and be advised of Council's decision.
4. That the applicant and owners be advised of Council's decision.

Executive Summary

- The Planning Proposal to rezone the Evelyn Street Fringe, Macquarie Fields from E4 Environmental Living to R2 Low Density Residential was publically exhibited from 11 November 2021 to 9 December 2021.

- Submissions were received from 4 State Agencies and 2 from the community.
- Arising from submissions, it is recommended that the Planning Proposal be amended to remove the most sensitive part of the site. The amended concept plan illustrated in attachment 2 details the potential future subdivision potential of the land which is reduced by 4 lots, compared with the exhibited plan.
- Should Councillors support finalisation of the Planning Proposal, future development applications for subdivision would be required to satisfy the relevant provisions of the *Biodiversity Conservation Act 2016*, the Campbelltown Comprehensive Koala Plan of Management (as revised) and Planning for Bushfire Protection 2019, as a minimum.
- It is recommended that Council not exercise its delegation to finalise the Plan amendment and refer it to the Department of Planning and Environment (DPE) for finalisation and approval by the Minister for Planning and Public Spaces.

Purpose

The purpose of this report is to outline a summary of the submissions received in response to the exhibition of the Planning Proposal to amend the Campbelltown Local Environmental Plan 2015 (CLEP 2015) and to seek Council's approval to forward the amended Planning Proposal to the Minister for Planning and Homes for finalisation.

The site

The real property description of the subject lands at Macquarie Fields is as follows:

- Part Lot 1 DP 533662 (No. 22 Oakley Road)
- Part Lot 100 DP 261125 (No. 109 Evelyn Street)
- Part Lots 8 and 9 DP 826459 (Nos. 18–16 Oakley Road)
- Lot 181 DP 834233 (No. 89 Evelyn Street)
- Lot 305 DP 263295 (No. 87 Evelyn Street)
- Lot 40 DP 623486 (No. 85 Evelyn Street)
- Lot 41 DP 62348 (No. 83A Evelyn Street)
- Lot 1 DP 853374 (No. 58 Wills Road)

Application Number 2755/2016/E-PP

Applicant Planzone Consulting

Land Owners NKG Investments Pty Ltd
Mrs Heather Vivian Palmer
Mr George Edward Palmer
Mr Ivan Henry Ross
Mr Charlie Kairouz
Mrs Loris Kairouz
Mr Jason William John Woodland
Lesley Woodland
Mr Shoukat Ali Cheema
Ms Bushra Shoukat

Mr Michael Vincent Hansen
Mrs Brooke Alison Hansen
Estate of the Late Ms Olga Musa
Ms Lesley Worgan
Mr Wayne James Woodland

History

Council commenced a process to rezone properties on the eastern side of Evelyn Street from Environmental Living E4 to Low Density Residential R2 in February 2018. A Gateway Determination was originally issued by the Department of Planning and Environment on 29 May 2018.

The Planning Proposal proceeded to public exhibition from 21 May 2019 to 21 June 2019, after review of the accompanying specialist studies.

The public exhibition generated submissions from immediate neighbours, service authorities, a community interest group and the NSW Rural Fire Service (RFS) and the Environment, Energy and Science Group (EES).

The submission from EES was extensive and raised major concerns regarding impact on local ecology and consistency with contemporary environmental legislation such as the *Biodiversity Conservation Act 2016* and State Environmental Planning Policy (Biodiversity and Conservation) 2021.

On 10 June 2021, DPE granted a new Gateway Determination which required an updated Flora and Fauna Report, Concept Plan and Bush Fire Management Strategy prior to Public Exhibition. The applicant supplied the reports to Council in October 2021 to satisfy the Gateway conditions.

On 1 November 2021, DPE issued an amended Gateway Authorisation that required public exhibition to commence by 11 November 2021.

In accordance with the Gateway Alteration, re-exhibition of the PP occurred from 11 November 2021 to 9 December 2021.

The exhibition was notified on Council's 'Over to You' webpage and the DPE 'Planning Portal' in accordance with the Environmental Planning and Assessment (Public Exhibition) Regulation 2000 and was supported by the following studies:

Specialist Technical Studies	Author	Date
Planning Proposal	Planzone Consulting	22 August 2016
Stormwater Management Report	Statiker	July 2020
Additional Studies – Post Gateway	Author	Date
Biodiversity Assessment Report	Cumberland Ecology	7 October 2021
Vegetation Assessment Report	Cumberland Ecology	7 October 2021

Bushfire Assessment Report	Bushfire Consulting Services	8 October 2021
Amended Concept Plan and Supporting Maps (Revision 12)	Plan Zone Consulting	5 October 2021

Report

During the exhibition period, Council received 4 State Agency submissions and 2 community submissions.

1. State Agency Submissions

a. NSW Rural Fire Service (RFS)

No concern raised subject to compliance with the recommendations of the exhibited Bushfire Assessment Report.

Response: Noted, no action required.

b. Environment Energy and Science (EES)

The points raised in the submission received from EES relate to the following:

- Objection to the proposed rezoning from E4 (C4) Environmental Living to R2 Low Density Residential based due to adverse impacts upon endangered ecological communities including the Cumberland Plain Woodland and Koala Habitat.

Response: In response to EES comments, the applicant has agreed to modify the Planning Proposal to exclude the most sensitive areas of vegetation from the proposed R2 Low Density Residential zone. It is also proposed to introduce a 1 ha minimum area of subdivision for the excluded "residue" land to be deleted and retain the existing E4 (C4) Environmental Living zoning.

Should Council support finalisation of the Planning Proposal as amended, future development applications for subdivision would need to address the *Biodiversity Conservation Act 2016*, the Campbelltown Koala Plan of Management and Planning for Bushfire Protection 2019, as a minimum.

- Concern raised with the adequacy of environmental assessment and inconsistencies in ecological investigations

Response: The inconsistencies cited by EES are largely occasioned by references to the original 2016 Flora and Fauna Assessment (FFA) and the recently completed and furnished Biodiversity Assessment Report (BAR) and Vegetation Assessment Report (VAR). The FFA did not form part of the re-exhibition material, given its dated nature including changes to prevailing biodiversity legislation and field survey observations and conclusions.

The adequacy concerns raised by EES largely focus upon an expectation that a Biodiversity Development Assessment Report (BDAR) would be provided. However, this level of assessment is only required at the development application stage.

Similarly, EES have raised concern regarding the potential for a serious and irreversible impact (SAIL) and the need for a relevant assessment. Again such an investigation is more relevant at the development application stage.

Notwithstanding, the concerns have been actioned by removing the more sensitive ecological areas from the proposed land zoning map.

- Concern raised that the full impact on threatened species is not known.

Response: As required, the applicant commissioned a Stage 1 Biodiversity Assessment Method (BAM) study to arrive at conclusions in respect of potential adverse ecological impacts. In accordance with the Study, further refinement and avoidance of biodiversity values has been made to the proposed land zoning map and concept subdivision.

A full assessment of impact would occur at the development application stage via the submission of a Biodiversity Development Assessment Report (BDAR).

- Concern that the R2 Low Density Residential zone objectives are incompatible with the prevailing ecological values. Therefore, the land should retain its current E4 (C2) Environmental Living Zone.

Response: The extent of the proposed R2 Low Density Residential zone has been reduced to retain further Cumberland Plain vegetation within the existing E4 (C4) Environmental Living "residue" land.

- Concern that the proposal is inconsistent with the Ministerial Section 9.1 Direction, 3.1 Environmental Protection zones.

Response: Ministerial Direction 3.1 requires that environmentally sensitive areas are not compromised. The Planning Proposal is considered to be justifiably inconsistent with the Direction on the grounds that over 59 per cent of surveyed vegetation communities would be retained on C4 Environmental Living zoned land, and further protected by the post exhibition amendments detailed in Section 3 below.

Notwithstanding, future development would likely trigger the Biodiversity Offset Scheme (BOS) provisions and require the preparation of a Biodiversity Development Assessment Report (BDAR) in accordance with the Biodiversity Assessment Method (BAM). Additionally, should significant threatened species be impacted, the Environment Protection Biodiversity Conservation Act 1999 may be triggered and require a controlled activity approval from the Commonwealth.

- The EES requested more detailed and accurate plans.

Response: The level of plan documentation submitted is consistent with the Gateway requirement and appropriate to arrive at sufficiently rigorous conclusion.

- Concern raised there is no certainty that Clause 7.20 of CLEP 2015 and the final layout plan would protect ecologically sensitive land.

Response: In addition to Clause 7.20 of the CLEP 2015, the protection of environmentally sensitive land is primarily addressed via the requirements of the *Biodiversity Conservation Act 2016*.

- EES suggest a site specific DCP chapter would be critical to advancing the proposal. Suggested controls may include pre-clearing of vegetation, relocation and reuse of native vegetation, native seed and logs, farm dam dewatering and revegetation and landscaping.

Recommendation: As the proposal would not involve future development of roads or other features of a precinct plan, it is not considered appropriate to prepare development controls for the subject land. Future subdivision would be capable of assessment in accordance with the existing chapters of the Campbelltown (Sustainable City) development Control Plan. The suggested controls would be appropriately addressed as future conditions of subdivision if supported for finalisation.

c. Endeavour Energy

An extension and/or augmentation of the existing local network may be required, but details cannot be established until a final application and assessment.

Response: Noted, no action required.

d. Sydney Water

Sydney Water advise that most proposed lots could be serviced with reticulated water and sewer facilities. However, some would require waste water pumping.

Recommendation: Noted, no action required. The applicant would be required to obtain a Section 73 certificate from Sydney Water as a future subdivision requirement.

e. Jemena Gas Networks (Jemena)

Jemena advised that it does not currently operate low to medium pressure gas mains nor high pressure pipelines within the locality. No concern raised.

Response: Noted, no action required

f. Transport for NSW (TfNSW)

No concern raised.

Response: Noted, no action required

2. Public Submissions

Two submissions were received from the public as summarised below:

a. 56 Wills Road, Macquarie Fields

- The proposed rezoning is the precursor for the whole area to be subdivided

Response: This is not the case. Council's policy position and Local Strategic Planning Statement (LSPS) does not identify any further nearby land for rezoning. Additionally, nearby land is largely subject to more significant ecological constraint.

- Adverse impact on the Koala population

Response: Local survey indicates there is limited Koala activity in the locality, despite proximity to the broader Georges River open space reserve. Future development applications would be subject to assessment in accordance with the Campbelltown Koala Plan of Management. Concern regarding the prospect of significant vegetation removal are addressed in Section 3 below.

- Unauthorised tree removal

Response: Some unauthorised impact on existing trees is the subject of separate compliance action by Council.

- Concern with future tree removal

Response: Future tree removal would be assessed in accordance with the requirements of the *Biodiversity Conservation Act 2016* and Council's Comprehensive Koala Plan of Management. As detailed in the applicant's Biodiversity Assessment Report, over 59 per cent of low and medium quality vegetation is capable of retention by the proposal.

The prospect of tree removal would be further reduced by post exhibition amendments outlined in Section 3 below.

- Concern with potential friction with future neighbours

Response: This is not a planning consideration.

- Concern with contributory negative Heat Island Effect

Response: Maximum vegetation retention is central to the amended proposal. Additionally, formal tree planting in the street reserve and potentially on-site would contribute to a balanced green versus grey outcome.

- Concern with adverse impacts of increased traffic in Evelyn Street and related safety

Response: The existing traffic network is more than capable of safely accommodating a modest increase in traffic, as attested to in the accompanying traffic assessment. Additionally, a proposed reduction in the amount of land to be rezoned and commensurate reduction in proposed lot yield and associated traffic generation would further reduce the perceived impact.

- Concern with overland stormwater flows and impacts on local ground water and the Georges River

Response: Stormwater can be adequately managed in respect of quantity and quality by a number of alternate stormwater management strategies. These strategies are broadly accepted in catchments such as the immediate Georges River.

Adverse groundwater impacts are unlikely given the prevailing shale-sandstone geology of the locality.

- Concern with adverse impacts upon fauna generally

Response: The proposal seeks to minimise the impact on vegetation and habitat. Further domestic and street tree plantings would assist to enhance local biodiversity outcomes.

b. 14 Oakley Road, Macquarie Fields

- Support subject to inclusion of the subject property in the rezoning/subdivision proposal

Response: Property No. 14 Oakley Road is not identified for potential rezoning in Council's policy position or the Local Strategic Planning Statement (LSPS).

Additionally, the land contains significant remnant vegetation that links to the Georges River.

- Concern with lack of information surrounding infrastructure/service provision and lack of masterplan

Response: The proposal has demonstrated that satisfactory service infrastructure can be provided. Any need for future easements would be addressed by the applicant at the subdivision stage.

3. Summary of post exhibition amendments

In response to the submission from EES, the following table of post exhibition amendments is recommended as illustrated in Annexure A of the Planning Proposal at attachment 1 and proposed lots illustrated in attachment 2.

LEP Clause or Map	Reason
Amend the Land Use Zoning map and associated maps to reduce the proposed R2 Low Density zone, aligning with proposed lots 16, 17, 18, 19 and 20 in the revised Concept Plan.	In accordance with the EES submission and principle of avoidance, a reduced residential zoning is appropriate to avoid the most ecologically sensitive parts of the land.
Retain the E4(C4) zoning for the residue land, aligning with proposed lots 21, 22 and 15 in the revised Concept Plan.	In accordance with the EES submission and principle of avoidance, the most sensitive land will retain its current land use zone.
Amend the minimum lot size map for the residue E4 (C4) parcels from 2 ha to 1 ha, aligning with proposed lots 21, 22 and 15 in	The introduction of a 1 ha minimum area lot size would allow excision of the proposed allotments on R2 zoned land, while preventing

the revised Concept Plan.	further re-subdivision of the ecologically sensitive residue parcels. This will lead to a reduction of 4 proposed lots from the concept plan.
Amend the minimum lot size map for land aligning to proposed lots 23, 24, 25 and 26 to 2 ha as originally proposed.	The retention of this minimum lot size would preserve the ecological integrity of these large residue parcels and the vegetation as a community.
Apply a minimum lot size of 1 ha for dual occupancy development on residue E4 (C4) lands, aligning with proposed lots 21, 22 and 15	This would preclude the impact of dual occupancy development in the more sensitive ecological parts of the site.

Statutory Considerations

Having regard to the proposed amendments to the Planning Proposal, Clause 3.36(2)(a) of the *Environmental Planning and Assessment Act 1979*, provides that the local plan making authority may, following the completion of community consultation, make a local environmental plan with or without variation, in the terms the local plan-making authority considers appropriate.

As reported above, and as outlined in the recommendation to this report, amendments to the exhibited plan are proposed. The amendments are considered minor in nature and are in response to submissions received during the exhibition period.

Having regard to the minor nature of the proposed amendments, it is considered that in accordance with Clause 3.36(2)(a), Council has the authority to make the plan without the need for re-exhibition. As such it is recommended that Council resolve to forward the Planning Proposal to the Minister for Planning and Homes for finalisation.

Conclusion

Six submissions were received during the public exhibition of the Planning Proposal, of which 4 were from State Agencies and 2 from the community.

In response to concerns by the Environment, Energy and Science Group Branch, the proposal has been amended to reduce the future opportunity for subdivision by protecting addition areas of Cumberland Plain Woodland and Koala Habitat, thereby demonstrating greater consistency with the Local Planning Directions issued in accordance with Section 9.1 of the *Environmental Planning and Assessment Act 1979* in relation to biodiversity and conservation.

As the proposal is generally consistent with Council's adopted policy position on the Eastern Edge Lands and Local Strategic Planning Statement, it is considered the amended Planning Proposal demonstrates strategic and site specific merit.

Accordingly, it is recommended that Council adopt the Planning Proposal attached to this report and forward to the Minister for Planning and Homes for finalisation.

Attachments

1. Post Exhibition - Evelyn Street (New Gateway) Planning Proposal 4-11 (contained within this report) [↓](#)
2. Concept Plan (contained within this report) [↓](#)



Planning Proposal Evelyn Street, Macquarie Fields

Proposed amendment of Campbelltown Local Environmental Plan 2015

**(Refer to the Addendum at the end of this Planning
Proposal for updates in response to the Gateway
Determination dated 10 June 2021)**

**This Post Exhibition version provides relevant updates and
includes amendments in response to consideration of submissions
received during Public Exhibition/Consultation in
November/December 2021.**

**The maps/plans of annexures 1 and 3 supersedes those of
Addendum dated 28 October 2021.**

Definitions and abbreviations

CLEP 2015 means Campbelltown Local Environmental Plan 2015

DCP means Development Control Plan

DPIE means Department of Planning, Industry and Environment

EP&A Act 1979 means *Environmental Planning and Assessment Act 1979*

GSC means Greater Sydney Commission

LGA means local government area

M means metres

PP means Planning Proposal

PPR means Planning Proposal Request

SEPP means State Environmental Planning Policy

SQM means square metres

Introduction/Background

The East Edge Scenic Protection Lands form a strategic transitional landscape unit generally located between the eastern urban edge of Campbelltown City and the proposed "Georges River Parkway" (Road). The Landscape Unit has been the subject of numerous scenic landscape and urban capability investigations over recent years.

Council at its Ordinary meeting of 21 June 2016, reinforced the broad-ranging development principles for the future of the Landscape Unit, including the East Edge Scenic Protection Lands – Macquarie Fields – EEC1, which includes the Evelyn Street Fringe. Refer to Figure 1 for the extent of the Edgelands.

The policy position in the Council report of 21 June 2016, in relation to the Macquarie Fields Evelyn Street Fringe Precinct, reflects the transition from the existing residential density, generally 500 sqm to large lot sewered 4,000 sqm allotments. These later lots would generally occupy land with frontage to Oakley Street.

This foundation principle evolved during the review of a Planning Proposal Request (PPR) submitted for the part of the Macquarie Fields EEC1 precinct known as the Evelyn Street Fringe Precinct and during the advancement of a recently terminated Planning Proposal for the land.

More recently, the precinct has been identified in the Campbelltown Local Strategic Planning Statement Structure Plan as a 'Potential Transition Area.' Additionally, the Campbelltown Local Housing strategy identifies the need for housing diversity, including the target market underpinning this PP.

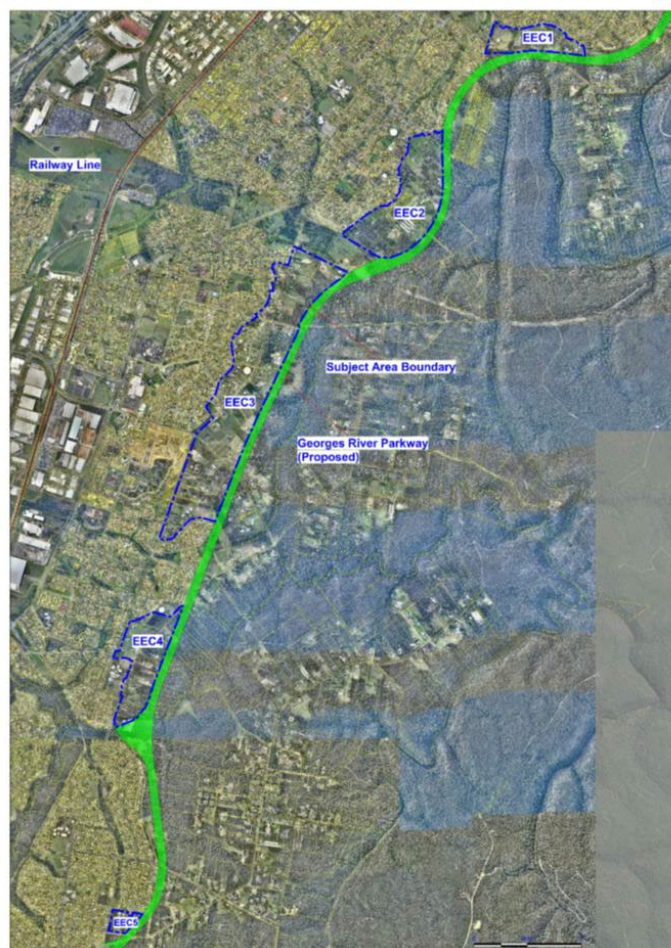
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Figure 1 EEC Precincts

Existing Situation

The land holding comprises approximately 9.75 ha of rural residential land, containing seven properties generally with frontage to Evelyn Street and Oakley Road, Macquarie Fields. It forms part of the eastern edge of the suburb of Macquarie Fields and is part of a landscape unit, which is known as the East Edge Scenic Projection Lands or 'the Edgelands'. Generally, to the east, is Oakley Road, which forms a clear divide to the densely vegetated Georges River environs.

The land is located approximately 1.25 km from the Glenquarie Centre, 2 km from Macquarie Fields Station and 2.5 km from Ingleburn Station.

An aerial photograph extract of the subject site in its immediate context is produced below.

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Figure 2 Subject Site and Immediate Locality

The real property description of the subject lands at Macquarie Fields is as follows:

- Part Lot 1 DP 533662 (No. 22 Oakley Road)
- Part Lots 8 and 9 DP 826459 (Nos. 18-16 Oakley Road)
- Part Lot 100 DP 261125 (No. 109 Evelyn Street)
- Lot 9 DP 852014 (No. 91 Evelyn Street)
- Lot 181 DP 834233 (No. 89 Evelyn Street)
- Lot 305 DP 263295 (No. 87 Evelyn Street)
- Lot 40 DP 623486 (No. 85 Evelyn Street)

The site occupies an urban edge location with a generally open wooded character. The site has access to reticulated service provision, some of which would need to be extended onto the site and augmented.

Part 1 – Objectives or Intended Outcomes

The objective of the Planning Proposal (PP) is to amend Campbelltown Local Environmental Plan 2015 (CLEP 2015) to facilitate the development of the subject lands for low density residential purposes and to reinforce the C4 Environmental Living zoning for "residue: lands, as depicted conceptually in Annexure (1).

In seeking to realise this objective, the PP aims to deliver the following outcomes:

- a subdivision template with "transitional" 500 m² minimum area allotments for land proposed to be zoned R2 and relevant planning standards for residue lands;
- strategic vegetation, bushfire hazard and landscape character management;

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- sensitive integration with the existing residential interface;
- a strategic approach to community and physical infrastructure impact; and
- augmentation and reticulation of all essential services.

(1) Note – The Concept Plan reflecting the intended outcomes and produced at attachment B5 in the addendum has been further revised and forms annexure 3 has been amended in response to submissions received during the recent exhibition/consultation phase.

Part 2 - Explanation of provisions

It is proposed that CLEP 2015 be amended, for the land identified, as detailed below.
(Refer to Annexure 1)

- Rezone only part of the Evelyn Street fringe from E4 (C4) Environmental Living to R2 Low Density Residential. Future proposed lot numbers, 21 and 22 to remain zoned C4 Environmental Living.
- Apply a minimum lot size of 1 ha to the “residue” E4 (C4) Environmental Living zone land, aligning with proposed lots 21, 22 and 15.
- Apply a minimum lot size of 1 ha for dual occupancy on the “residue” E4 (C4) Environmental Living Zone land in the plan area aligning with proposed lots 21, 22 and 15.
- Revert back to the existing 2 ha minimum lot size for land aligning with proposed lots 23, 24, 25 and 26.

Part 3 - Justification

Section A – Need for the Planning Proposal

Is the planning proposal a result of an endorsed local strategic planning statement, strategic study or report?

The PP is generally consistent with a review of the planning provisions for the Eastern Edge Lands locality (Council meeting of 21 June 2016) and reinforced as a Transition Area in the Campbelltown Local Strategic Planning Statement Structure Plan.

It is noted that the PPR submitted in respect of the subject land is a professionally compiled report supported by a range of specialist studies. The subject reports were augmented/refined as the former Planning Proposal was advanced.

The supporting reports address the following specific areas:

- contamination;
- storm water management;
- traffic management and accessibility;
- service infrastructure provision;

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- ecology - updated in 2021 (Refer to Addendum dated 28 October 2021)
- bushfire management – updated in 2021 (Refer to Addendum dated 28 October 2021)
- concept subdivision layout plan – updated in 2021 (Refer to Addendum 28 October 2021 which has been further refined post exhibition and produced as Annexure “3”); and
- planning framework compliance.

This final form of the Planning Proposal Reflects a response to matters raised during the public exhibition/ consultation phase.

Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The PP is considered to be the best means of achieving the planning objective and intended outcomes detailed in Part 1. There are no other relevant means of accommodating the proposed development than to amend CLEP 2015 as proposed in this PP.

Section B – Relation to Strategic Planning Framework

Will the planning proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

Greater Sydney Region Plan – A Metropolis of Three Cities

The Metropolis of Three Cities (GSRP) has been prepared by the NSW State Government to guide land use planning decisions for the next 20 years. The Plan sets a strategy for accommodating Sydney's future population growth and identifies the need to deliver 817,000 new jobs and 725,000 new homes by 2036. The Plan identifies that the most suitable areas for new housing are in locations close to jobs, public transport, community facilities and services. An assessment of the proposal against the relevant Directions and Objectives of the GSRP is provided in Table 1. (Refer to Annexure 2)

The proposal is generally consistent with the Plan particularly as the proposal seeks to ensure that development is aligned with the existing urban zoning of adjoining land, is within relatively close proximity to the Glenquarrie Centre and can access the metropolitan rail service at Macquarie Fields or Glenfield Stations. The proposal also provides housing diversity in the form of larger lots some of which occur in a natural woodland setting.

Western City District Plan - Connecting Communities

The Western City District Plan (WCDP) as updated in March 2018 when endorsed. It establishes more detail in respect of the GSRP with regard to the anticipated sustainable growth in housing and employment in the Western District and amongst other things, is intended to inform the assessment of planning proposals.

The PP is considered to be consistent with the WCDP, in that it is consistent with the following relevant Directions and Planning Priorities summarised below and detailed in Table 1. (Refer to Annexure 2)

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Planning Priority	Comments on consistency
W1 – Planning for a city supported by infrastructure	Objective 4 - Infrastructure is Optimised.
W3 – Providing Services and social infrastructure to meet peoples changing needs	Objective 6 – Services and Infrastructure meet communities' changing needs.
W5: Providing housing supply, choice and affordability, with access to jobs and services	Objective 10 – Housing is more diverse and affordable
W6 – Creating and renewing great places and local centres and respecting the Districts Heritage	Objective 12 – Environmental Heritage is identified, conserved and enhanced
W12 – Protecting and improving the health and enjoyment of the Districts waterways	Objective 25 – The coast and waterways are protected and healthier
W15 - Increasing urban tree canopy cover and delivering Green Grid connections	Objective 30 – Urban Tree Canopy is increased
W19 – Reducing carbon emissions and managing energy, water and waste efficiently	Objective 33 – A low carbon city contributes zero emissions by 2050 and mitigates climate change.
W20 – Adopting to the impacts of urban and natural hazards and climate change	Objective 37 – Exposure to natural and urban hazards is reduced.

Campbelltown Local Environmental Plan 2015 (CLEP 2015)

The Campbelltown Local Environmental Plan 2015 (CLEP 2015) is the principal environmental planning instrument for the City of Campbelltown. The proposed changes to the CLEP 2015 are detailed in Parts 2 Explanation of Provisions and Part 4 Mapping of this PP.

The objectives and permitted uses of the R2 Low Density Residential zone are reproduced below:

Zone R2 Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To enable development for purposes other than residential only if that development is compatible with the character of the living area and is of a domestic scale.
- To minimise overshadowing and ensure a desired level of solar access to all properties.
- To facilitate diverse and sustainable means of access and movement.

2 Permitted without consent

Home occupations

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3 Permitted with consent

Attached dwellings; Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Emergency services facilities; Environmental facilities; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Home-based child care; Home businesses; Home industries; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (outdoor); Respite day care centres; Roads; Schools; Semi-detached dwellings; Tank-based aquaculture

4 Prohibited

Any development not specified in item 2 or 3

Campbelltown Local Environmental Plan 2015 (Amendment No.24)

Amendment No. 24 to CLEP 2015 as published on the NSW Legislation website on 23 April 2021 is noted to have included an update to the Terrestrial Biodiversity Map to accompany Clause 7.20 that now identifies part of the site to comprise biodiversity significance. The land contains 2.38 hectares of the Cumberland Plain Woodland, a critically endangered community. This vegetation is also mapped on the NSW Government's Biodiversity Values Map and would trigger entry into the Biodiversity Offset Scheme if clearing is proposed. Compliance with Clause 7.20, in association with the existing *Biodiversity Conservation Act 2016* would likely require further revision of the concept subdivision plan to minimise tree removal.

The update of the Terrestrial Biodiversity Map is consistent with Planning Priority W14 of the Wester District Plan.

Campbelltown (Sustainable City) Development Control Plan, 2015

This DCP provide a compendium of general controls for subdivisions and subsequent residential development.

The sensitivities of the site are such that a site specific part should be added to Volume 2 of the DCP. Such supplementary DCP material should accompany any public exhibition/consultation in respect of the PP.

1. Is the Planning Proposal consistent with Council's local strategy or other local strategic plan?

Local Strategic Planning Statement 2019

The Local Strategic Planning Statement details Campbelltown City Council's plan for the community's social, environmental and economic land use need over the next 20 years. The LSPS provides context and direction for land use decision making within the Campbelltown Local Government Area (LGA). It seeks to:

- provide a 20 year land use vision for the Campbelltown LGA
- outline the characteristics that make our city special
- identify shared values to be enhanced or maintained

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- direct how future growth and change will be managed

The LSPS responds to the District and Regional Plans and to the community's documented aspirations. The document establishes planning priorities to ensure that the LGA thrives now and remains prosperous in the future, having regard to the local context. The PP is consistent with the draft LSPS with the specific actions relevant to the PP discussed below, with a broader overview in Table 2 of Annexure 2.

LSPS Action	Comment
2.5 Contain urban development to existing urban areas and within identified growth and investigation areas, in order to protect the functions and values of scenic lands and the Metropolitan Rural Area (MRA).	<p>The proposal is on the fringe of the existing residential extent of Macquarie Fields. Although the land forms part of the Metropolitan Rural Area, it is designated in the LSPS Structure Plan as a 'Potential Transition Area' in a manner consistent with Council's established policy position of 21 June 2016.</p> <p>Additionally, the proposal has been previously assessed as being sufficiently consistent with an evolving East Edge Scenic Protection Lands vision.</p>
3.6: Identify and promote the conservation of environmental heritage and sensitive environmental areas including the Georges River Corridor Landscape, Scenic Hills and Wedderburn.	<p>The proposal has been amended to delete the areas of relatively greater environmental sensitivity. Only incidental trees remain on the land to be rezoned. R2-Low density residential Development will still need to comply with the <i>Biodiversity Conservation Act 2016</i> and Council's Comprehensive Koala Plan of Management made in accordance with SEPP (Koala Habitat Protection) 2019.</p> <p>New residents would be encouraged to maintain street plantings and undertake relevant 'domestic' plantings.</p>
5.6: Work in collaboration with relevant stakeholders to review and implement the recommendations of the Visual Analysis of Campbelltown's Scenic Hills and East Edge Scenic Protection Lands study	<p>The Draft Visual and Landscape Analysis of the Scenic Hills and the East Edge Scenic Protection Lands study was considered by Council at its meeting on 18 October 2011, where the Study was adopted as an important contributory element to the preparation of Draft CLEP 2014 (then known as Draft CLEP 2013). The CLEP is noted to have been finally adopted as CLEP 2015</p> <p>The subject landscape unit has evolved and a variant of the Woodland housing model is proposed interfacing with the more sensitively vegetated part of the site.</p>

In summary, the PP is generally consistent with the actions of the LSPS as a potential transition area.

Campbelltown Local Housing Strategy 2020

The Campbelltown Local Housing Strategy (CLHS) was endorsed at Council's Extraordinary Meeting of 29 September 2020 and endorsed by the Department of Planning, Industry and Environment (DPIE) on 7 July 2021 (subject to certain

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requirements). Its primary aim is to examine the housing needs of Campbelltown's current and potential future residents and puts forward an evidence based approach to managing sustainable housing growth to 2036.

Council has prepared the CLHS to align with the updated CLEP 2015 and WCDP, which is relevant to the future zoning of the subject land.

The housing vision for Campbelltown LGA is to provide sustainable, high quality housing options to meet the diverse accommodation needs of the local community and future population growth.

The objectives of the CLHS are as follows:

- Meet the housing needs of the future population.
- To support urban containment.
- To provide for housing that meets the needs of all households.
- To encourage the provision of new housing in locations that support the 30 minute city principle.
- To encourage the planning of housing within neighbourhoods.
- Manage the development of Greenfield release areas.
- Facilitate the urban renewal of walkable catchments
- Support housing growth in the Campbelltown CBD
- Plan for incremental growth through infill development which is compatible with the desired neighbourhood character.
- Promote high quality and environmentally sustainable residential environments.

The PP is generally consistent with the relevant objectives detailed above and is envisaged for urban development as a transition area.

Campbelltown Community Strategic Plan – Campbelltown 2027

The Campbelltown City Community Strategic Plan (CSP) is a 10 year vision that identifies the main priorities and aspirations for the future of the Campbelltown City Local Government Area (LGA) and is Council's long term plan to deliver the community inspired vision.

The CSP acknowledges the need to provide for housing diversity and affordability in a structured way, whilst preserving the important natural attributes of the LGA and facilitating its promotion.

The PP is consistent with the CSP and would specifically facilitate delivery of the key outcomes as detailed below.

Table 2	
CSP Outcome	Statement of Consistency
Outcome 1	
A vibrant, liveable city	<ul style="list-style-type: none"> • The Proposal provides for greater housing choice and diversity.
Outcome 2	

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A respected and protected natural environment	<ul style="list-style-type: none"> The Proposal includes some ecologically sensitive and bushfire prone lands which can be managed through an appropriate final layout plan and compliance with prevailing legislation and planning guidelines
Outcome 3	
A thriving, attractive city	<ul style="list-style-type: none"> The Proposal would add an extra dimension to local housing opportunities in a unique setting
Outcome 4	
A successful city	<ul style="list-style-type: none"> The Proposal seeks to increase urban development in a location/setting that leverages off existing facilities and services.

2. Is the Planning Proposal consistent with applicable State Environmental Planning Policies?

The following State Environmental Planning Policies (SEPPs) are relevant to the PP.

Table 7	
Assessment Against State Environmental Planning Policies	
SEPP	Evaluation
State Environmental Planning Policy (Biodiversity and Conservation) 2021	
Vegetation in Non Rural Areas	The subject land constitutes non rural land and approval would be required for any vegetation clearing.
Koala Habitat Protection	In accordance with the provisions of Koala Habitat Protection 2021 any future development application for subdivision must be consistent with the Campbelltown Comprehensive Koala Plan of Management.
Bushland in Urban Areas	The proposal may entail limited removal of bushland in an urban area. The provisions of Clause 7.20 of CLEP 2015 and the Biodiversity Conservation Act will need to be complied with.
Georges River Catchment	The proposal is consistent with the relevant planning principles and requirements as is particularly evidenced by the ability to control storm water quality.
Consistency: The proposal is generally consistent with the SEPP.	
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	
Consistency: The proposal is not inconsistent with the potential application of the SEPP in future development applications.	
State Environmental Planning Policy (Housing) 2021	
Affordable Housing	The Proposal does not preclude development for affordable housing, although the prospects of such form of

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	housing are particularly remote given the proposed underlying planning standards.
Diverse Housing	Development of secondary dwellings can potentially occur in an integrated manner. Group homes are not precluded. The prospects of co-living housing and “build-to-rent” are unlikely. Development for seniors and/or disabled housing is not precluded, although vegetation and bushfire hazard planning would generally preclude this form of housing. Short term retail accommodation is not precluded, but is unlikely to occur.
Manufactured House Estates	The provisions do not apply to the Campbelltown Local Government Area.
Caravan Parks	The provisions are not relevant to the subject proposal.
Consistency: The Proposal is not inconsistent with the potential application of the SEPP	
State Environmental Planning Policy (Precincts – Western Parkland City) 2021	
	There are no provisions that relate directly to the Proposal.
Consistency: The Proposal is consistent with the SEPP	
State Environmental Planning Policy (Resilience and Hazard) 2021	
Remediation of Land	A Phase One (P1) contamination investigation was undertaken and identified, limited areas of environmental sensitivity. The P1 was subsequently supplemented with a Phase 2 (P2) Environmental Assessment. Elevated chemical levels were identified in limited locations and subject to implementation of a relevant Remedial Action Plan, the land is considered to be capable of suitable remediation.
Consistency: The Proposal is consistent with the SEPP	
State Environmental Planning Policy (Transport and Infrastructure) 2021	
	Certain Infrastructure required to service residential development would be permissible with the SEPP.
Consistency: The Proposal is consistent with the SEPP	
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	
Sustainable Residential Development	The Proposal is not inconsistent with the future application of the BASIX scheme.
Consistency: The proposal is consistent with the SEPP	

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3. Is the Planning Proposal consistent with applicable Ministerial Directions (S9.1 directions)?

The PP is generally consistent with the Section 9.1 directions issued by the Minister for Planning. A detailed commentary in respect of the relevant Section 9.1 directions is shown below.

Table 8
Assessment Against Relevant S9.1 Ministerial Directions
Focus Area 1 – Planning Systems
1.1 Implementation of Regional Plans (previously 5.10)
The objective of this direction is to give legal effect to the vision, land use strategy, goals, directions and actions contained in Regional Plans.
Assessment – Consistent – The Planning Proposal is considered to be consistent with the Western City District Plan (Refer to Annexure “2”). Furthermore, the Proposal is not included in the draft Greater Macarthur 2040 Structure Plan for Urban Renewal Areas.
1.2 Development of Aboriginal Land Council Land (previously 5.11)
The objective of this direction is to provide for the consideration of development delivery plans prepared under Chapter 3 of the State Environmental Planning Policy (Planning Systems) 2021 when planning proposals are prepared by a planning proposal authority.
Assessment – Consistent – The Planning Proposal is consistent with this SEPP as the subject land is not identified to be Aboriginal Land.
1.3 Approval and Referral Requirements (previously 6.1)
The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.
Assessment – Consistent - The Planning Proposal does not alter the provisions relating to approval and referral requirements
1.4 Site Specific Provisions (previously 6.3)
The objective of this direction is to discourage unnecessarily restrictive site-specific planning controls.
Assessment – Consistent The Planning Proposal pertains to amendments to the ‘standard instrument’ Campbelltown LEP 2015. No site specific provisions are proposed to be introduced to Campbelltown LEP 2015, via the Proposal.
1.5 Parramatta Road Corridor Urban Transformation Strategy
Does not apply to Campbelltown City Council
1.6 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan
Does not apply to Campbelltown City Council
1.7 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan
Does not apply to Campbelltown City Council
1.8 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation
Does not apply to Campbelltown City Council
1.9 Implementation of Glenfield to Macarthur Urban Renewal Corridor
The Proposal is not included in the Greater Macarthur Urban Renewal Corridor
1.10 Implementation of the Western Sydney Aerotropolis Plan
Does not apply to Campbelltown City Council
1.11 Implementation of Bayside West Precincts 2036 Plan
Does not apply to Campbelltown City Council
1.12 Implementation of Planning Principles for the Cooks Cove Precinct
Does not apply to Campbelltown City Council

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1.13 Implementation of St Leonards and Crows Nest 2036 Plan
Does not apply to Campbelltown City Council
1.14 Implementation of Greater Macarthur 2040
The Proposal is not inconsistent with the Greater Macarthur 2040 Interim Plan. It is not included in the urban renewal corridor or land release area structure plans. Furthermore, it is not inconsistent with many of the underlying planning principles and an extension of their application.
1.15 Implementation of the Pyrmont Peninsula Place Strategy
Does not apply to Campbelltown City Council
1.16 North West Rail Link Corridor Strategy
Does not apply to Campbelltown City Council
Focus Area 2 – Design & Place
The Principles for Well-designed Places establish quality design approaches for new development, public spaces and the environment. They promote the design of places that are healthy, sustainable, prosperous, and supportive of people, the community and Country.
Not applicable at this time
Focus Area 3 – Biodiversity & Conservation
The Principles for Natural Environment & Heritage recognise the fundamental importance of protecting, conserving and managing NSW's natural environment and heritage. They help balance the needs of built and natural environments, respecting both the innate and economic value of the state's biodiversity and natural assets.
3.1 Conservation Zones (previously 2.1 Environment Protection Zones)
The objective of this direction is to protect and conserve environmentally sensitive areas.
Assessment - The Planning Proposal is considered to be justifiably inconsistent with the Direction on the grounds that over 59 per cent of surveyed vegetation communities would be retained on C4 Environmental Living zoned land, and further protected by the post exhibition amendments.
Notwithstanding, future development would likely trigger the Biodiversity Offset Scheme (BOS) provisions and require the preparation of a Biodiversity Development Assessment Report (BDAR) in accordance with the Biodiversity Assessment Method (BAM). Additionally, should significant threatened species be impacted, the EPBC Act may be triggered and require a controlled activity approval from the Commonwealth.
3.2 Heritage Conservation (previously 2.3)
The objective of this direction is to conserve items, areas, objects and places of environmental heritage significance and indigenous heritage significance.
Assessment – Consistent – The site is not listed or adjoin areas of heritage significance.
3.3 Sydney Drinking Water Catchments (previously 5.2)
The objective of this direction is to protect water quality in the Sydney drinking water catchment.
Assessment – Consistent – The subject location in the Georges River catchment does not form part of the Sydney Drinking Water Catchment.
3.4 Application of C2 and C3 Zones and Environmental Overlays in Far North Coast LEPs
Not applicable to Campbelltown Local Government Area
3.5 Recreation Vehicle Areas (previously 2.4)
The objective of this direction is to protect sensitive land or land with significant conservation values from adverse impacts from recreation vehicles.

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Assessment – Consistent – The Proposal does not propose to facilitate development for the purpose of a recreation vehicle area.

Focus Area 4 – Resilience & Hazards

The Principles for resilience and Hazards aim to improve responses to natural and development-related hazards, and climate change. They support methods to consider and reduce risk. The principles promote healthy, resilient and adaptive communities, urban areas and natural environments.

4.1 Flooding – (previously 4.3)

The objectives of this direction are to:

- (a) ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the *Floodplain Development Manual 2005*, and
- (b) ensure that the provisions of an LEP that apply to flood prone land are commensurate with flood hazard and includes consideration of the potential flood impacts both on and off the subject land.

Assessment – Consistent – The subject land is not recognised as being located within the flood planning area nor the probable maximum flood area. Therefore, it is not considered that the Proposal would adversely impact this Direction.

4.2 Coastal Management (previously 2.2)

Not Applicable to the Campbelltown Local Government Area.

4.3 Planning for Bushfire Protection (previously 4.4)

The objectives of this direction are to:

- (a) protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and
- (b) encourage sound management of bush fire prone areas.

Assessment – Consistent – The Proposal is accompanied by a Bushfire Assessment Report which generally supports the Proposal. The NSW RFS upon consultation has raised no objections to the Proposal, subject to future compliance with the provisions of Planning for Bushfire Protection 2019 as relevant development applications are progressed

4.4 Remediation of Contaminated Land (previously 2.6)

The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities. (NB: *In order to meet the requirements of this Direction every site-specific Planning Proposal must include a Preliminary Site Inspection report.*)

Assessment – Consistent - A Phase One (P1) contamination investigation was undertaken and identified, limited areas of environmental sensitivity. The P1 was subsequently supplemented with a Phase 2 (P2) Environmental Assessment. Elevated chemical levels were identified in limited locations and subject to implementation of a relevant Remedial Action Plan, the land was considered to be capable of suitable remediation.

4.5 Acid Sulphate Soils (previously 4.1)

The objective of this direction is to avoid significant adverse environmental impacts from the use of land that has a probability of containing acid sulfate soils.

Assessment – Consistent – The site covered by the Proposal is not known to be subject to acid sulphate soils. .

4.6 Mine Subsidence & Unstable Land (previously 4.2)

The objective of this direction is to prevent damage to life, property and the environment on land identified as unstable or potentially subject to mine subsidence.

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Assessment – Consistent – The site covered by the Proposal is not identified to be within a Mine Subsidence District
Focus Area 5 – Transport & Infrastructure
The Principles for Transport & Infrastructure support innovative, integrated and coordinated transport and infrastructure, that is well-designed, accessible and enduring. They seek to optimise public benefit and value by planning for modern transport and infrastructure in the right location and at the right time.
5.1 Integrating Land Use and Transport (previously 3.4)
The objective of this direction is to ensure that urban structures, building forms, land use locations, development designs, subdivision and street layouts achieve the following planning objectives: (a) improving access to housing, jobs and services by walking, cycling and public transport, and (b) increasing the choice of available transport and reducing dependence on cars, and (c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and (d) supporting the efficient and viable operation of public transport services, and providing for the efficient movement of freight.
Assessment – Consistent – The Proposal seeks to rezone land adjoining an existing urban area. The site is also proximate to public transport.
5.2 Reserving Land for Public Purposes (previously 6.2)
The objectives of this direction are to: (a) facilitate the provision of public services and facilities by reserving land for public purposes, and (b) facilitate the removal of reservation
Assessment – Consistent – The Proposal does not entail the proposed acquisition of land for public purposes.
5.3 Development Near Regulated Airports and Defence Airfields (previously 3.5)
The objectives of this direction are to: (a) ensure the effective and safe operation of regulated airports and defence airfields; (b) ensure that their operation is not compromised by development that constitutes an obstruction, hazard or potential hazard to aircraft flying in the vicinity; and (c) ensure development, if situated on noise sensitive land, incorporates appropriate mitigation measures so that the development is not adversely affected by aircraft noise.
Assessment – Consistent – The proposal is not proximate to Regulated Airports or Defense Airfields.
5.4 Shooting Ranges (previously 3.6)
The objectives are to: (a) maintain appropriate levels of public safety and amenity when rezoning land adjacent to an existing shooting range, (b) reduce land use conflict arising between existing shooting ranges and rezoning of adjacent land, identify issues that must be addressed when giving consideration to rezoning land adjacent to an existing shooting range.
Assessment – Consistent – The proposal is not proximate to a shooting range.
Focus Area 6 - Housing
The Principles for Housing foster long-term, strategic-led and evidence-based approaches to guide a strong supply of well-located homes. They support the delivery of safe, diverse, affordable and quality designed housing that meets the needs of Aboriginal

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and local communities.
6.1 Residential Zones (previously 3.1)
The objectives of this direction are to:
(a) encourage a variety and choice of housing types to provide for existing and future housing needs,
(b) make efficient use of existing infrastructure and services and ensure that new housing has appropriate access to infrastructure and services, and minimise the impact of residential development on the environment and resource lands.
Assessment – Consistent - The Proposal seeks to provide an opportunity for transitional housing sized allotments in accordance with a relevant zoning and minimum lot size. It can be readily and economically serviced and social infrastructure impacts appropriately addressed.
6.2 Caravan Parks and Manufactured Home Estates (previously 3.2)
The objectives of this direction are to:
(a) provide for a variety of housing types, and
(b) provide opportunities for caravan parks and manufactured home estates.
Assessment – Consistent – Manufactured Housing Estate are not facilitated by the Housing SEPP in the Campbelltown Local Government Area. Additionally, the land is not suitable for the development of a caravan park/s.
Focus Area 7 – Resilient Economies
The Principles for Resilient Economies support diverse, inclusive and productive employment opportunities across the state to make NSW more economically competitive. They promote the supply of strategic employment lands, innovative industries and centres as a focus for activity and accessibility.
7.1 Business and Industrial Zones (previously 1.1)
The objectives of this direction are to:
(a) encourage employment growth in suitable locations,
(b) protect employment land in business and industrial zones, and
(c) support the viability of identified centres.
Assessment – Consistent – The Proposal does not have an economic and/or employment focus and would support the viability of nearby centres.
7.2 Reduction in non-hosted short-term rental accommodation period (previously 3.7)
Not Applicable to Campbelltown Local Government Area.
7.3 Commercial and Retail Development along the Pacific Highway, North Coast (previously 5.4)
Not Applicable to Campbelltown Local Government Area.
Focus Area 8 – Resources and Energy
The Principles for Resources and Energy promote the sustainable development of resources in strategic areas and a transition to low carbon industries and energy. They support positive environmental outcomes and work towards the net zero emissions target and continued energy security, while also promoting diversified activity in regional economies.
8.1 Mining, Petroleum Production & Extractive Industries (previously 1.3)
The objective of this direction is to ensure that the future extraction of State or regionally significant reserves of coal, other minerals, petroleum and extractive materials are not compromised by inappropriate development.
Assessment – Consistent – The Proposal does not relate to resource rich lands and does not imperil the extraction of any resources from the site.

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Focus Area 9 – Primary Production

The Principles for Primary Production support and protect the productivity of important agricultural lands. They enhance rural and regional economies through a sustainable, diverse and dynamic primary production sector that can meet the changing needs of a growing NSW.

9.1 Rural Zones (previously 1.2)

The objective of this direction is to protect the agricultural production value of rural land.

Assessment – Consistent – The Proposal does not relate to agriculturally productive land or inherently productive land

9.2 Rural Lands (Previously 1.5)

The objectives of this direction are to:

- (a) protect the agricultural production value of rural land,
- (b) facilitate the orderly and economic use and development of rural lands for rural and related purposes,
- (c) assist in the proper management, development and protection of rural lands to promote the social, economic and environmental welfare of the State,
- (d) minimise the potential for land fragmentation and land use conflict in rural areas, particularly between residential and other rural land uses,
- (e) encourage sustainable land use practices and ensure the ongoing viability of agriculture on rural land,
- (f) support the delivery of the actions outlined in the NSW Right to Farm Policy.

Assessment – Consistent – The Proposal does not relate to agriculturally productive land on inherently productive land

9.3 Oyster Aquaculture (previously 1.4)

The objectives of this direction are to:

- (a) ensure that 'Priority Oyster Aquaculture Areas' and oyster aquaculture outside such an area are adequately considered when preparing a planning proposal, and
- (b) protect 'Priority Oyster Aquaculture Areas' and oyster aquaculture outside such an area from land uses that may result in adverse impacts on water quality and consequently, on the health of oysters and oyster consumers.

Assessment – Consistent – This Direction does not apply to the Campbelltown Local Government Area

9.4 Farmland of State & Regional Significance on the NSW Far North Coast (previously 5.3)

Assessment – Consistent – This Direction does not apply to the Campbelltown Local Government Area.

Section C – Environmental Social or Economic impact

4. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

It is further noted that in response to the public exhibition/ consultation process the area to be rezoned for R2 – Low Density Residential purposes has been decreased and the C4 – Environmental Living zone retained for the more environmentally sensitive parts of the Planning Proposal, with relevant accompanying development standards (refer to annexure 1)

The amended Concept Plan at Annexure 3 also depicts the heightened environmental sensitivity of the Proposal.

5. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

Bushfire hazard management was satisfactorily addressed in the specialist Bushfire Assessment Report, as attested to by the RFS during consultation. Notwithstanding, compliance with Planning for Bushfire Protection, 2019 will be required in respect of any future development application/s.

It is noted that there are solutions to satisfactorily manage stormwater (quantity and quality) and flooding and can be readily integrated with existing systems.

The traffic likely to be generated by the ultimate development can be readily integrated with the existing street network.

A Stage 1 Preliminary Environmental Site Assessment was undertaken, which concluded:

- Some existing buildings, the site of former buildings and some treated pine timber stockpiles present as areas of potential concern;
- A Phase 2 Detailed Environmental Site Assessment was subsequently undertaken. Elevated chemical levels were identified in limited locations. Subject to implementation of a relevant Remedial Action Plan, the land was considered to be capable of suitable remediation.

6. How has the planning proposal adequately addressed any social and economic effects?

The rezoning for residential purposes would result in positive economic effects. The PP would potentially result in short and medium term employment opportunities related to development and construction activities associated with the sub-divisional works and the subsequent erection of dwellings.

The increased supply of diverse housing stock would also have positive social impacts, particularly in terms of enhanced housing opportunities. Additionally, an increase in the resident population would potentially have positive social and economic impacts on the Glenquarie commercial centre.

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Finally, Social Infrastructure impacts would importantly be addressed via a contribution pursuant to the Campbelltown Local Infrastructure Contributions Plan 2018.

Section D – State and Commonwealth interests

7. Is there adequate public infrastructure for the planning proposal?

Preliminary infrastructure investigations accompanied the PPR. These investigations concluded that the existing service infrastructure network (water, sewer, electricity, telecommunications and gas servicing) were available in the locality and could be economically augmented and reticulated. This was attested by Sydney Water in earlier consultation and Endeavour Energy most recently.

The proposal, upon development, would readily integrate with the existing street network.

8. What are the views of State and Commonwealth public authorities consulted in accordance with the Gateway determination?

Relevant public authorities and service agencies were consulted during the public exhibition/consultation associated with of the PP. with what are considered to be satisfactory outcomes as documented in the commentary at Part 5 of this PP.

Part 4: Mapping

In seeking to achieve the PP objectives & outcomes the following map amendments are proposed and reflected in Annexure 1:

Table 9		
Item	Sheet Number	Location
Zoning Map	1500_COM_LZN_012A_010_20201015	Annexure 1
Height of Buildings Map	1500_COM_HOB_012_020_20150428	Annexure 1
Minimum Lot Size Map	1500_COM_LSZ_012_020_20150428	Annexure 1
Dual Occupancy Map	1500_COM_LSP_012_020_20201015	Annexure 1
Lot Averaging Map	1500_COM_LAV_012_020_20150428	Annexure 1

The subject map changes and reasoning are summarised in Table 10 below:

LEP Clause or Map	Reason
Amend the Land Use Zoning map and associated maps to reduce the proposed R2 Low Density zone, aligning with proposed lots 16, 17, 18, 19 and 20 in the revised Concept Plan.	In accordance with the EES submission and principle of avoidance, a reduced residential zoning is appropriate to avoid the most ecologically sensitive parts of the land.
Retain the E4(C4) zoning for the residue land, aligning with proposed lots 21, 22 and 15 in the revised Concept Plan.	In accordance with the EES submission and principle of avoidance, the most sensitive land will retain its current land use zone.

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Amend the minimum lot size map for the residue E4 (C4) parcels from 2 ha to 1 ha, aligning with proposed lots 21, 22 and 15 in the revised Concept Plan.	The introduction of a 1 ha minimum area lot size would allow excision of the proposed allotments on R2 zoned land, while preventing further re-subdivision of the ecologically sensitive residue parcels. This will lead to a reduction of 4 proposed lots from the concept plan.
Amend the minimum lot size map for land aligning to proposed lots 23, 24, 25 and 26 to 2 ha as originally proposed.	The retention of this minimum lot size would preserve the ecological integrity of these large residue parcels and the vegetation as a community.
Apply a minimum lot size of 1 ha for dual occupancy development on residue E4 (C4) lands, aligning with proposed lots 21, 22 and 19	This would preclude the impact of dual occupancy development in the more sensitive ecological parts of the site.

Part 5 - Community Consultation

A Gateway Determination was reissued on 10 June 2021 and a Gateway Extension was requested and granted on 28 October 2021 subject to section 3.34(7) of the Environmental Planning and Assessment Act 1979. The amendment required exhibition to be commenced by 11 November 2021. The Planning Proposal and supporting documentation was placed on exhibition 11 November 2021 until 9 December 2021 in satisfaction of this requirement. Additionally, opportunities for Agency comments extended from 31 January 2022 to 28 February 2022.

During the consultation, Council received 4 Public Agency submissions and 2 community submissions. A summary of all submissions and responses to the concerns raised outlined below.

Table 11 – Summary of concerns/recommendations	
Agency Submission	Recommendation
NSW Rural Fire Service (RFS)	
No concern raised subject to compliance with the recommendations of the exhibited Bushfire Assessment Report	Noted, no action required
Environment Energy and Science (EES)	
Objection to the proposed rezoning from E4 (C4) Environmental Living to R2 Low Density Residential based due to adverse impacts upon endangered ecological communities including the Cumberland Plain Woodland and Koala Habitat	In response to EES comments, the applicant has agreed to modify the Planning Proposal to exclude the most sensitive areas of vegetation from the proposed R2 Low Density Residential zone. It is also proposed to introduce a 1 ha minimum area of subdivision for the excluded "residue" land to be deleted and retain the existing E4 (C4) Environmental Living zoning. Should Council support finalisation of the Planning Proposal as amended, future development applications for subdivision

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	would need to address the <i>Biodiversity Conservation Act 2016</i> , the Campbelltown Koala Plan of Management and Planning for Bushfire Protection 2019, as a minimum
Concern raised with the adequacy of environmental assessment and inconsistencies in ecological investigations	<p>The inconsistencies cited by EES are largely occasioned by references to the original 2016 Flora and Fauna Assessment (FFA) and the recently completed and furnished Biodiversity Assessment Report (BAR) and Vegetation Assessment Report (VAR). The FFA did not form part of the re-exhibition material, given its dated nature including changes to prevailing biodiversity legislation and field survey observations and conclusions.</p> <p>The adequacy concerns raised by EES largely focus upon an expectation that a Biodiversity Development Assessment Report (BDAR) would be provided. However, this level of assessment is only required at the development application stage.</p> <p>Similarly, EES have raised concern regarding the potential for a serious and irreversible impact (SRI) and the need for a relevant assessment. Again such an investigation is more relevant at the development application stage.</p> <p>Notwithstanding, the concerns have been actioned by removing the more sensitive ecological areas from the proposed land zoning map.</p>
Concern raised that the full impact on threatened species is not known.	<p>As required, the applicant commissioned a Stage 1 Biodiversity Assessment Method (BAM) study to arrive at conclusions in respect of potential adverse ecological impacts. In accordance with the Study, further refinement and avoidance of biodiversity values has been made to the proposed land zoning map and concept subdivision.</p> <p>A full assessment of impact would occur at the development application stage via the submission of a Biodiversity Development Assessment Report (BDAR).</p>

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Concern that the R2 Low Density Residential zone objectives are incompatible with the prevailing ecological values. Therefore, the land should retain its current E4 (C2) Environmental Living Zone.	The extent of the proposed R2 Low Density Residential zone has been reduced to retain further Cumberland Plain vegetation within the existing E4 (C4) Environmental Living "residue" land.
Concern that the proposal is inconsistent with the Ministerial Section 9.1 Direction, 3.1 Environmental Protection zones.	Ministerial Direction 3.1 requires that environmentally sensitive areas are not compromised. The Planning Proposal is considered to be justifiably inconsistent with the Direction on the grounds that over 59 per cent of surveyed vegetation communities would be retained on C4 Environmental Living zoned land, and further protected by the post exhibition amendments detailed in Section 3 below. Notwithstanding, future development would likely trigger the Biodiversity Offset Scheme (BOS) provisions and require the preparation of a Biodiversity Development Assessment Report (BDAR) in accordance with the Biodiversity Assessment Method (BAM). Additionally, should significant threatened species be impacted, the EPBC Act may be triggered and require a controlled activity approval from the Commonwealth.
The EES requested more detailed and accurate plans.	The level of plan documentation submitted is consistent with the Gateway requirement and appropriate to arrive at sufficiently rigorous conclusion.
Concern raised there is no certainty that Clause 7.20 of CLEP 2015 and the final layout plan would protect ecologically sensitive land.	In addition to Clause 7.20 of the CLEP 2015, the protection of environmentally sensitive land is primarily addressed via the requirements of the <i>Biodiversity Conservation Act 2016</i> .
EES suggest a site specific DCP chapter would be critical to advancing the proposal. Suggested controls may include pre-clearing of vegetation, relocation and reuse of native vegetation, native seed and logs, farm dam dewatering and revegetation and landscaping.	As the proposal would not involve future development of roads or other features of a precinct plan, it is not considered appropriate to prepare development controls for the subject land. Future subdivision would be capable of assessment in accordance with the existing chapters of the Campbelltown (Sustainable City) development Control Plan. The suggested controls would be appropriately addressed as future conditions of subdivision if supported for finalization

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Endeavour Energy	
An extension and/or augmentation of the existing local network may be required, but details cannot be established until a final application and assessment	Noted, no action required

Previous Agency Submission	Recommendation
Sydney Water	
Sydney Water advise that most proposed lots could be serviced with reticulated water and sewer facilities. However, some would require waste water pumping.	Noted, no action required. The applicant would be required to obtain a Section 73 certificate from Sydney Water as a future subdivision requirement.

Public Submissions	Recommendation
56 Wills Road, Macquarie Fields	
The proposed rezoning is the precursor for the whole area to be subdivided.	This is not the case. Council's policy position and Local Strategic Planning Statement (LSPS) does not identify any further nearby land for rezoning. Additionally, nearby land is largely subject to more significant ecological constraint.
Adverse impact on the Koala population.	Local survey indicates there is limited Koala activity in the locality, despite proximity to the broader Georges River open space reserve. Future development applications would be subject to assessment in accordance with the Campbelltown Koala Plan of Management. Concern regarding the prospect of significant vegetation removal are addressed in Section 3 below.
Unauthorised tree removal	Some unauthorised impact on existing trees is the subject of separate compliance action by Council.
Concern with future tree removal.	Future tree removal would be assessed in accordance with the requirements of the <i>Biodiversity Conservation Act 2016</i> and Council's Comprehensive Koala Plan of Management. As detailed in the applicant's Biodiversity Assessment Report, over 59 per cent of low and medium quality vegetation is capable of retention by the proposal. The prospect of tree removal would be further reduced by post exhibition amendments outlined in Section 3 below.

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Concern with potential friction with future neighbours.	This is not a planning consideration
Concern with contributory negative Heat Island Effect.	Maximum vegetation retention is central to the amended proposal. Additionally, formal tree planting in the street reserve and potentially on-site would contribute to a balanced green versus grey outcome.
Concern with adverse impacts of increased traffic in Evelyn Street and related safety.	The existing traffic network is more than capable of safely accommodating a modest increase in traffic, as attested to in the accompanying traffic assessment. Additionally, a proposed reduction in the amount of land to be rezoned and commensurate reduction in proposed lot yield and associated traffic generation would further reduce the perceived impact.
Concern with overland stormwater flows and impacts on local ground water and the Georges River.	Stormwater can be adequately managed in respect of quantity and quality by a number of alternate stormwater management strategies. These strategies are broadly accepted in catchments such as the immediate Georges River. Adverse groundwater impacts are unlikely given the prevailing shale-sandstone geology of the locality
Concern with adverse impacts upon fauna generally	The proposal seeks to minimise the impact on vegetation and habitat. Further domestic and street tree plantings would assist to enhance local biodiversity outcomes.
14 Oakley Road, Macquarie Fields	
Support subject to inclusion of the subject property in the rezoning/subdivision proposal	Property No. 14 Oakley Road is not identified for potential rezoning in Council's policy position or the Local Strategic Planning Statement (LSPS). Additionally, the land contains significant remnant vegetation that links to the Georges River.
Concern with lack of information surrounding infrastructure/service provision and lack of masterplan	The proposal has demonstrated that satisfactory service infrastructure can be provided. Any need for future easements would be addressed by the applicant at the subdivision stage.

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Part 6 Project Timeline

A draft project timeline has been included in the table below.

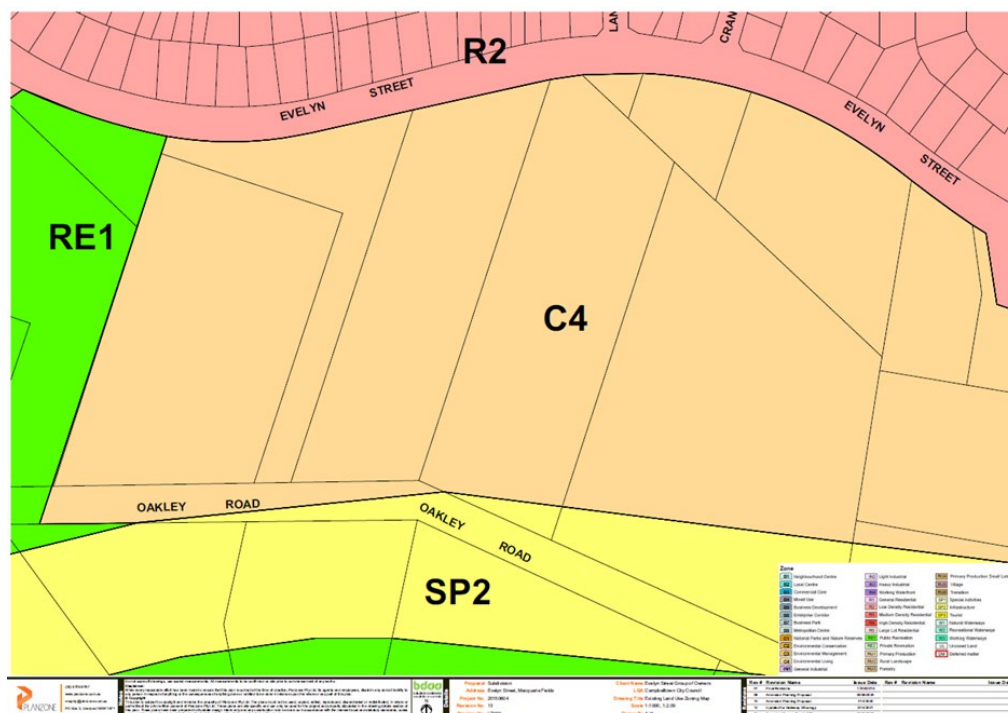
Table 10	
Milestone	Timeline
Referral to Local Planning Panel	March 2021
Referral for Gateway Determination	May 2021
Gateway Determination	July 2021
Completion of additional supporting documentation	September 2021
Public Exhibition	November/December 2021
Consideration of Submissions	November/December 2021
Report to Council	April 2022
Finalisation of LEP amendment	April 2022

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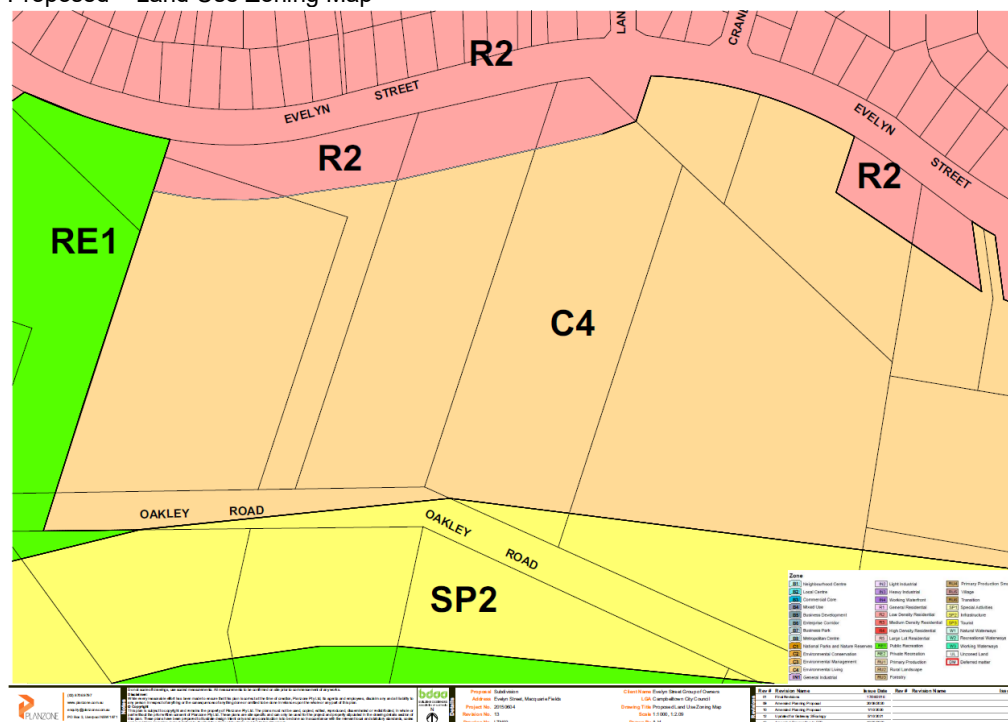
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Annexure 1

Existing - Land Use Zoning Map



Proposed – Land Use Zoning Map

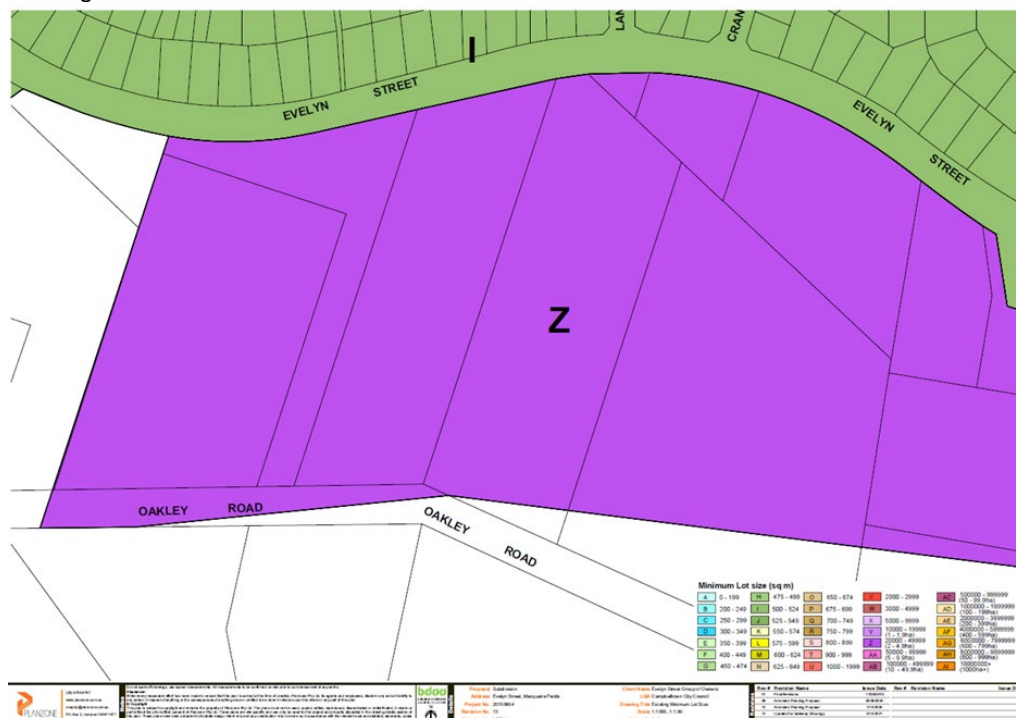


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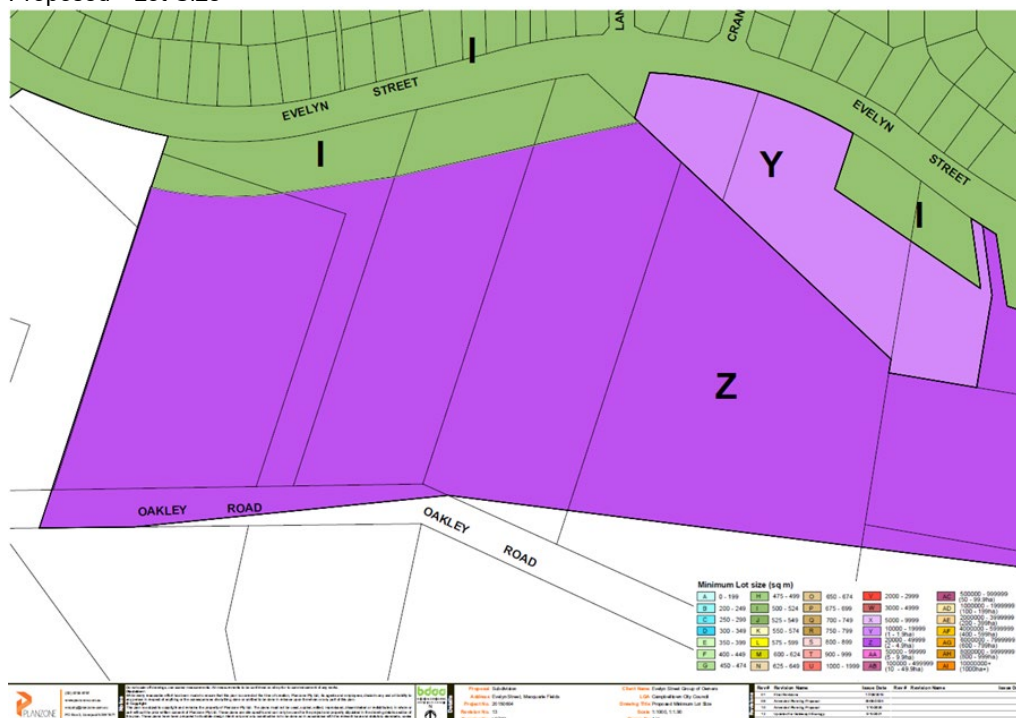
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Annexure 1

Existing - Minimum Lot Size



Proposed - Lot Size

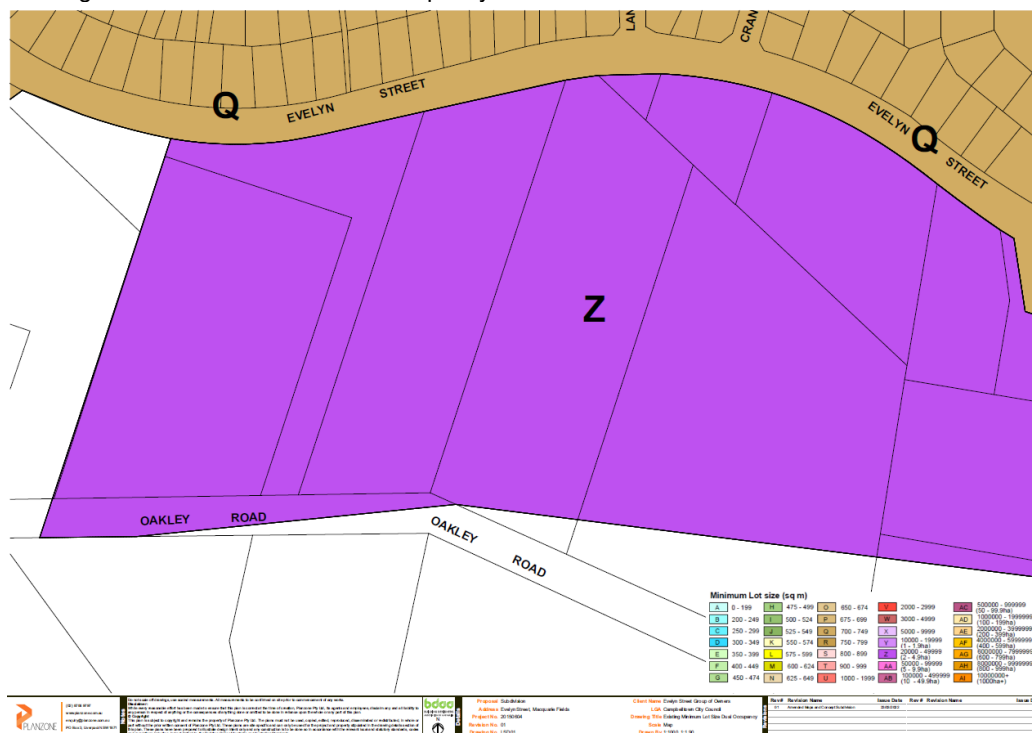


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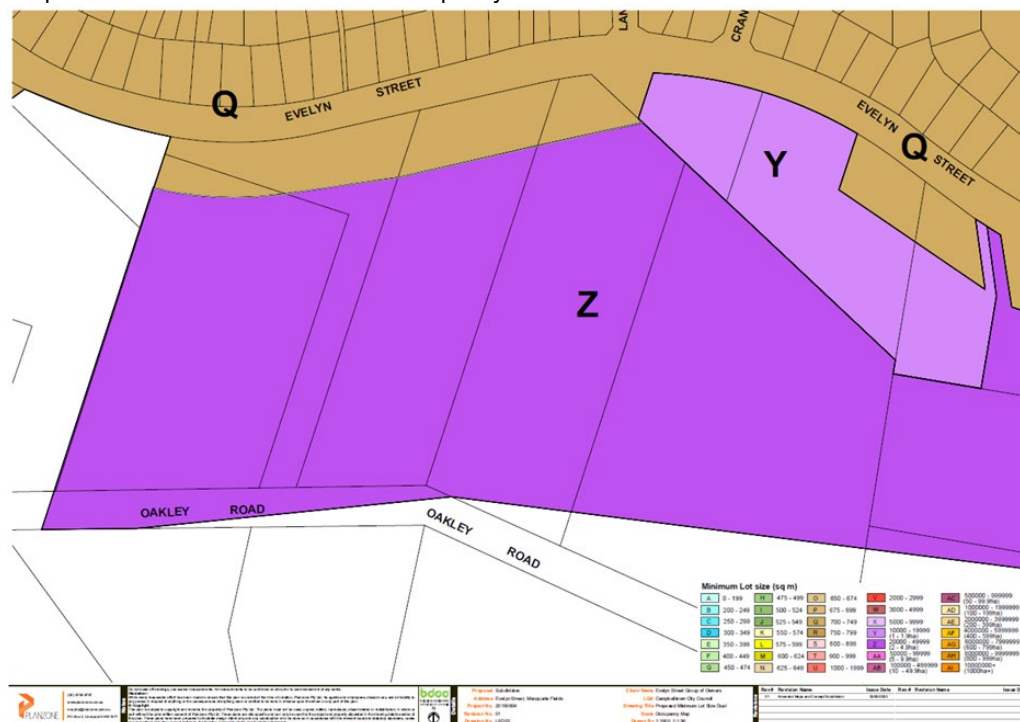
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Existing – Minimum Lot Size Dual Occupancy



Proposed - Minimum Lot Size Dual Occupancy

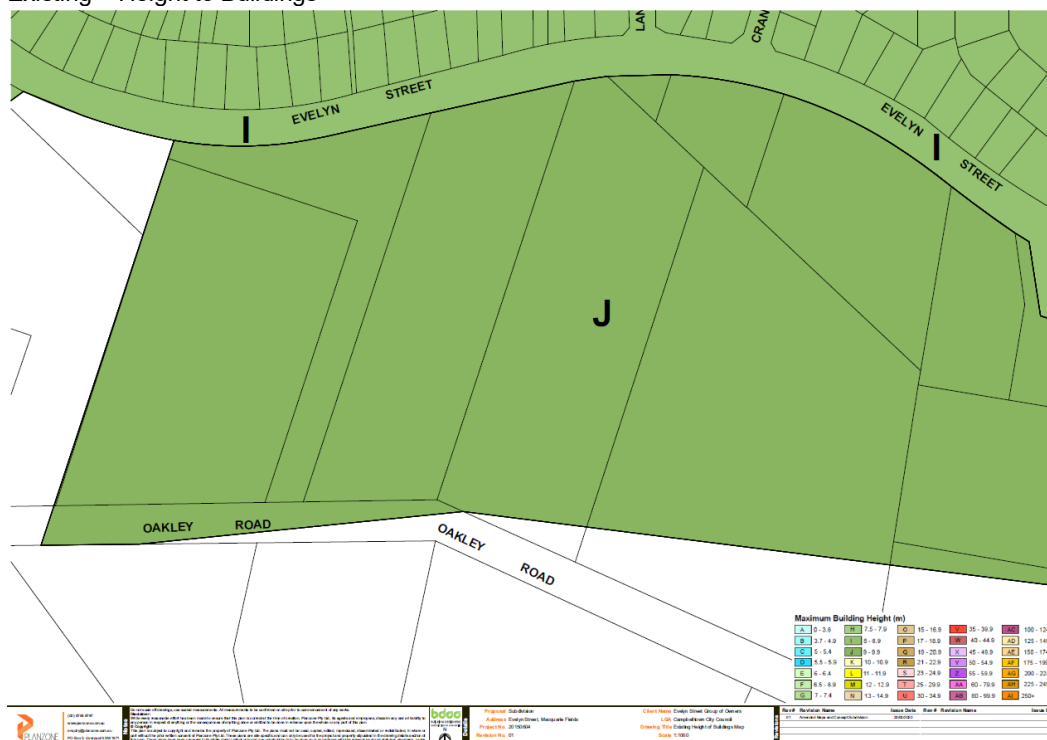


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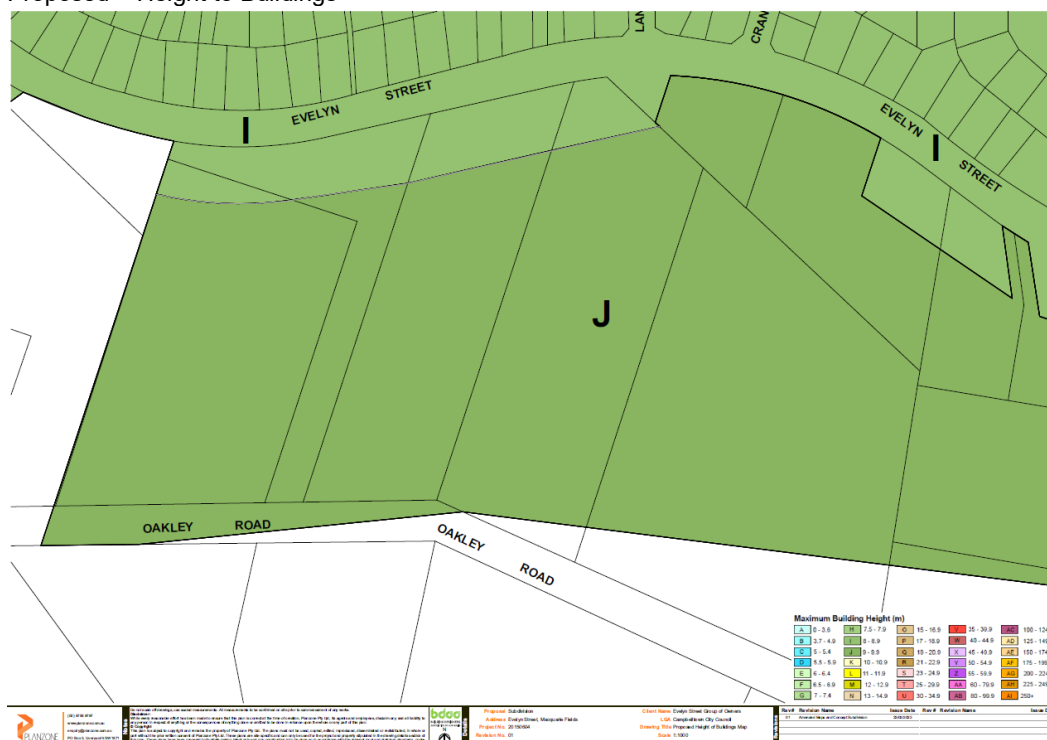
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Existing – Height to Buildings

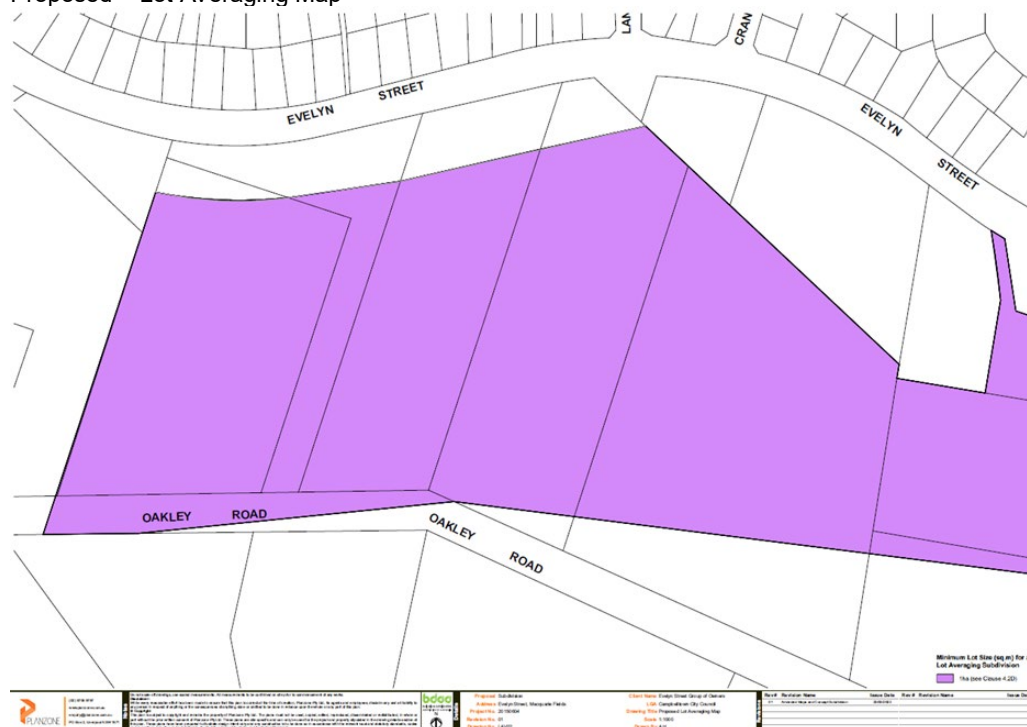
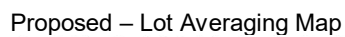


Proposed – Height to Buildings



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Existing – Lot Averaging Map



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Annexure 2 – Strategic Context

Table 1: Greater Sydney and Western City District Plan

Key Directions and Planning Priorities			
Greater Sydney Region Plan	Western City District Plan	Consistency	Response
Infrastructure and Collaboration			
<i>A City Supported by Infrastructure</i>			
<ul style="list-style-type: none"> » Infrastructure supports the three cities » Infrastructure aligns with forecast growth - growth infrastructure compact » Infrastructure adapts to meet future needs » Infrastructure use is optimised 	<ul style="list-style-type: none"> » Planning for a city supported by infrastructure (W1) 	Generally Consistent	<p>The proposal represents a small urban extension on the fringe of a serviced urban area (notionally 24 lots). Initial reports including Sydney Water communication attest to the ability to service the proposal, subject to minor augmentation works.</p> <p>Therefore, it is considered that the PP is generally consistent with the objectives within the direction 'A City Supported by Infrastructure.'</p>
<i>A Collaborative City</i>			
<ul style="list-style-type: none"> » Benefits of growth realised by collaboration of governments, community and business 	<ul style="list-style-type: none"> » Working through collaboration (W2) 	Generally Consistent	<p>Whilst, the Proposal is not identified in the plan as a specific Collaboration Area, the PP would will entail compulsory community engagement and consultation with authorities/agencies in accordance with a new Gateway Determination.</p> <p>Therefore, the Proposal can be considered consistent with the objectives of 'A Collaborative City'</p>
Liveability			
<i>A City for People</i>			
<ul style="list-style-type: none"> » Services and infrastructure meet communities' changing needs » Communities are healthy, resilient and socially connected » Greater Sydney's communities are culturally rich with diverse neighbourhoods 	<ul style="list-style-type: none"> » Providing services and social infrastructure to meet peoples changing needs (W3) » Fostering healthy, creative, culturally rich and socially connected communities (W4) 	Generally Consistent	<p>The proposal does not propose any additional education or health facilities as the proposed yield will not impact significantly on the existing social infrastructure.</p> <p>It also provides a platform for a small socially connected extension to the existing community.</p> <p>Contributions would be paid by the additional allotments, pursuant to Campbelltown Local</p>

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» <i>Greater Sydney celebrates the arts and supports creative industries and innovation</i>			Infrastructure Contributions Plan 2018. Therefore, the proposal can be considered consistent with the objectives of 'A City for People'.
Housing the City			
» <i>Greater housing supply</i> » <i>Housing is more diverse and affordable</i>	» <i>Providing housing supply, choice and affordability, with access to jobs, services and public transport (W5)</i>	Generally Consistent	The proposal proposes a small cell of approximately 24 allotments that will cater for conventional and a housing/lifestyle opportunity rarely catered for in Campbelltown's current housing provision. Housing affordability is more than adequately catered for in the urban release and urban renewal housing programs. Housing supply, however, does not adequately cater for diversity at the 'lifestyle/environmental living' / larger lot end of the housing spectrum. The proposal would importantly contribute to the subject emerging housing void in a location with adequate access to Campbelltown LGA employment opportunities and city facilities and services, including the nearby Glenquarie and Ingleburn local centres. Therefore, whilst not addressing affordability (which is more than adequately catered for in the urban release and urban renewal housing programs) the proposal importantly addresses an emerging void in housing diversity and can be considered generally consistent with the objectives of 'Housing the City.'
A City of Great Places			
» <i>Great places that bring people together</i> » <i>Environmental heritage is identified, conserved and enhanced</i>	» <i>Creating and renewing great places and local centres, and respecting the District's heritage (W6)</i>	Generally Consistent	The proposal's intent is to create a place that sensitively integrates with the existing community and conserves important elements of the natural environment.

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EVELYN STREET PLANNING PROPOSAL

			The proposal has the potential to meet the objectives of 'A City of Great Places' and therefore can be considered consistent.
Productivity			
<i>A Well Connected City</i>			
<ul style="list-style-type: none"> » A metropolis of three cities -integrated land use and transport creates walkable and 30 minute cities » The Eastern, GPOP and Western Economic corridors are better connected and more competitive and efficient » Freight and logistics network is competitive and efficient » Regional connectivity is enhanced 	<ul style="list-style-type: none"> » Establishing the land use and transport structure to deliver a liveable, productive and sustainable Western Parkland City (W7) 	Generally Consistent	<p>The proposal does not directly impact this Direction. It seeks to leverage off the established road network and relative proximity to existing centres and facilities and services. It also will integrate with local pedestrian/cycle networks.</p> <p>Therefore, the proposal can be considered consistent with the direction 'A Well Connected City.'</p>
<i>Jobs and Skills for the City</i>			
<ul style="list-style-type: none"> » Harbour CBD is stronger and more competitive » Greater Parramatta is stronger and better connected » Western Sydney Airport and Badgerys Creek Aerotropolis are economic catalysts for Western Parkland City » Internationally competitive health, education, research and innovation precincts » Investment and business activity in centres » Industrial and urban services land is planned, protected and managed » Economic sectors are targeted for success 	<ul style="list-style-type: none"> » Leveraging industry opportunities from the Western Sydney Airport and Badgerys Creek Aerotropolis (W8) » Growing and strengthening the metropolitan city cluster (W9) » Maximising freight and logistics opportunities and planning and managing industrial and urban services land (W10) » Growing investment, business opportunities and jobs in strategic centres (W11) 	Generally Consistent	<p>The Proposal does not directly impact this Direction. It provides a potential housing environment for a skilled workforce and/or local business people sparingly catered for to date.</p> <p>Therefore, the proposal can be considered consistent with the direction 'Jobs and Skills for the City.'</p>
Sustainability			

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<i>A City in its Landscape</i>			
<ul style="list-style-type: none"> » <i>The coast and waterways are protected and healthier</i> » <i>A cool and green parkland city in the South Creek corridor</i> » <i>Biodiversity is protected, urban bushland and remnant vegetation is enhanced</i> » <i>Scenic and cultural landscapes are protected</i> » <i>Environmental, social and economic values in rural areas are protected and enhanced</i> » <i>Urban tree canopy cover is increased</i> » <i>Public open space is accessible, protected and enhanced</i> » <i>The Green Grid links, parks, open spaces, bushland and walking and cycling paths</i> 	<ul style="list-style-type: none"> » <i>Protecting and improving the health and enjoyment of the District's waterways (W12)</i> » <i>Creating a Parkland City urban structure and identity with South Creek as a defining spatial element (W13)</i> » <i>Protecting and enhancing bush land and biodiversity (W14)</i> » <i>Increasing urban tree canopy cover and delivering Green Grid connections (W15)</i> » <i>Protecting and enhancing scenic and cultural landscapes (W16)</i> » <i>Better managing rural areas (W17)</i> » <i>Delivering high quality open space (W18)</i> 	Generally Consistent	<p>The proposal provides an opportunity as part of the limited urbanisation of the site to achieve environmental outcomes that would alternatively not be achieved.</p> <p>The principles of an appropriate stormwater management strategy have been developed and coupled with standard sediment and erosion control measures would need to deliver neutral or beneficial water quality outcomes.</p> <p>The remnant vegetation, would largely be retained in a managed landscape unit which is currently unmanaged.</p> <p>Street plantings and domestic plantings will compensate in part for any vegetation loss.</p> <p>All DA's for subdivision would need to comply with the provisions of the Biodiversity Conservation Act, terrestrial biodiversity conservation provisions of CLEP 2015 and Koala SEPP 2021.</p> <p>Other mechanisms including building envelope plans and restrictions on title in the proposed managed vegetated landscape can be enforced through a relevant DCP amendment at subdivision stage to minimise the impact on vegetation.</p>
<i>An Efficient City</i>			
<ul style="list-style-type: none"> » <i>A low carbon city contributes to net-zero emissions by 2050 and mitigates climate change</i> » <i>Energy and water flows are captured, used and re-used</i> » <i>More waste is re-used and recycled to support</i> 	<ul style="list-style-type: none"> » <i>Reducing carbon emissions and managing energy, water and waste efficiently (W19)</i> 	Generally Consistent	<p>The proposal, through the managed vegetated landscape together with street tree, domestic planting, initiatives and the potential purchase of biodiversity credits would potentially compensate for any limited carbon emissions.</p> <p>Additionally, passive solar design principles beyond the BASIX can</p>

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the development of a circular economy			<p>be detailed in the relevant DCP amendment. Also on-site capacity exists for managing green waste.</p> <p>Therefore, the proposal can be considered consistent with the direction 'An Efficient City.'</p>
A Resilient City			
<p>» People and places adapt to climate change and future shocks and stresses</p> <p>» Exposure to natural and urban hazards is reduced</p> <p>» Heatwaves and extreme heat are managed</p>	<p>» Adapting to the impacts of urban and natural hazards and climate change (W20)</p>	Generally Consistent	<p>The proposal will likely produce an outcome which is at least neutral in terms of hazard management. The conserved natural areas and street and domestic plantings would likely contribute to combating any urban heat generation.</p> <p>Whilst, the remnant vegetation would be managed in accordance with the principles of Planning for Bushfire Protection 2019.</p> <p>The land is "high" in the drainage catchment and not subject to flooding. Further a controlled stormwater management system would prevent the prospects of flooding.</p> <p>Therefore, the proposal can be considered consistent with the direction 'A Resilient City.'</p>

Table 2: Campbelltown Local Strategic Planning Statement (CLSPS)

Local Strategic Planning Statement	
Action	Comment
Liveability - A Vibrant, Liveable City	
Planning Priority 1 - Creating a great place to live, work, play and visit	
<p>Strategic Policy Positions:</p> <ul style="list-style-type: none"> Our people are our most valued asset Our city is an inclusive place for all people 	
1.11 Support the creation of walkable neighbourhoods to enhance community health and wellbeing and create liveable, sustainable urban areas.	The proposal would provide opportunities for pedestrian integration with the surrounding neighbourhood including access to local sport and recreation facilities and bus stops.
1.16 Maximise urban shade by protecting existing trees, ensuring new developments incorporate	The proposal would protect many of the existing trees, together with new property owners managing the conservation of an onsite vegetation outside of building

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appropriate landscaping and by increasing planting in the open space areas and streetscapes.	envelopes, coupled with enhanced street tree planting and 'domestic' plantings.
1.17 Ensure open space is well connected via pedestrian and cycle links.	The proposal would provide for integration with local pedestrian and cycle links.
1.22 Investigate opportunities to deliver an integrated active transport plan and network (for cyclists and pedestrians) that links important destinations with transport infrastructure between urban development, the open space network and with adjoining areas.	The proposal provides limited opportunities to integrate with the existing accessibility network.
1.25 Support the health and well-being of the community through master planning (including that of key public spaces) and encouraging healthy urban design outcomes, particularly for children, seniors and people with a disability.	The precinct links with the existing accessibility network as referenced above. Additionally, the larger scale residential settings would provide enhanced opportunities for healthy living including on-site leisure and recreation and domestic food production/gardening.
Planning Priority 2 – Creating high quality, diverse housing	
Strategic Policy Positions: <ul style="list-style-type: none"> Contain urban growth within the existing urban area or within the identified priority growth and urban investigation areas Housing supply, diversity, choice and quality respond to community needs and contribute to housing requirements at the District level 	
2.1 Develop a comprehensive Local Housing Strategy for Campbelltown LGA that identifies and prioritises the areas for growth having regard to housing demand, growth trends and the existing and likely future housing stock.	The CLHS has identified the potential for Large Lot housing to cater for professionals, this being one of the central markets/audiences of the proposal.
2.5 Contain Urban Development to existing urban areas and within identified growth and investigation areas, in order to protect the functions and values of scenic lands, environmentally sensitive lands and the Metropolitan Rural Area (MRA)	The land is identified in the CLSPS as a "potential transition area", acknowledging opportunities for limited transitional residential development.
2.12 Promote housing diversity through local planning controls and initiatives.	The proposal provides a unique opportunity to add more diversity to the local housing offer via providing larger lots in an attractive environmental setting, whilst retaining ready access to urban services.
2.15 Ensure that sufficient, quality and accessible open space is provided for new urban areas.	Sufficient accessible open space is provided nearby.
Planning Priority 3 – Embracing our heritage and cultural identity	
Strategic Policy Positions: <ul style="list-style-type: none"> Our heritage is respected as a fundamental part of our identity Our city embraces its Indigenous heritage and culture Our diverse cultural mix is an asset for our city 	
3.6 Identify and promote the conservation of environmental heritage and sensitive environmental areas including the Georges River Corridor Landscape, Scenic Hills and Wedderburn.	The more sensitive ecological areas would be subject to the Terrestrial Biodiversity Provisions detailed in clause 7.20 of the CLEP 2015 and relevant mapping in the recently adopted CLEP 2015 (Amendment No 24), together with the provisions of the Biodiversity Conservation Act 2016 and SEPP (Koala Habitat Protection) 2021. Additionally, the stormwater management principles developed by Council and standard sediment and

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	erosion control measures will assist in protecting the Georges River Corridor.
3.7 Manage development outcomes having appropriate regard to environmental and heritage considerations.	The concept subdivision layout (as amended) demonstrates minimum vegetation loss and facilitates planting initiatives on private land.
Sustainability – A respected and Protected Natural Environment	
Planning Priority 5 – Embracing our unique landscape setting.	
Strategic Policy Positions: <ul style="list-style-type: none"> Campbelltown is a City of choice and opportunity in a natural environment Our scenic and natural city edges are protected into the future We celebrate the First Nations People as the traditional custodians of our land, and embrace their knowledge in the stewardship of our natural environment. Our multicultural community is celebrated and embraced. 	
5.6 Work in collaboration with relevant stakeholders to review and implement the recommendations of the Visual Analysis of Campbelltown's Scenic Hills and East Edge Scenic Protection Lands study.	The proposal is consistent with the evolving character expectations in respect of the East Edge Scenic Protection Lands.
5.7 Develop an asset management plan for scenic and cultural landscapes.	The proposal potentially assists in managing the somewhat degraded naturally occurring woodland.
5.10 Ensure development in undertaken in accordance with relevant legislation to preserve and/or enhance scenic and cultural landscapes	The proposal aims to minimise development impacts on the existing natural environment and facilitate increased ownership/stewardship of the retained vegetation. The proposal would ensure statutory requirements are met in pursuit of the conservation objectives attached to the Scenic Landscapes.
5.11 Promote community management of scenic hills and cultural landscapes in LGA	Increased private ownership would enhance stewardship of the remnant woodland.
5.16 Continue to require sediment and erosion control measures in all development, to assist in maintaining water quality and catchment health.	Additionally, the stormwater management principles developed by Council and standard sediment and erosion control measures would assist in protecting the Georges River Corridor.
5.17 Expand the terrestrial biodiversity layer in the LEP to cover the whole LGA.	The recently finalised draft CLEP 2015 review expands the terrestrial biodiversity layer to include the subject site and accordingly the enactment of clause 7.20 of CLEP 2015.
5.18 Work in partnership with Government and key stakeholders, including the development industry, to ensure that future development is undertaken in a manner that protects areas of biodiversity value.	To ensure the best outcome occurs for this precinct, appropriate consultation needs to occur with Authorities and the community as the proposal is advanced.
Planning Priority 6 – Respecting and Protecting our natural assets	
Strategic Policy Positions: <ul style="list-style-type: none"> We conserve and protect our rich and diverse biodiversity We contribute measurable improvements to local air and water quality We will ensure that natural bushland and open spaces are accessible, attractive and safe places for recreation and wellbeing 	
6.3 Expand the terrestrial biodiversity layer in the LEP to cover the whole LGA.	The recently finalised draft CLEP 2015 review expands the terrestrial biodiversity layer to include the subject site and accordingly the enactment of Clause 7.20 of CLEP 2015.
6.25 Work towards residents being a maximum 400 from quality open space.	The proposal generally fulfils this objective.
Productivity – A thriving, attractive city	
Planning Priority 8 – Adapting to climate change and building resilience	

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Strategic Policy Positions:

- We will increase our city's resilience to ensure our future prosperity.
- We strive to embed the delivery of low resource, low carbon solutions
- We will adopt best practice in mitigating and adapting to climate change.
- We will address the urban heat island effect and implement innovative ways to cool our LGA to maintain liveable standards for a healthy community.

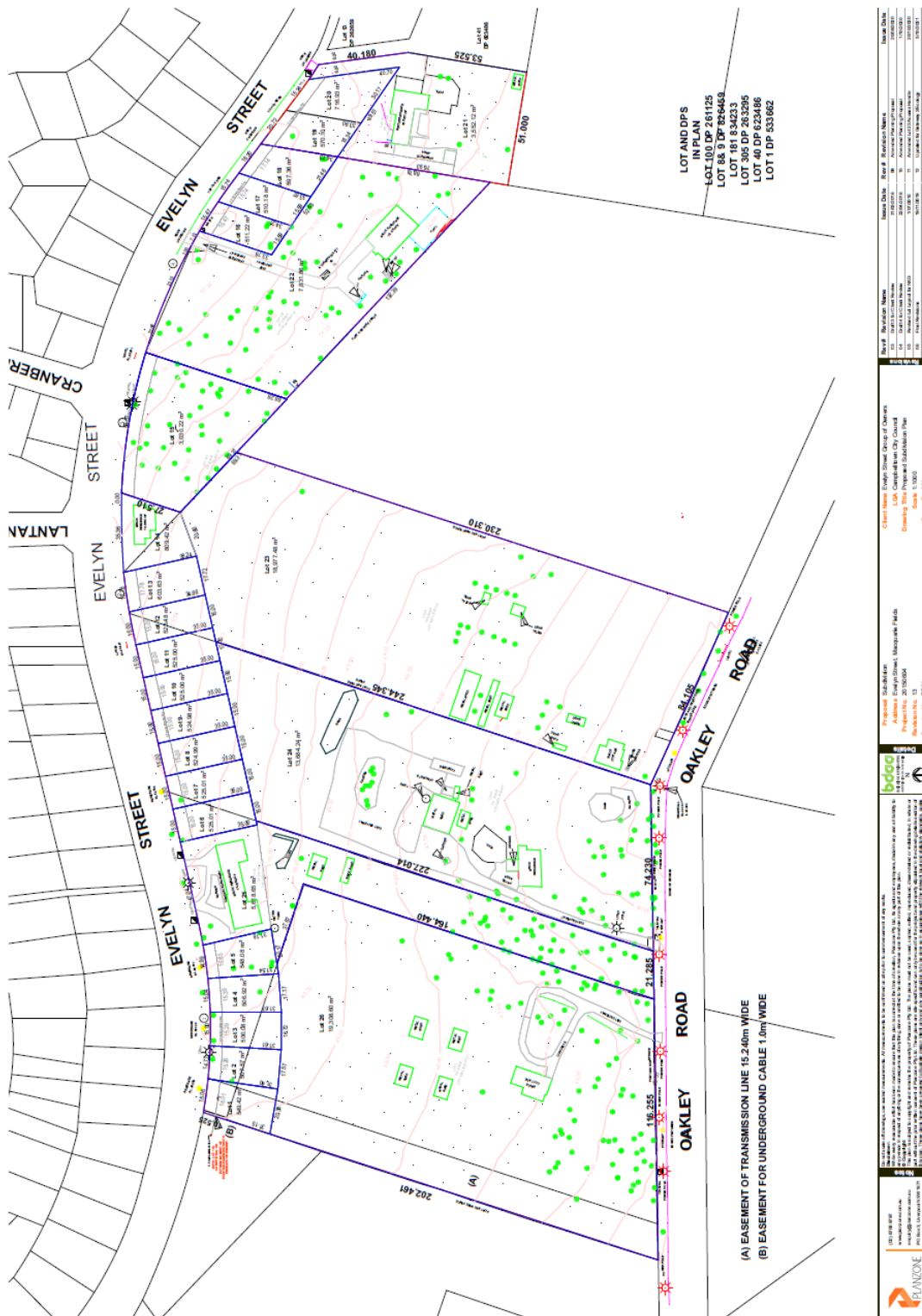
8.29 Work with key stakeholders to protect waterways, riparian vegetation and environmental values.

Key stakeholders would be consulted through the planning phase to ensure that biodiversity is protected and conserved in an appropriate manner.

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Annexure 3 -



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Planning Proposal

Evelyn Street, Macquarie Fields

Proposed amendment of Campbelltown Local Environmental Plan 2015

(Addendum – 28 October 2021)

**Proposed Amendment to
Campbelltown Local Environmental
Plan 2015****EVELYN STREET PLANNING PROPOSAL**Introduction

The Addendum has been compiled in response to additional investigations / documentation commissioned in respect of Conditions 1 (a) and (b) of the Gateway Determination dated 10 June 2021 and reproduced as Attachment "A1".

Documentation/Additional Investigations

The additional investigations / documentation included in the following and form Attachments "B1-B5" included to this Addendum

- Biodiversity Assessment Report (Cumberland Ecology) – 6 October 2021 – Attachment "B1"
- Vegetation Assessment Report (Cumberland Ecology) – 7 October 2021 – Attachment "B2"
- Bushfire Assessment Report (Bushfire Consulting Services Pty Ltd) – 8 October 2020 Attachment "B3"
- Stormwater Management Report V.2 (as amended) – 2 July 2021 (Statiker) – Attachment "B4"
- Amended Concept Plan, Zoning Map and Minimum Lot Size Map (Plan zone Drawings Revision No.12) Attachment "B5"

Response to Pre-Exhibition Gateway Requirements1(a)(i) Koala Habitat

(Is the site host to koala habitat or core koala habitat)

All of the woodland (on the northeastern portion of the site) is established in the Vegetation Assessment Report (Attachment B2) to comprise core koala habitat under Koala SEPP 2021 and align with areas of mapped core koala habitat under the Campbelltown Comprehensive Koala Plan of Management (CKPoM).

Development Application(s) for future subdivision would require further assessment in accordance with Section 6.4 and 7.1 of the CKPoM. Any proposed vegetation clearance would need to be supported by a Koala Assessment Report (KAAR) prepared in accordance with the CKPoM.

Consistency with Section 9.1 Direction 2.1 – Environmental Protection Zones

The Direction seeks to ensure that environmentally sensitive areas are not compromised.

The Planning Proposal is considered to be justifiably inconsistent with the Direction (6(b) and of minor significance 6(d), as documented in the Biodiversity Assessment Report (Attachment B1).

Notwithstanding, future development would likely trigger the Biodiversity Offset Scheme (BOS) provisions and require the preparation of a Biodiversity Development Assessment Report (BDAR) in accordance with the Biodiversity Assessment Method (BAM). Additionally, should significant threatened species be impacted, the EPBC Act may be triggered and require referral to the Commonwealth.

**Proposed Amendment to
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When determining the rezoning area and extent, the existing mapping for the site under the Campbelltown LEP was considered. The subject site partly contains areas mapped as 'Terrestrial Biodiversity' under the Campbelltown LEP (Part 7 Clause 7.20) likely in association with the existing broad scale mapping of native vegetation within the subject site.

The objectives of this clause includes:

- protecting native fauna and flora, and
- protecting the ecological processes necessary for their continued existence, and
- encouraging the conservation and recovery of native fauna and flora and their habitats, and
- maximising connectivity and minimising habitat fragmentation.

It is assumed that the potential impacts associated with native vegetation in the Planning Proposal are an accurate surrogate for potential impacts to areas mapped as Terrestrial Biodiversity. As such, potential impacts to these areas are confined to the rezoning area, with other areas of vegetation mapped as Terrestrial Biodiversity retained within the subject site. The potential impacts to this area also continue to allow for movement in an east-west direction through the subject site and does not result in the isolation or fragmentation of any of the mapped areas.

SEPP (Koala Habitat Protection) 2021 and Campbelltown City Council – Comprehensive Koala Plan

Clause 10 of the SEPP contains the following provisions relating to "Preparation of local environmental plans:"

When preparing draft local environmental plans for any land to which this Policy applies, other than rural land, the council shall:

- (a) have regard to the general and specific aims of the Policy, and
- (b) give priority to retaining bushland, unless it is satisfied that significant environmental, economic or social benefits will arise which outweigh the value of the bushland.

The land to the west of the site is zoned for public open space. The overall proposed rezoning would have no impact on the general and specific aims of the policy given that the rezoning has an extremely minor interface with that land (a potentially 30 metre lot depth interface).

In relation to Clause 10(b), the proposal would not result in the reduction or loss of any bushland adjoining the site subject to the planning proposal and rezoning.

Further consideration would also be occur at the Development Application stage to ensure all future plans are also consistent with the SEPP.

**Proposed Amendment to
Campbelltown Local Environmental
Plan 2015****EVELYN STREET PLANNING PROPOSAL****(ii) Proposed Impacts on Biodiversity Values**

(Demonstrate the impacts and present options to address development impacts that will either minimise vegetation and threatened species (loss) or detail a formalised biodiversity offset strategy.)

A formalised BOS would be required due to an inability to avoid higher quality vegetation at the development application stage for future subdivision/s.

The potential impact on biodiversity values can be drawn from reference to the Biodiversity Assessment Report at Attachment B1.

Consistency with SEPP No. 19 Bushland in Urban Areas

The SEPP aims to protect and preserve bushland in urban areas.

Under the SEPP (Koala Habitat Protection) 2021 (Koala SEPP 2021), a Development Application (DA) must assess the impacts of the development on koalas where there is no KPoM in place. These impacts need to be considered through the preparation of a Koala Assessment Report if the property the development takes place on is greater than one hectare, or adjacent land holdings by the same land holder combined exceed one hectare, and Core Koala Habitat is present. If a KPoM is in place for a specified LGA or parts thereof, a Planning Proposal is required to demonstrate consistency with the relevant approved KPoM.

Demonstrating consistency with a KPoM also demonstrates consistency with the Koala SEPP 2021. In order to show consistency with the Campbelltown's approved [Comprehensive] Koala Plan of Management (CKPoM) and therefore the Koala SEPP 2021, Cumberland Ecology has prepared a Vegetation Assessment Report (VAR) to support the planning proposal (REF 16066RP4 – Attachment B2). Further information on how the Planning Proposal is consistent with the Koala SEPP 2021 and the CKPoM is discussed in the VAR (16066RP4- Attachment B2) and the Biodiversity Assessment Report (16066RP3 – Attachment B1).

Consistency with CLE P2015 Clause 7.20 Terrestrial Biodiversity

The Draft Cumberland Plain Conservation Plan (DCPCP) includes a koala conservation program that is designed to avoid, minimise and offset potential impacts on koalas and aims to have a long term strategy to protect koalas and koala habitat in South Western Sydney. Several areas of the subject site and rezoning area are mapped as Important Koala Habitat under the DCPCP likely in association with native vegetation mapped as Cumberland Plain Woodland. While the Planning Proposal intends to rezone areas containing Important Koala Habitat, extensive mapped areas within and surrounding the subject site will be retained – including large areas to the south bordering the Nepean River. Further consideration of the rezoning area at the Development Application stage would ensure all future plans are consistent with the DCPCP.

1(b) Bushfire Protection Report Update

**Proposed Amendment to
Campbelltown Local Environmental
Plan 2015****EVELYN STREET PLANNING PROPOSAL**

(Update the Bushfire Report to reflect the site boundaries and proposed concept plan)

A new Bushfire Assessment Report was compiled by Bushfire Consulting Services Pty Ltd (dated 8 October 2021). The Report forms Attachment (B3) to this Addendum.

Consistency with Bushfire Protection, 2019

The Report concluded that development of the nature portrayed in the Concept Plan can achieve Asset Protection Zones (APZs) equivalent to a minimum BAL 29 and further satisfies the objectives and performance requirements of Planning for Bushfire Protection, 2019 subject to implementation of the recommendations contained in the Report.

Consistency with Section 9.1 Direction 4.4 – Planning for Bushfire Protection

Direction 4.4

The Direction seeks to protect life, property and the environment from bushfire hazards, whilst encouraging sound management of bushfire prone areas and discouraging incompatible landuse.

In accordance with the Direction, consultation was undertaken with the NSW Rural Fire Service who raised no objection at a strategic level to the Planning Proposal.

Future development applications would, however, be required to demonstrate compliance with Planning for Bushfire Protection 2019.

Amended Mapping

It is noted that the part of area previously proposed to be rezoned R2 Low Density Residential with a 500 m² minimum lot size is now proposed to remain zoned E4 Environmental Living with a 1,000 m² minimum lot size provision. (Refer to Planzone Drawing No. RZ02 and No. LSZ02 respectively in attachment "B5").

The subject amendments seek to reflect the sensitivities identified in the updated ecological and bushfire reports.



**LOT AND DPS
IN PLAN**
LOT 100 DP 261125
LOT 8 & 9 DP 826459
LOT 181 834233
LOT 305 DP 263295
LOT 40 DP 623486
LOT 1 DP 533662

8.5 Outcome of Public Exhibition - Signage as Exempt Development Planning Proposal

Reporting Officer

Executive Manager Urban Centres
City Development

Community Strategic Plan

Objective	Strategy
4 Outcome Four: A Successful City	4.3 - Responsibly manage growth and development, with respect for the environment, heritage and character of our city

Officer's Recommendation

1. That Council adopt the subject Planning Proposal (attachment 1) to permit certain types of signage as exempt development on bus stop shelters and Council sporting fields.
2. That subject to recommendation 1, Council exercise its plan making function, via the General Manager being the functions of the Minister for Planning under section 3.36(2) of the *Environmental Planning and Assessment Act 1979*, pursuant to the Instrument of Delegation dated 14 October 2012.
3. That the State agency submitters be advised of Council's decision.

Executive Summary

- At its Ordinary Meeting of 12 October 2021, Council endorsed a Planning Proposal (PP) to amend Campbelltown Local Environmental Plan 2015 to permit certain signage on Council sporting fields and bus stop shelters as exempt development. A Gateway Determination was subsequently issued by the NSW Department of Planning and Environment on 18 November 2021.
- The PP was publicly exhibited from 17 January 2022 to 14 February 2022 in accordance with the Gateway Determination and Council resolution of 12 October 2021. Three submissions were received from State Agencies which do not object to the PP.
- Minor amendments to the PP have been undertaken to respond to the comments and issues raised by Transport for NSW (TfNSW) and incorporated into the PP at attachment 1 to this report.
- It is recommended that Council adopt the amended PP and proceed to finalise the amendment in accordance with its functions as the nominated local plan making authority.

Purpose

The purpose of this report is:

1. To provide Council with details of the submissions received in response to the public exhibition of PP 3524/2021/E-PP, to permit certain signage as exempt development on Council sports fields and road side bus shelters.
2. To recommend that Council adopt and finalise the PP with minor amendments in response to a submission from TfNSW.

History

At its Ordinary Meeting of 12 October 2021, Council considered a report on the subject PP and resolved as follows:

1. That Council endorses and forwards the PP at attachment 1 to the Department of Planning, Industry and Environment for a Gateway Determination.
2. That should the Minister determine that the proposal may proceed, public exhibition occur in accordance with the Gateway Determination.
3. That following the public exhibition either:
 - a) Where submissions are received a further report be presented to Council on those submissions, or
 - b) Where no submissions are received during the public exhibition period, the PP be finalised.
4. The NSW Department of Planning, Industry and Environment be requested to issue authority to the General Manager to exercise plan making delegations.

On 18 November 2021, the Department of Planning and Environment (DPE) issued a Gateway Determination (attachment 3) which outlined consultation requirements and authorised Council as the local plan making authority to exercise the functions under Section 3.36 (2) of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

The PP was exhibited from 17 January 2022 to 14 February 2022 in accordance with the Gateway Determination and Council resolution of 12 October 2021. In this regard the PP was notified on Council's webpage, the DPE Planning Portal, and notification letters sent to 3 State agencies.

The PP is reported back to Council for consideration in accordance with the Council resolution of 12 October 2021, noting the receipt of 3 submissions (not objections) from State agencies as discussed below.

Report

Proposed Amendments – Campbelltown Local Environmental Plan 2015 (as exhibited)

The intended outcomes of the PP are to be achieved by including exempt development provisions under the Schedule 2 Exempt development of the Campbelltown Local Environmental Plan 2015 (CLEP 2015), to include low-scale advertising on Council sports fields and road side bus shelters. This will enable the subject signage to be placed or erected without the need for a development application to be submitted.

An extract of the proposed amendments to CLEP 2015 under the subject PP as exhibited is provided below:

Schedule 2 – Exempt Development

Signage – Bus Shelter Advertising

1. Maximum – one advertising panel per bus shelter, but the panel may have an advertisement on each side.
2. Maximum display area per panel – 1.2 m x 1.8 m.
3. Must not contain flashing or continuously moving electronic content.
4. Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel.
5. Must not adversely impact the amenity of a heritage item.
6. Must be erected by or on behalf of Council.

Advertisements--signs on field fencing and amenity facilities at sports fields in Zone RE1

1. Must have the consent, in writing, of Council.
2. Must only provide information about sponsors of teams or organisations using the sporting facility.
3. Must not contain direct product advertising for alcohol, tobacco products, or any form of adult entertainment (involving nudity, indecent acts or sexual activity).
4. Must not contain any offensive images or references (including sexual references, nudity, or illegal activity)
5. Must not obstruct any gates, access points or openings.
6. Must not dominate views from the street or from outside of the site on which it is displayed.
7. If affixed to perimeter fencing of the playing area
 - a. must not extend above the top or below the bottom of the fencing, and
 - b. have a maximum length of 3 m, and
 - c. have a maximum height of 1 m.
8. Must be removable signs or fixings, and must not be painted directly onto fencing or any amenity facilities.

9. Must not cover more than 20 per cent of the wall surface area.
10. Must not be illuminated.
11. Must be installed in accordance with relevant building standards.

Public Exhibition Outcomes

The PP was exhibited for 28 days from 17 January 2022 to 14 February 2022 in accordance with the Gateway Determination and following the Christmas/New Year period as required by Council's Community Participation Plan. The PP was publicly exhibited on Council's webpage, the DPE Planning Portal, and notification letters sent to the following State agencies in accordance with the gateway Determination:

1. Transport for NSW (TfNSW)
2. NSW Rural Fire Service
3. Subsidence Advisory NSW

Council received a written response / submission from each agency (refer to attachments 4, 5 and 6 respectively).

No objections were raised by any of the agencies. It is recommended that some minor amendments are made to the PP to respond to the issues raised by TfNSW as discussed below.

1. Stage Agency Submissions

a) Transport for NSW

TfNSW have provided technical comments regarding the proposed development criteria (refer attachment 4), and have suggested minor amendments to the wording of the PP to better respond to potential issues regarding road safety and pedestrian circulation conflicts.

A response to each issue raised in the TfNSW submission is provided below:

Issue

Signage – Bus Shelter

- (3) Must not contain flashing or continuously moving electronic content

It is suggested that this control be amended:

- To exclude any non-static signs; and
- Include controls for backlit/illuminated advertising signs, including maximum luminosity

Response

The proposed design controls for the specified sign types are intended to limit any visual impacts, including potential distraction of passing motorists. All signs that may be erected under the proposed exemption provisions must only be erected by or on behalf of Council, meaning that Council will have direct control over the visual impact of any signs. In this regard, it is considered that the proposed controls which restrict “flashing or continuously moving electronic content” suitably addresses the request by TfNSW to exclude non-static signs.

The PP has been amended as suggested (refer below) to include an additional clause to ensure illumination of signs does not cause distraction to passing motorists:

Any illumination of signs must be limited to ensure luminosity does not cause distraction to passing motorists.

Issue

(4) – Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel.

TfNSW suggest that further clarification may be required to indicate that the advertising should be integrated wholly within the bus shelter. No stand-alone structures or signs should be permissible under this proposal.

Response

Clause (4) as exhibited requires that any permitted signs for bus shelters must be integrated into the design of the bus shelter. Accordingly, no wording amendments are considered necessary to address this issue. However, an additional subclause (12) is recommended as shown below to make clear that no stand-alone structures or signs are permitted:

(12) No stand-alone structures or signs are permitted.

Issue**Advertisements – signs on field fencing and amenity facilities at sports fields in Zone RE1**

Advertising signs as described in this planning proposal must not:

- Distract a driver from or reduce the visibility and effectiveness of, directional signs, traffic signals, prescribed traffic control devices, regulatory signs or advisory signs.
- Obstruct the driver’s view of the road, particularly of other vehicles, bicycle riders, pedestrians at crossings, hazards or intersections.

Further clarification may be required to indicate that the advertising is located wholly on field fencing/ wall perimeter. No stand-alone structures or signs should be permissible under this proposal.

Response

The suggested two clauses relating to driver distraction and view obstruction have been included in the amended PP (refer attachment 1).

The signage types proposed to be exempt development under the PP are specifically for signs on field fencing and amenity facilities at sports fields in Zone RE1. This limits the types of signs to those attached to existing fencing and amenity facilities at Council sports fields, meaning that there is no operation of the clause to allow free standing signs or structures. To reinforce this limitation, and also clarify that the size limitation for signs on amenity facilities is calculated for each facade, it is recommended that the proposed subclause (9) relating to signs on amenity facilities be amended as shown in bold:

(9) **Signage on amenities facilities** must **be flush mounted and** not cover more than 20 per cent of the wall surface area **of any facade**.

b) NSW Rural Fire Service

NSW Rural Fire Service have confirmed in writing that they raise no concerns or issues with the PP (refer Attachment 5).

c) Subsidence Advisory NSW

Subsidence Advisory NSW (formerly known as Mines Subsidence Board) provided a submission confirming that 'advertising and structures and signs' may be erected without their approval and no objections were raised (refer attachment 6).

Gateway Determination Conditions

The following table provides responses to a summary of the gateway determination conditions (see attachment 3) that are required to be met in order for the PP to be finalised.

No.	Condition/Requirement	Response
1	Public exhibition is required under section 3.34(2)(c) and schedule 1 clause 4 of the EP&A Act follows: a) The PP must be made publically available by 28 February 2022 for a minimum of 28 days; and b) The PP authority must comply with the notice requirements for public exhibition of planning proposal and the specifications for material that must be made publically available along with planning proposals as identified in Section 6.5.2 of A guide to preparing local environmental plans (Department of Planning and Environment, 2018).	The PP and associated attachments were publically exhibited for 28 days from 17 January 2022 to 14 February 2022. The PP and associated attachments were made publically available on Council's website and the NSW Planning Portal website. Section 10.17 and 10.18 of the EP&A Act allows Councils to satisfy public exhibition requirements during the COVID-19 pandemic.

2	<p>Consultation is required with the following public authorities/organisations under Section 3.34(2)(d) of the EP&A Act and/or to comply with the requirements of relevant section 9.1 directions:</p> <ul style="list-style-type: none"> • TfNSW • NSW Rural Fire Service • Mines Subsidence Board 	Each of these agencies was consulted and their responses have been discussed above and attached to this report.
3	A public hearing is not required to be held.	Noted.
4	<p>The PP authority is authorised as the local plan-making authority to exercise the functions under 3.36(2) of the EP&A Act subject to the following</p> <ol style="list-style-type: none"> a) The PP has satisfied all conditions of the Gateway Determination b) The PP is consistent with section 9.1 directions c) There are no written objections from public authorities 	<p>All conditions of the Gateway Determination have been satisfactorily complied with, including demonstrated consistency with all relevant Section 9.1 Ministerial Directions.</p> <p>No written objections have been received from the public authorities. Minor amendments to the proposal have been undertaken to address comments and issues raised by TfNSW as outlined in the body of this report. Accordingly, Council may exercise its plan making functions/authorisation under the Gateway Determination to finalise the amendment.</p>
5	The time frame for completing the LEP is to be 9 months following the date of the Gateway Determination	The deadline is 18 July, 2022. If supported by Council, this proposal will be forwarded to DPE well ahead of this deadline.
6	Council should be authorised as the local plan-making authority.	Noted.

Next Steps

The next steps in the process is to forward the PP and attachments to DPE and to complete the process exercising Council's delegation/function as the local plan-making authority.

Conclusion

The Planning Proposal seeks to permit certain types of signs as exempt development. The Planning Proposal was considered and endorsed by Council at its meeting of 12 October 2021 for gateway approval and public exhibition.

The Planning Proposal has been publicly exhibited in accordance with the Gateway Determination issued by the Department Planning and Environment and Council's Community Participation Plan. Three submissions were received from State Agencies. None of these submissions objected to the Planning Proposal. Minor amendments to the wording of the Planning Proposal have been made to address the comments of Transport for NSW.

All conditions of the Gateway Determination have been complied with and Council may therefore exercise its planning making delegation to finalise the proposed amendment in accordance with the Gateway Determination. Accordingly, it is recommended that Council adopt the Planning Proposal attached to this report and exercise its plan making delegation to finalise the amendment.

Attachments

1. Planning Proposal (contained within this report) [↓](#)
2. Copy of Report to Council 12 October 2021(contained within this report) [↓](#)
3. Gateway Determination (contained within this report) [↓](#)
4. TfNSW Submission (contained within this report) [↓](#)
5. NSW RFS Submission (contained within this report) [↓](#)
6. Subsidence Advisory NSW Submission (contained within this report) [↓](#)



Planning Proposal

Amendment of Campbelltown Local Environmental Plan 2015

Exempt development criteria for advertising signs on

Council sports fields and road side bus shelters.

October 2021

(amended March 2022)

Executive Summary

The Planning Proposal seeks to amend the local exempt development provisions of Campbelltown Local Environmental Plan 2015 (CLEP 2015) to permit common forms of small scale advertising signs to be erected at Council sports fields and road side bus shelters without development consent.

The proposed exempt development criteria would control the location, scale and design of small scale advertising on Council owned sports fields and road side bus shelters to ensure they are of minimal environmental impact.

The inclusion of these sign types in the local exempt development provisions of CLEP 2015 would provide consistent criteria for the design and erection of these small-scale signs, and would streamline the existing Council approval process by removing the need for development consent.

Land to which the Proposal Relates

The proposal relates to all of the land to which the exempt provisions of CLEP 2015 apply.

The Planning Proposal**Part 1 – Objectives or Intended Outcomes**

The intended outcomes of this planning proposal are to:

- I. streamline the Council approval process for the placement of low-scale advertising at Council owned sports fields and road side bus shelters.
- II. provide consistent criteria for the design and location of these sign types to be considered as low-impact without the requirement for development consent.

Part 2 – Explanation of provisions

The intended outcomes will be achieved by including exempt development provisions for low-scale advertising on Council sports fields and road side bus shelters under the Schedule 2 Exempt development of the Campbelltown Local Environmental Plan 2015.

Draft provisions are provided below.

*Schedule 2 – Exempt Development***Signage – Bus Shelter Advertising**

- (1) Maximum – 1 advertising panel per bus shelter, but the panel may have an advertisement on each side.
- (2) Maximum display area per panel – 1.2m x 1.8m.
- (3) Must not contain flashing or continuously moving electronic content.
- (4) Any illumination of signs must be limited to ensure luminosity does not cause distraction to passing motorists.
- (5) Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel.
- (6) Must not adversely impact the amenity of a heritage item.
- (7) Must be erected by or on behalf of Council.

Advertisements--signs on field fencing and amenity facilities at sports fields in Zone RE1

- (1) Must have the consent, in writing, of Council.
- (2) Must only provide information about sponsors of teams or organisations using the sporting facility.
- (3) Must not contain direct product advertising for alcohol, tobacco products, or any form of adult entertainment (involving nudity, indecent acts or sexual activity).
- (4) Must not contain any offensive images or references (including sexual references, nudity, or illegal activity)
- (5) Must not obstruct any gates, access points or openings.
- (6) Must not dominate views from the street or from outside of the site on which it is displayed.
- (7) If affixed to perimeter fencing of the playing area
 - a. must not extend above the top or below the bottom of the fencing, and
 - b. have a maximum length of 3 m, and

- c. have a maximum height of 1 m.
- (8) Must be removable signs or fixings, and must not be painted directly onto fencing or any amenity facilities.
- (9) Signage on amenities facilities must be flush mounted and not cover more than 20 per cent of the wall surface area of any facade.
- (10) Must not be illuminated.
- (11) Must be installed in accordance with relevant building standards.
- (12) No stand-alone structures or signs are permitted.
- (13) Must not distract any driver from or reduce the visibility and effectiveness of, directional signs, traffic signals, prescribed traffic control devices, regulatory signs or advisory signs
- (14) Must not obstruct any driver's view of the road, particularly of other vehicles, bicycle riders, pedestrians at crossings, hazards or intersections

Part 3 – Justification

Section A – Need for the planning proposal

1. Is the planning proposal a result of any strategic study or report?

The planning proposal is the result of a strategic review of the regulatory framework for the approval of advertising signs at Council owned sports fields and road side bus shelters throughout the Campbelltown Local Government Area.

2. Is the planning proposal the best means of achieving the objective or intended outcomes, or is there a better way?

Yes, the planning proposal is considered to be the best way to achieve the intended outcomes.

Section B – Relationship to strategic planning framework

3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

Yes. The Planning Proposal is considered to be consistent with the relevant objectives and actions outlined in the Greater Sydney Region Plan and the Western City District Plan. Tables 1 and 2 below demonstrate the consistency of the Planning Proposal with the relevant provisions of the Greater Sydney Region Plan and the Western City District Plan.

Table 1: Greater Sydney Region Plan

Greater Sydney Region Plan Priority	Compliance Statement
Infrastructure and Collaboration	
Objective 4: Infrastructure use is optimised Applicable Actions and Strategies: <input type="checkbox"/> Maximisation of the utility of existing infrastructure assets and consideration to the strategies to influence behaviour changes, to reduce the demand for new infrastructure, including supporting the development of adaptable and flexible regulations to allow decentralised utilities.	Consistent. The proposal will optimise the use of existing Council assets.
Objective 5: Benefits of growth realised by collaboration of governments, community and business	Consistent. The proposal will streamline collaboration between Council and community and business groups relating to placement of the specified advertising signage.

<p>Liveability</p> <p>Objective 6: Services and infrastructure meet communities changing needs</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Deliver social infrastructure to reflect the needs of the community now and in the future. • Optimise the use of available public land for social infrastructure. 	<p>Consistent. The proposal will facilitate the sustainable management of Council bus shelters and optimise the use of Council sports fields by community sporting groups.</p>
<p>Objective 7: Communities are healthy, resilient and socially connected.</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Deliver inclusive places for people of all abilities that support healthy, t and socially connected communities • Providing walkable places with active street life and a human scale. • Prioritising opportunities for people to walk, cycle and use public transport. co-locating schools, social, health, sporting, cultural and shared facilities. • Promoting local access to healthy fresh food and supporting local fresh food production. 	<p>Consistent. The Planning Proposal will improve the public use of Council sports fields and will provide efficiencies for the use and maintenance of these facilities. This is consistent with the promotion of a healthy and resilient community.</p>
<p>Objective 12: Great Places that bring people together</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Deliver great places by prioritising people friendly public realms, balancing the function of streets, providing fine grain urban form and walkability, encourage contemporary heritage where possible and used a placed based approach. • In Collaboration Areas, Planned Precincts and Planning for Centres investigate the need for precinct based provision of adaptable car parking and infrastructure in lieu of private provision of car parking. Ensure parking availability takes into account the level of public transport and consider the capacity for places to change and evolve 	<p>Consistent. The proposal will facilitate the maintenance and financial management of bus shelters, enhancing the public realm through improved connectivity and access to public transport.</p>

to accommodate different activities over time.	
Objective 13: Environmental heritage is conserved and enhanced Applicable Actions and Strategies: <ul style="list-style-type: none"> Conserve and enhance environmental heritage by engaging with the community early in the planning process to understand Aboriginal, European and natural heritage values. Conserve and interpret Aboriginal, European and natural heritage to foster distinctive local spaces. 	Consistent. The proposal does not affect listed items of environmental heritage.
Sustainability	
Objective 31: Public open space is accessible, protected and enhanced	Consistent. The proposal will facilitate the use and maintenance of public open space areas by community groups.

Table 2: Response to Western City District Plan Priorities

Western City District Plan Priority	Compliance Statement
Infrastructure and Collaboration	
Planning Priority W1: Planning for a city supported by infrastructure Applicable Actions: (2) Infrastructure aligns with forecast growth – growth infrastructure compact (4) Infrastructure use is optimised.	Consistent. The proposal will optimise use of sports fields by community sporting groups and improve revenue streams from low scale advertising associated with Council's bus shelter assets.
Planning Priority W2: Working through collaboration	Consistent. The proposal will allow streamlined collaboration between Council, community sporting groups and advertisers to approve new advertising signage in a consistent manner without development consent.
Liveability	
Planning Priority W3: Providing services and social infrastructure to meet people's changing needs. Applicable Actions: (9) Deliver social infrastructure to reflect the needs of the community now and in the future.	Consistent. The proposal will streamline the sustainable use of social infrastructure on Council sports fields and road side bus shelters.

<p>Planning Priority W4: Fostering healthy, creative, culturally rich and socially connected communities</p> <p>Applicable Actions:</p> <p>(11) Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by:</p> <ul style="list-style-type: none"> a. providing walkable places at a human scale with active street life b. prioritising opportunities for people to walk, cycle and use public transport c. co-locating schools, health, aged care, sporting and cultural facilities promoting local access to healthy fresh food and supporting local fresh food production. 	<p>Consistent. The proposal will optimise the sustainable use of Council sporting fields by providing local community groups consistent criteria for the placement of advertising signs without development consent. The proposal will improve the financial management and upkeep of bus shelters facilitating improved opportunities for public transport.</p>
Sustainability	
<p>Planning Priority W18: Delivering high quality open space</p>	<p>Consistent. The proposal will provide consistent criteria to control the visual impacts of advertising signage on Council sporting fields.</p>

4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?

Campbelltown Community Strategic Plan – Campbelltown 2027

The overarching Campbelltown Community Strategic Plan 2027 (CSP) represents the principal community outcome focused strategic plan guiding Council's policy initiatives and actions.

Campbelltown 2027 focusses on delivering four key outcomes over the next 10 years:

- a vibrant, liveable city
- a respected and protected natural environment
- a thriving, attractive city
- a successful city.

The planning proposal is consistent with the following relevant strategies of the CSP relevant to the achievement of the above key outcomes:

3.1- Support the resilience, growth and diversity of the local economy

3.2- Ensure that service provision supports the community to achieve and meets their needs.

4.3- Responsibly manage growth and development, with respect for the environment, heritage and character of our city.

The Planning Proposal would facilitate revenue streams for Council and community sporting groups and would promote local business opportunities through sponsorship. The proposal would provide consistent criteria to ensure advertising signage on sports fields and bus shelters is low scale and low impact. As such, the proposal is consistent with the above strategies and broader outcomes identified by the CSP.

Campbelltown Local Strategic Planning Statement (LSPS)

The Campbelltown Local Strategic Planning Statement (LSPS) came into effect on 31 March 2020.

The LSPS is Campbelltown City Council's plan for our community's social, environmental and economic land use needs over the next 20 years. The LSPS provides context and direction for land use decision making within the Campbelltown Local Government Area.

Its purpose is to:

- Provide a 20 year land use vision for the Campbelltown LGA
- Outline the characteristics that make our city special
- Identify shared values to be enhanced or maintained
- Direct how future growth and change will be managed
- Prioritise changes to planning rules in the Local Environmental Plan (Campbelltown Local Environmental Plan 2015) and Council's Development Control Plans
- Implement the Region and District Plans as relevant to the Campbelltown LGA □ Identify where further detailed strategic planning may be needed.

Four related themes comprise the community's vision for the City of Campbelltown as a vibrant place to live, a successful, thriving and attractive city that respects and protects its heritage and natural environment. These themes will be monitored against identified measures over time and implemented through 16 planning priorities.

The proposed CLEP 2015 amendments are consistent with the following planning priorities of the LSPS:

- Planning Priority 1 - :Creating a great place to live, work, play and visit
- Planning Priority 11 -Striving for increased local employment
- Planning Priority 15 - Strengthening relationships with key stakeholders □ Planning Priority 16 - Involving our community.

The proposal will provide consistent criteria for advertising signage at sporting fields by community sporting groups providing a better environmental outcome and streamlining the regulation of these signs by removing the need for development consent. The proposal will improve the regulation and display of advertising signage on Council bus shelters providing better environmental outcomes for public transport users, opportunities for local business advertising, and an enhanced revenue stream for Council.

5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

The following table provides a brief assessment of consistency against each State Environmental Planning Policy (SEPP) that is relevant to the Planning Proposal.

State Environmental Planning Policies	Comment	Consistency
SEPP (Exempt and Complying Development Codes) 2008	<p>The policy provides exempt and complying development criteria to permit development without development consent.</p> <p>The proposal complements the exempt development provisions of the Codes SEPP for the erection of signage without development consent in the LGA</p>	Consistent
SEPP (Infrastructure) 2007	<p>The policy aims to facilitate the delivery of infrastructure across the State.</p> <p>The proposal complements the exempt development provisions of the Infrastructure SEPP for the erection of signage without development consent in the LGA</p>	Consistent.
SEPP 64 – Advertising and Signage	<p>The policy aims to ensure signage is compatible with desired amenity and visual character of the area.</p> <p>SEPP 64 does not alter the permissibility of signage, and the proposal does not introduce any potential land uses conflicts with this SEPP. Under this proposal third party advertising would only be permitted subject to appropriate criteria to ensure signage is low impact and compatible with the desired character of the area.</p>	Consistent
Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment	The proposal would not impact on the water quality and river flows of the Georges River and its tributaries.	Consistent

6. Is the planning proposal consistent with applicable Ministerial Directions (Section 9.1 Directions)?

A review of the consistency of this planning proposal with the relevant Ministerial Directions under Section 9.1 has been undertaken. Each Ministerial Direction is listed below with an annotation stating whether it is relevant to the planning proposal and confirming consistency.

Consideration of S9.1 Directions	Comment	Consistency
1. Employment and Resources		
1.1 Business and Industrial Zones	The Proposal does not directly relate to business and industrial zoned land.	Not applicable
1.2 Rural Zones	Not relevant to the Proposal. The proposal does not propose any amendments to rural zones.	Not applicable
1.3 Mining, Petroleum Production and Extractive Industries	Not applicable	Not applicable
1.4 Oyster Aquaculture	Not applicable	Not applicable
1.5 Rural Lands	This direction does not apply to Campbelltown Local Government Area.	Not applicable
2. Environment and Heritage		
2.1 Environment Protection Zones	This proposal would not result in any adverse impacts to listed items of environmental heritage or places of indigenous heritage significance.	Consistent
2.2 Coastal Protection	Not applicable	Not applicable
2.3 Heritage Conservation	This direction does not apply as no listed heritage items or conservation areas exist within the subject site.	Not applicable
2.4 Recreation Vehicle Areas	Not applicable	Not applicable
2.5 Application of E2 and E3 Zones and Environmental Overlays in Far North Coast LEPs	Not applicable	Not applicable
2.6 Remediation of Contaminated Land	Not applicable	Not applicable
3. Housing, Infrastructure and Urban Development		
3.1 Residential Zones	The proposal would not impact upon housing or related infrastructure. The exempt development requirements would limit the potential impact of advertising signs on the environment.	Consistent
3.2 Caravan Parks and Manufactured Homes	Not applicable	Not applicable

3.3 Home Occupations	The Ministerial Direction was revoked on 9 November 2020.	Not applicable
3.4 Integrating Land Use and Transport	The proposal would be consistent with improving public transport access by regulating the placement of advertising signs associated with road side bus shelters.	Consistent
3.5 Development Near Licensed Aerodromes	Not applicable	Not applicable
3.6 Shooting Ranges	Not applicable	Not applicable
3.7 Reduction in non-hosted short term rental accommodation period	Not applicable	Not applicable
4. Hazard and Risk		
4.1 Acid Sulfate Soils	The proposal would not result in an intensification of land uses on land identified as having a probability of containing acid sulfate soils on the Acid Sulfate Soils Planning Maps	Consistent
4.2 Mine Subsidence and Unstable Land	The proposal would not result in increased potential for damage to life, property and the environment on land identified as unstable or potentially subject to mine subsidence. Consultation with the Mines Subsidence Board is required.	Consistent subject to consultation with Mines Subsidence Board
4.3 Flood Prone Land	The proposal would not create, remove or alter a zone or a provision that affects flood prone land	Not applicable
4.4 Planning for Bushfire Protection	The proposal does not expand or alter land uses in bush fire prone areas. Consultation with NSW Rural Fire Service is required.	Consistent subject to consultation with NSW Rural Fire Service
5. Regional Planning		
5.1 Implementation of Regional Strategies	The Ministerial Direction was revoked on the 17th of October 2017.	Not applicable
5.2 Sydney Drinking Water Catchments	The proposal does not affect land within the Sydney drinking water catchment.	Not applicable
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	Not applicable	Not applicable
5.4 Commercial and Retail Development along the Pacific Highway, North Coast	Not applicable	Not applicable
5.5 - 5.8	Ministerial Directions have been Revoked	Not applicable
5.9 North West Rail Link Corridor Strategy	Not applicable	Not applicable

5.10 Implementation of Regional Plans	Refer to Tables 1 and 2 of this proposal for an assessment of consistency with the relevant actions and priorities of the Greater Sydney Region Plan and Western City District Plan.	Consistent
5.11 Development of Aboriginal Land Council Land	The proposal does not affect land shown on the Land Application Map of State Environmental Planning Policy (Aboriginal Land) 2019.	Not applicable
6. Local Plan Making		
6.1 Approval and Referral Requirements	The proposal does not trigger the need for any additional concurrence, consultation or referral to a Minister or Public Authority.	Consistent
6.2 Reserving Land for Public Purposes	The proposal does not create, alter or reduce existing zonings or reservations of land for public purposes.	Not applicable
6.3 Site Specific Provisions	This direction does not propose any restrictive site specific planning controls.	Consistent
7. Metropolitan Planning		
7.1 Implementation of a Plan for Growing Sydney	Ministerial Direction revoked 9 November 2020.	Not applicable
7.2 Implementation of Greater Macarthur Land Release Investigation	Ministerial Direction revoked 28 November 2019.	Not applicable
7.3 Parramatta Road Corridor Urban Transformation Strategy	Not applicable	Not applicable
7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable
7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable
7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor	The proposal does not introduce development that is inconsistent with the precinct plans approved by the Minister for Planning and published on the Department's website on 22 December 2017.	Consistent

7.8 Implementation of the Western Sydney Aerotropolis Plan	The proposal does not introduce development that is inconsistent with the Western Sydney Aerotropolis Plan.	Consistent
7.9 Implementation of Bayside West Precincts 2036 Plan	Not applicable	Not applicable
7.10 Implementation of Planning Principles for the Cooks Cove Precinct	Not applicable	Not applicable
7.11 Implementation of St Leonards and Crows Nest 2036 Plan	Not applicable	Not applicable
7.12 Implementation of Greater Macarthur 2040	The proposal does not introduce development that is inconsistent with the Greater Macarthur 2040	Consistent
7.13 Implementation of the Pyrmont Peninsula Place Strategy	Not applicable	Not applicable

Section C – Environmental, social and economic impact**7. Is there any likelihood that critical habitat or threatened species, populations' or ecological communities or their habitat will be adversely affected as a result of the proposal?**

No.

The proposed exempt development provisions would not result in any critical habitat or threatened species, populations or ecological communities or habitat being adversely affected.

8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

No.

The proposed exempt development provisions will effectively mitigate any likely environmental impacts.

9. Has the planning proposal adequately addressed any social and economic effects?

Yes.

The proposal would provide a consistent set of standards to control the placement of low impact advertising signs on bus shelters and sporting fields without the need for development consent, reducing costs and time associated with the duplicate approval of these sign types by Council. The proposed exempt development provisions will facilitate advertising by local businesses in a consistent manner to limit any environmental and social impacts of such advertising signage and to ensure appropriate safety standards are maintained. Such signage would still be managed and approved by Council as the land owner under a separate agreement with the advertising sign users.

Section D – State and Commonwealth Interests**10. Is there adequate public infrastructure for the planning proposal?**

Yes.

The planning proposal will not result in any need for additional public infrastructure.

11. What are the views of the State and Commonwealth public authorities consulted in accordance with the Gateway Determination?

Consultation will occur with relevant State Government authorities identified in the Gateway Determination.

Part 4 – Mapping

No maps are proposed to be amended by this proposal.

Part 5 – Community consultation

Community consultation would take place following a Gateway determination in accordance with the Gateway Determination directives. It is anticipated that public exhibition would include:

A notice and all relevant documentation forming the PP to be placed on Council's website and the NSW Planning Portal

- A 28 day exhibition period
- Consultation with the following Stage Government agencies:
 - Transport for NSW / Roads and Maritime Services
 - NSW Rural Fire Service
 - Mines Subsidence Board

Part 6 – Project Timeline

The anticipated timeline for finalising the LEP amendment is provided as follows:

Date	Item
25 August 2021	Review by Local Planning Panel
October 2021	Report to Council for endorsement and submission to DPIE for Gateway Determination
December 2021	Gateway Determination
January – February 2022	Public exhibition period and government agency consultation
March 2022	Consider submissions and complete post-exhibition report
April 2022	Council meeting to consider post exhibition report
May 2022	Finalise drafting of proposed amendments with DPIE
June 2022	Making of LEP amendment



Ordinary Council Meeting

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8.6 Planning Proposal - Signage as Exempt Development under Campbelltown Local Environmental Plan 2015

Reporting Officer

Executive Manager Urban Centres
City Development

Community Strategic Plan

Objective	Strategy
4 Outcome Four: A Successful City	4.3 - Responsibly manage growth and development, with respect for the environment, heritage and character of our city

Officer's Recommendation

1. That Council endorses and forwards the Planning Proposal at attachment 1 to the Department of Planning, Industry and Environment for a Gateway Determination.
2. That should the Minister determine that the proposal may proceed, public exhibition occur in accordance with the Gateway Determination.
3. That following the public exhibition either:
 - a) where submissions are received a further report be presented to Council on those submissions, or
 - b) where no submissions are received during the public exhibition period, the Planning Proposal be finalised.
4. The NSW Department of Planning, Industry and Environment be requested to issue authority to the General Manager to exercise plan making delegations.

Purpose

To assist Council in its decision whether to support the progression of the subject application for a Gateway Determination in accordance with the provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

Item 8.6

Report

Executive Summary

- A Planning Proposal has been prepared seeking to amend the local exempt development provisions of Campbelltown Local Environmental Plan 2015 (CLEP 2015) to permit common forms of small scale advertising signs to be erected at Council sports fields and road side bus shelters without development consent.
- The proposed exempt development criteria would control the location, scale and design of small scale advertising on Council owned sports fields and road side bus shelters to ensure these forms of advertising signage are appropriately managed with no adverse environmental impacts.
- The inclusion of these sign types in the local exempt development provisions of CLEP 2015 would also streamline the existing Council approval process for the placement of these particular sign types by removing the need for development consent.
- The Campbelltown Local Planning Panel (the Panel) considered the proposal at its meeting on 25 August 2021 and has provided advice in support of the proposal, with a recommendation for Council to make sure that there is clear direction set for any delegated staff member who will be making the decision as to whether the proposed signs meet the listed criteria.
- It is recommended that Council seek a Gateway Determination in regards to the Planning Proposal and then proceed to public exhibition.

Introduction

Advertising signs are regulated under the EP&A Act and related environmental planning instruments. Commonly used types of signs for businesses and other purposes are provided for as 'exempt development' in the State Environmental Planning Policy – Exempt and Complying Development Code (Codes SEPP), provided they meet the standards set for those types of signs. The operation of the Codes SEPP in this manner provides a streamlined approach for Council to regulate the erection of numerous types of low-impact signs without the obligation for development consent to be obtained under the EP&A Act.

A review of the regulatory framework for the erection of commonly erected signage by Council has identified 2 types of low-impact signage that are not listed as exempt development under the Codes SEPP.

These comprise of the following sign types commonly erected on Council land:

- Advertising signage at sports fields
- Advertising signage on bus shelters.

The size and design of the above sign types are regulated by Council under individual agreements with the users of Council owned or managed land, ensuring that design outcomes are appropriately managed and there are no adverse environmental impacts. Accordingly, there is considered to be no planning need to require a separate development application for these 2 sign types for concurrent assessment and approval under the EP&A Act.

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By amending CLEP 2015 to include these 2 particular sign types and corresponding development criteria within the Schedule 2 'exempt development' provisions, the need for development consent is avoided and any potential environmental impacts are able to be efficiently managed.

Relevant Planning Policy Framework

State Environmental Planning Policy (Infrastructure) 2007

State Environmental Planning Policy (Infrastructure) 2007 (Infrastructure SEPP) identifies certain types of development as 'exempt development', which may be carried out without the need for development consent. The Infrastructure SEPP permits the construction, maintenance or repair of bus shelters for or on behalf of Council as exempt development, however these provisions do not extend to commercial advertising.

There are no provisions of the Infrastructure SEPP that relate to advertising signage on Council owned sports fields.

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

The majority of exempt and complying development types and their development standards are found in State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (Codes SEPP). The Codes SEPP provides a list of common types of signage that may be erected and maintained as exempt development.

The Codes SEPP permits 12 specific types of signage that may be erected as exempt development, listed as follows:

- building identification signs
- wall signs
- fascia signs
- under awning signs
- top hamper signs
- window signs
- replacement of identification signs
- internal signs
- community notice and public information signs
- temporary event signs
- real estate signs
- election signs

Generally to be considered exempt development under the Codes SEPP, the sign must:

- have consent in writing from the owner of the land on which the sign is located; if the sign is located over adjoining land, the consent of the owner of the adjoining land is also required
- be approved under section 138 of the *Roads Act 1993* if the sign or part of the sign projects over a public road (including a footpath)
- not be carried out on or in relation to a building being used as a restricted premise
- not cover any mechanical ventilation outlets located on any building in which the business is carried out not obstruct or interfere with any traffic sign

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- all signage must be securely fixed to the building in accordance with the relevant Australian Standards.

There are no provisions of the Codes SEPP that relate to advertising signage on Council owned sports fields or the placement of advertising signs on Council bus shelters.

State Environmental Planning Policy No 64 – Advertising and Signage (SEPP 64)

This State planning policy generally applies to all signage that is visible from any public place or public reserve including transport corridors, and aims to ensure that signage is of a high quality design and compatible with the desired amenity and visual character of an area. The Policy does not apply to signage that is exempt development under an environmental planning instrument.

The PP is consistent with the aims and objectives of SEPP 64, through the provision of appropriate criteria to ensure such signage is low impact and compatible with the desired character of the area. The PP does not introduce any potential land uses conflicts with this SEPP, and aligns with the provisions of the policy that exclude its application for low impact signs identified as exempt development.

Campbelltown Local Environmental Plan 2015**Land Use Table – Zoning Restrictions**

Council sports fields are typically zoned RE1 Public Recreation under CLEP 2015. The RE1 zoning table requires development consent for the erection of signage.

Council bus stops within the Local Government Area are generally located within the road reserve, being zoned SP2 Infrastructure zone under CLEP 2015 for main roads and the adjoining zone for local roads, whether that be a residential, rural, industrial or commercial/business zone. Advertising or commercial signage on bus shelters is prohibited under the SP2 Infrastructure zone and in all residential zones.

Clause 7.11 – Advertising on Bus Shelters

Clause 7.11 of CLEP 2015 provides an approval pathway for advertising signs to be placed on bus shelters only with development consent. This provision does not extend to allowing advertising signs on bus shelters without development consent.

Schedule 2 Exempt development

The Schedule 2 provisions of CLEP 2015 provide exempt development criteria for the Campbelltown Local Government Area, in addition to the exempt development specified under Codes SEPP and Infrastructure SEPP. The local provisions under Schedule 2 currently permit limited forms of 'Advertising signs' to be erected as exempt development, however this provision does not extend to advertising signs on Council sports fields or bus shelters.

The proposal seeks to amend the exempt development provisions in Schedule 2 of CLEP 2015 to include additional signage types as discussed below.

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Proposed Amendments – Schedule 2 Exempt Development Provisions of CLEP 2015

Part 3 of CLEP 2015 provides the local exempt and complying development provisions for the Campbelltown Local Government Area, comprising additional exempt and complying development not covered by the Codes SEPP or other State environmental planning policies. Development that meets the requirements of Part 3 (particularly clause 3.1) and specific criteria provided in Schedule 2 of CLEP 2015 is exempt development, and therefore may be erected without development consent.

Schedule 2 of CLEP 2015 is proposed to be amended to include additional provisions for advertising signs on bus shelters and sporting fields, allowing these sign types to be carried out without the need for development consent under the EP&A Act. These provisions have been prepared to limit the environmental and social impacts of such advertising signage and to ensure appropriate safety standards are maintained. Such signage would still be managed and approved by Council as the land owner under a separate agreement with the advertising sign users.

Details of the proposed amendment to the Schedule 2 Exempt development provisions of CLEP 2015 are provided below:

Signage – Bus Shelter Advertising

- (1) Maximum – one advertising panel per bus shelter, but the panel may have an advertisement on each side
- (2) Maximum display area per panel – 1.2 m x 1.8 m
- (3) Must not be positioned or illuminated in a manner that distracts drivers, including flashing or continuously moving electronic content
- (4) Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel
- (5) Must not adversely impact the amenity of a heritage item
- (6) Must be erected by or on behalf of Council.

Advertisements--signs on field fencing and amenity facilities at sports fields in Zone RE1

- (1) Must have the consent, in writing, of Council
- (2) Must only provide information about sponsors of teams or organisations using the sporting facility
- (3) Must not contain direct or indirect advertising for alcohol, tobacco products or any form of adult entertainment involving nudity, indecent acts or sexual activity
- (4) Must not contain any offensive images or references including sexual references, nudity or illegal activity
- (5) Must not obstruct any gates, access points or openings
- (6) Must not be obvious from any adjoining public road area, or impede or dominate views from the road or from outside of the site on which it is displayed
- (7) If affixed to perimeter fencing of the playing area
 - a. must not extend above the top or below the bottom of the fencing, and
 - b. have a maximum length of 3 m, and
 - c. have a maximum height of 1 m.
- (8) Must be removable signs or fixings, and must not be painted directly onto fencing or any amenity facilities.
- (9) Must not cover more than 20 per cent of the wall surface area of any amenity facilities.

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- (10) Must not be illuminated.
- (11) Must be installed in accordance with relevant building standards.

The final design of the above sign types would continue to be regulated by Council under separate agreements with users to ensure that these sign types are appropriately managed, continue to provide opportunities to generate revenue through the advertising of audience appropriate industries and businesses, and ensure such advertisement has a negligible impact on the visual amenity of the community.

Campbelltown City Local Planning Panel (CLPP)

The draft Planning Proposal was considered by the Panel, at its meeting on 25 August 2021 who provided the following advice in accordance with Section 2.19 of the EP&A Act and the Direction No.2 of the Local Planning Panels Direction – Planning Proposals.

“The Panel recommend that the Planning Proposal attached to the report proceed as recommended in Part 6 on page 496 of the Agenda.

The Panel commends the Council for seeking to simplify the planning process for signage.

The Panel recommends that Council make sure there is clear direction set for any delegated staff member who will be making the decision as to whether the proposed signs meet the listed criteria.”

In response to this advice:

- 1) The Planning Proposal as supported by the Panel, with minor changes, is attached for the consideration and endorsement of Council in accordance with the recommendations of this report; and
- 2) The administrative processes of Council governing the placement of signs at Council sporting fields and roadside bus shelters have been reviewed to require appropriate consideration and consistency with the listed exempt development criteria under the subject proposal.

Conclusion

A Planning Proposal has been prepared seeking to amend the local exempt development provisions of Campbelltown Local Environmental Plan 2015 to permit common forms of small scale advertising signs to be erected at Council sports fields and road side bus shelters without development consent.

The inclusion of additional types in Schedule 2 of the Campbelltown Local Environmental Plan 2015 would provide strategic merit by providing consistent environmental criteria for the regulation of these small-scale signs, and streamlining the existing Council sign approval process by removing the need for a duplicate assessment under a development application. The proposed amendments to Campbelltown Local Environmental Plan 2015 are considered to be the most appropriate means of achieving the desired outcome for the proposal.

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The proposal has been considered and is supported by the Campbelltown Local Planning Panel.

Accordingly, it is requested that Council endorse and support the submission of the Planning Proposal for a Gateway Determination in accordance with the recommendations of this report.

Attachments

1. Planning Proposal – Signage as Exempt Development under CLEP 2015 (contained within this report) [↓](#)

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Planning Proposal

Amendment of Campbelltown Local Environmental Plan 2015

Exempt development criteria for advertising signs on

Council sports fields and road side bus shelters.

August 2021

Executive Summary

The Planning Proposal seeks to amend the local exempt development provisions of Campbelltown Local Environmental Plan 2015 (CLEP 2015) to permit common forms of small scale advertising signs to be erected at Council sports fields and road side bus shelters without development consent.

The proposed exempt development criteria would control the location, scale and design of small scale advertising on Council owned sports fields and road side bus shelters to ensure they are of minimal environmental impact.

The inclusion of these sign types in the local exempt development provisions of CLEP 2015 would provide consistent criteria for the design and erection of these small-scale signs, and would streamline the existing Council approval process by removing the need for development consent.

Land to which the Proposal Relates

The proposal relates to all of the land to which the exempt provisions of CLEP 2015 apply.

The Planning Proposal**Part 1 – Objectives or Intended Outcomes**

The intended outcomes of this planning proposal are to:

- I. streamline the Council approval process for the placement of low-scale advertising at Council owned sports fields and road side bus shelters.
- II. provide consistent criteria for the design and location of these sign types to be considered as low-impact without the requirement for development consent.

Part 2 – Explanation of provisions

The intended outcomes will be achieved by including exempt development provisions for low-scale advertising on Council sports fields and road side bus shelters under the Schedule 2 Exempt development of the Campbelltown Local Environmental Plan 2015.

Draft provisions are provided below.

Schedule 2 – Exempt Development**Signage – Bus Shelter Advertising**

- (1) Maximum – 1 advertising panel per bus shelter, but the panel may have an advertisement on each side.
- (2) Maximum display area per panel – 1.2m x 1.8m.
- (3) Must not contain flashing or continuously moving electronic content.
- (4) Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel.
- (5) Must not adversely impact the amenity of a heritage item.
- (6) Must be erected by or on behalf of Council.

Advertisements--signs on field fencing and amenity facilities at sports fields in Zone RE1

- (1) Must have the consent, in writing, of Council.
- (2) Must only provide information about sponsors of teams or organisations using the sporting facility.
- (3) Must not contain direct product advertising for alcohol, tobacco products, or any form of adult entertainment (involving nudity, indecent acts or sexual activity).
- (4) Must not contain any offensive images or references (including sexual references, nudity, or illegal activity)
- (5) Must not obstruct any gates, access points or openings.
- (6) Must not dominate views from the street or from outside of the site on which it is displayed.
- (7) If affixed to perimeter fencing of the playing area
 - a. must not extend above the top or below the bottom of the fencing, and
 - b. have a maximum length of 3 m, and
 - c. have a maximum height of 1 m.

- (8) Must be removable signs or fixings, and must not be painted directly onto fencing or any amenity facilities.
- (9) Must not cover more than 20 per cent of the wall surface area of any amenity facilities.
- (10) Must not be illuminated.
- (11) Must be installed in accordance with relevant building standards

Part 3 – Justification

Section A – Need for the planning proposal

1. Is the planning proposal a result of any strategic study or report?

The planning proposal is the result of a strategic review of the regulatory framework for the approval of advertising signs at Council owned sports fields and road side bus shelters throughout the Campbelltown Local Government Area.

2. Is the planning proposal the best means of achieving the objective or intended outcomes, or is there a better way?

Yes, the planning proposal is considered to be the best way to achieve the intended outcomes.

Section B – Relationship to strategic planning framework

3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

Yes. The Planning Proposal is considered to be consistent with the relevant objectives and actions outlined in the Greater Sydney Region Plan and the Western City District Plan. Tables 1 and 2 below demonstrate the consistency of the Planning Proposal with the relevant provisions of the Greater Sydney Region Plan and the Western City District Plan.

Table 1: Greater Sydney Region Plan

Greater Sydney Region Plan Priority	Compliance Statement
Infrastructure and Collaboration	
Objective 4: Infrastructure use is optimised Applicable Actions and Strategies: <input type="checkbox"/> Maximisation of the utility of existing infrastructure assets and consideration to the strategies to influence behaviour changes, to reduce the demand for new infrastructure, including supporting the development of adaptable and flexible regulations to allow decentralised utilities.	Consistent. The proposal will optimise the use of existing Council assets.
Objective 5: Benefits of growth realised by collaboration of governments, community and business	Consistent. The proposal will streamline collaboration between Council and community and business groups relating to placement of the specified advertising signage.

Liveability	
<p>Objective 6: Services and infrastructure meet communities changing needs Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Deliver social infrastructure to reflect the needs of the community now and in the future. • Optimise the use of available public land for social infrastructure. 	<p>Consistent. The proposal will facilitate the sustainable management of Council bus shelters and optimise the use of Council sports fields by community sporting groups.</p>
<p>ve 7: Communities are healthy, t and socially connected. ble Actions and Strategies: liver inclusive places for people of all abilities that support healthy, t and socially connected communities</p> <p>□ Providing walkable places with active ages anstreet life and a human scale. resilienprioritising opportunities for by: ○ people to walk, cycle and use public transport. co-locating schools, social, health, sporting, cultural and shared facilities. ○ promoting local access to healthy fresh food and supporting local fresh food production. ○</p>	<p>Consistent. The Planning Proposal will improve the public use of Council sports fields and will provide efficiencies for the use and maintenance of these facilities. This is consistent with the promotion of a healthy and resilient community.</p>
<p>Objective 12: Great Places that bring people together Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Deliver great places by prioritising people friendly public realms, balancing the function of streets, providing fine grain urban form and walkability, encourage contemporary heritage where possible and used a placed based approach. • In Collaboration Areas, Planned Precincts and Planning for Centres investigate the need for precinct based provision of adaptable car parking and infrastructure in lieu of private provision of car parking. Ensure parking availability takes into account the level of public transport and consider the capacity for places to change and evolve 	<p>Consistent. The proposal will facilitate the maintenance and financial management of bus shelters, enhancing the public realm through improved connectivity and access to public transport.</p>

to accommodate different activities over time.	
Objective 13: Environmental heritage is conserved and enhanced Applicable Actions and Strategies: <ul style="list-style-type: none"> • Conserve and enhance environmental heritage by engaging with the community early in the planning process to understand Aboriginal, European and natural heritage values. • Conserve and interpret Aboriginal, European and natural heritage to foster distinctive local spaces. 	Consistent. The proposal does not affect listed items of environmental heritage.
Sustainability	
Objective 31: Public open space is accessible, protected and enhanced	Consistent. The proposal will facilitate the use and maintenance of public open space areas by community groups.

Table 2: Response to Western City District Plan Priorities

Western City District Plan Priority	Compliance Statement
Infrastructure and Collaboration	
Planning Priority W1: Planning for a city supported by infrastructure Applicable Actions: (2) Infrastructure aligns with forecast growth – growth infrastructure compact (4) Infrastructure use is optimised.	Consistent. The proposal will optimise use of sports fields by community sporting groups and improve revenue streams from low scale advertising associated with Council's bus shelter assets.

Planning Priority W2: Working through collaboration	Consistent. The proposal will allow streamlined collaboration between Council, community sporting groups and advertisers to approve new advertising signage in a consistent manner without development consent.
Liveability	
Planning Priority W3: Providing services and social infrastructure to meet people's changing needs. Applicable Actions: (9) Deliver social infrastructure to reflect the needs of the community now and in the future.	Consistent. The proposal will streamline the sustainable use of social infrastructure on Council sports fields and road side bus shelters.
Planning Priority W4: Fostering healthy, creative, culturally rich and socially connected communities Applicable Actions: (11) Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by: <ul style="list-style-type: none"> a. providing walkable places at a human scale with active street life b. prioritising opportunities for people to walk, cycle and use public transport c. co-locating schools, health, aged care, sporting and cultural facilities promoting local access to healthy fresh food and supporting local fresh food production. 	Consistent. The proposal will optimise the sustainable use of Council sporting fields by providing local community groups consistent criteria for the placement of advertising signs without development consent. The proposal will improve the financial management and upkeep of bus shelters facilitating improved opportunities for public transport.
Sustainability	
Planning Priority W18: Delivering high quality open space	Consistent. The proposal will provide consistent criteria to control the visual impacts of advertising signage on Council sporting fields.

4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?

Campbelltown Community Strategic Plan – Campbelltown 2027

The overarching Campbelltown Community Strategic Plan 2027 (CSP) represents the principal community outcome focused strategic plan guiding Council's policy initiatives and actions.

Campbelltown 2027 focusses on delivering four key outcomes over the next 10 years:

- a vibrant, liveable city
- a respected and protected natural environment □ a thriving, attractive city □ a successful city.

The planning proposal is consistent with the following relevant strategies of the CSP relevant to the achievement of the above key outcomes:

- 3.1- Support the resilience, growth and diversity of the local economy
- 3.2- Ensure that service provision supports the community to achieve and meets their needs.
- 4.3- Responsibly manage growth and development, with respect for the environment, heritage and character of our city.

The Planning Proposal would facilitate revenue streams for Council and community sporting groups and would promote local business opportunities through sponsorship. The proposal would provide consistent criteria to ensure advertising signage on sports fields and bus shelters is low scale and low impact. As such, the proposal is consistent with the above strategies and broader outcomes identified by the CSP.

Campbelltown Local Strategic Planning Statement (LSPS)

The Campbelltown Local Strategic Planning Statement (LSPS) came into effect on 31 March 2020.

The LSPS is Campbelltown City Council's plan for our community's social, environmental and economic land use needs over the next 20 years. The LSPS provides context and direction for land use decision making within the Campbelltown Local Government Area.

Its purpose is to:

- Provide a 20 year land use vision for the Campbelltown LGA
- Outline the characteristics that make our city special
- Identify shared values to be enhanced or maintained
- Direct how future growth and change will be managed
- Prioritise changes to planning rules in the Local Environmental Plan (Campbelltown Local Environmental Plan 2015) and Council's Development Control Plans
- Implement the Region and District Plans as relevant to the Campbelltown LGA □ Identify where further detailed strategic planning may be needed.

Four related themes comprise the community's vision for the City of Campbelltown as a vibrant place to live, a successful, thriving and attractive city that respects and protects its heritage and natural environment. These themes will be monitored against identified measures over time and implemented through 16 planning priorities.

The proposed CLEP 2015 amendments are consistent with the following planning priorities of the LSPS:

- Planning Priority 1 - :Creating a great place to live, work, play and visit
- Planning Priority 11 -Striving for increased local employment
- Planning Priority 15 - Strengthening relationships with key stakeholders □ Planning Priority 16 - Involving our community.

The proposal will provide consistent criteria for advertising signage at sporting fields by community sporting groups providing a better environmental outcome and streamlining the regulation of these signs by removing the need for development consent. The proposal will improve the regulation and display of advertising signage on Council bus shelters providing better environmental outcomes for

public transport users, opportunities for local business advertising, and an enhanced revenue stream for Council.

5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

The following table provides a brief assessment of consistency against each State Environmental Planning Policy (SEPP) that is relevant to the Planning Proposal.

State Environmental Planning Policies	Comment	Consistency
SEPP (Exempt and Complying Development Codes) 2008	The policy provides exempt and complying development criteria to permit development without development consent. The proposal complements the exempt development provisions of the Codes SEPP for the erection of signage without development consent in the LGA	Consistent
SEPP (Infrastructure) 2007	The policy aims to facilitate the delivery of infrastructure across the State. The proposal complements the exempt development provisions of the Infrastructure SEPP for the erection of signage without development consent in the LGA	Consistent.
SEPP 64 – Advertising and Signage	The policy aims to ensure signage is compatible with desired amenity and visual character of the area. SEPP 64 does not alter the permissibility of signage, and the proposal does not introduce any potential land uses conflicts with this SEPP. Under this proposal third party advertising would only be permitted subject to appropriate criteria to ensure signage is low impact and compatible with the desired character of the area.	Consistent
Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment	The proposal would not impact on the water quality and river flows of the Georges River and its tributaries.	Consistent

6. Is the planning proposal consistent with applicable Ministerial Directions (Section 9.1 Directions)?

A review of the consistency of this planning proposal with the relevant Ministerial Directions under Section 9.1 has been undertaken. Each Ministerial Direction is listed below with an annotation stating whether it is relevant to the planning proposal and confirming consistency.

Consideration of S9.1 Directions	Comment	Consistency
1. Employment and Resources		
1.1 Business and Industrial Zones	The Proposal does not directly relate to business and industrial zoned land.	Not applicable
1.2 Rural Zones	Not relevant to the Proposal. The Proposal does not propose any amendments to rural zones.	Not applicable
1.3 Mining, Petroleum Production and Extractive Industries	Not applicable	Not applicable
1.4 Oyster Aquaculture	Not applicable	Not applicable
1.5 Rural Lands	This direction does not apply to Campbelltown Local Government Area.	Not applicable
2. Environment and Heritage		
2.1 Environment Protection Zones	This proposal would not result in any adverse impacts to listed items of environmental heritage or places of indigenous heritage significance.	Consistent
2.2 Coastal Protection	Not applicable	Not applicable
2.3 Heritage Conservation	This direction does not apply as no listed heritage items or conservation areas exist within the subject site.	Not applicable
2.4 Recreation Vehicle Areas	Not applicable	Not applicable
2.5 Application of E2 and E3 Zones and Environmental Overlays in Far North Coast LEPs	Not applicable	Not applicable
2.6 Remediation of Contaminated Land	Not applicable	Not applicable
3. Housing, Infrastructure and Urban Development		
3.1 Residential Zones	The proposal would not impact upon housing or related infrastructure. The exempt development requirements would limit the potential impact of advertising signs on the environment.	Consistent
3.2 Caravan Parks and Manufactured Homes	Not applicable	Not applicable
3.3 Home Occupations	The Ministerial Direction was revoked on 9 November 2020.	Not applicable

3.4 Integrating Land Use and Transport	The proposal would be consistent with improving public transport access by regulating the placement of advertising signs associated with road side bus shelters.	Consistent
3.5 Development Near Licensed Aerodromes	Not applicable	Not applicable
3.6 Shooting Ranges	Not applicable	Not applicable
3.7 Reduction in non-hosted short term rental accommodation period	Not applicable	Not applicable
4. Hazard and Risk		
4.1 Acid Sulfate Soils	The proposal would not result in an intensification of land uses on land identified as having a probability of containing acid sulfate soils on the Acid Sulfate Soils Planning Maps	Consistent
4.2 Mine Subsidence and Unstable Land	The proposal would not result in increased potential for damage to life, property and the environment on land identified as unstable or potentially subject to mine subsidence. Consultation with the Mines Subsidence Board is required.	Consistent subject to consultation with Mines Subsidence Board
4.3 Flood Prone Land	The proposal would not create, remove or alter a zone or a provision that affects flood prone land	Not applicable
4.4 Planning for Bushfire Protection	The proposal does not expand or alter land uses in bush fire prone areas. Consultation with NSW Rural Fire Service is required.	Consistent subject to consultation with NSW Rural Fire Service
5. Regional Planning		
5.1 Implementation of Regional Strategies	The Ministerial Direction was revoked on the 17th of October 2017.	Not applicable
5.2 Sydney Drinking Water Catchments	The proposal does not affect land within the Sydney drinking water catchment.	Not applicable
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	Not applicable	Not applicable
5.4 Commercial and Retail Development along the Pacific Highway, North Coast	Not applicable	Not applicable
5.5 - 5.8	Ministerial Directions have been Revoked	Not applicable
5.9 North West Rail Link Corridor Strategy	Not applicable	Not applicable

5.10 Implementation of Regional Plans	Refer to Tables 1 and 2 of this proposal for an assessment of consistency with the relevant actions and priorities of the Greater Sydney Region Plan and Western City District Plan.	Consistent
5.11 Development of Aboriginal Land Council Land	The proposal does not affect land shown on the Land Application Map of State Environmental Planning Policy (Aboriginal Land) 2019.	Not applicable
6. Local Plan Making		
6.1 Approval and Referral Requirements	The proposal does not trigger the need for any additional concurrence, consultation or referral to a Minister or Public Authority.	Consistent
6.2 Reserving Land for Public Purposes	The proposal does not create, alter or reduce existing zonings or reservations of land for public purposes.	Not applicable
6.3 Site Specific Provisions	This direction does not propose any restrictive site specific planning controls.	Consistent
7. Metropolitan Planning		
7.1 Implementation of a Plan for Growing Sydney	Ministerial Direction revoked 9 November 2020.	Not applicable
7.2 Implementation of Greater Macarthur Land Release Investigation	Ministerial Direction revoked 28 November 2019.	Not applicable
7.3 Parramatta Road Corridor Urban Transformation Strategy	Not applicable	Not applicable
7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable
7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not applicable	Not applicable

7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor	The proposal does not introduce development that is inconsistent with the precinct plans approved by the Minister for Planning and published on the Department's website on 22 December 2017.	Consistent
7.8 Implementation of the Western Sydney Aerotropolis Plan	The proposal does not introduce development that is inconsistent with the Western Sydney Aerotropolis Plan.	Consistent
7.9 Implementation of Bayside West Precincts 2036 Plan	Not applicable	Not applicable
7.10 Implementation of Planning Principles for the Cooks Cove Precinct	Not applicable	Not applicable
7.11 Implementation of St Leonards and Crows Nest 2036 Plan	Not applicable	Not applicable
7.12 Implementation of Greater Macarthur 2040	The proposal does not introduce development that is inconsistent with the Greater Macarthur 2040	Consistent
7.13 Implementation of the Pyrmont Peninsula Place Strategy	Not applicable	Not applicable

Section C – Environmental, social and economic impact**7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities or their habitat will be adversely affected as a result of the proposal?**

No.

The proposed exempt development provisions would not result in any critical habitat or threatened species, populations or ecological communities or habitat being adversely affected.

8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

No.

The proposed exempt development provisions will effectively mitigate any likely environmental impacts.

9. Has the planning proposal adequately addressed any social and economic effects?

Yes.

The proposal would provide a consistent set of standards to control the placement of low impact advertising signs on bus shelters and sporting fields without the need for development consent, reducing costs and time associated with the duplicate approval of these sign types by Council. The proposed exempt development provisions will facilitate advertising by local businesses in a consistent manner to limit any environmental and social impacts of such advertising signage and to ensure appropriate safety standards are maintained. Such signage would still be managed and approved by Council as the land owner under a separate agreement with the advertising sign users.

Section D – State and Commonwealth Interests**10. Is there adequate public infrastructure for the planning proposal?**

Yes.

The planning proposal will not result in any need for additional public infrastructure.

11. What are the views of the State and Commonwealth public authorities consulted in accordance with the Gateway Determination?

Consultation will occur with relevant State Government authorities identified in the Gateway Determination.

Part 4 – Mapping

No maps are proposed to be amended by this proposal.

Part 5 – Community consultation

Community consultation would take place following a Gateway determination in accordance with the Gateway Determination directives. It is anticipated that public exhibition would include:

A notice and all relevant documentation forming the PP to be placed on Council's website and the NSW Planning Portal

- A 28 day exhibition period
- Consultation with the following Stage Government agencies:
 - Transport for NSW / Roads and Maritime Services
 - NSW Rural Fire Service
 - Mines Subsidence Board

Part 6 – Project Timeline

The anticipated timeline for finalising the LEP amendment is provided as follows:

Date	Item
25 August 2021	Review by Local Planning Panel
October 2021	Report to Council for endorsement and submission to DPIE for Gateway Determination
December 2021	Gateway Determination
January – February 2022	Public exhibition period and government agency consultation
March 2022	Consider submissions and complete post-exhibition report
April 2022	Council meeting to consider post exhibition report
May 2022	Finalise drafting of proposed amendments with DPIE
June 2022	Making of LEP amendment



Planning,
Industry &
Environment

Gateway Determination

Planning proposal (Department Ref: PP-2021-6356): *Amendment to Schedule 2 - Exempt development, for advertisement signs on Council sports fields and road side bus shelters*

I, the Director, Western District at the Department of Planning, Industry and Environment, as delegate of the Minister for Planning and Public Spaces, have determined under section 3.34(2) of the *Environmental Planning and Assessment Act 1979* (the Act) that an amendment to the Campbelltown Local Environmental Plan (LEP) 2015 to amend Schedule 2 Exempt development of the Campbelltown LEP should proceed subject to the following conditions:

1. Public exhibition is required under section 3.34(2)(c) and schedule 1 clause 4 of the Act as follows:
 - (a) the planning proposal must be made publicly available by 28 February 2022 for a minimum of **28 days**; and
 - (b) the planning proposal authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in section 6.5.2 of *A guide to preparing local environmental plans* (Department of Planning and Environment, 2018).
2. Consultation is required with the following public authorities/organisations under section 3.34(2)(d) of the Act and/or to comply with the requirements of relevant section 9.1 Directions:
 - Transport for New South Wales
 - NSW Rural Fire Service
 - Mines Subsidence Board

Each public authority/organisation is to be provided with a copy of the planning proposal and any relevant supporting material and given at least 21 days to comment on the proposal.

3. A public hearing is not required to be held into the matter by any person or body under section 3.34(2)(e) of the Act. This does not discharge Council from any obligation it may otherwise have to conduct a public hearing (for example, in response to a submission or if reclassifying land).
4. The planning proposal authority is authorised as the local plan-making authority to exercise the functions under section 3.36(2) of the Act subject to the following:

- (a) the planning proposal authority has satisfied all the conditions of the Gateway determination;
 - (b) the planning proposal is consistent with section 9.1 Directions or the Secretary has agreed that any inconsistencies are justified; and
 - (c) there are no outstanding written objections from public authorities.
5. The time frame for completing the LEP is to be **9 months** following the date of the Gateway determination.
6. Council should be authorised to be the local plan-making authority.

18 Nov 2021

Adrian Hohenzollern
Director, Western District
Central River City & Western Parkland
City

Department of Planning, Industry and
Environment

Delegate of the Minister for Planning
and Public Spaces

PP_2021_6356 (IRF21/4421)



Transport
for NSW

Jeff Burton
Senior Strategic Planner
Campbelltown City Council
PO Box 57
Campbelltown NSW 2560

Dear Mr. Burton

Amendment of Campbelltown LEP 2015, Exempt development criteria for advertising signs on Council sports fields and road side bus shelters

Thank you for requesting Transport for NSW (TfNSW) to review and comment on the subject planning proposal (PP) via NSW Planning Portal (Ref-1088) on 15 December 2021.

We have reviewed the PP and have the following comment on Part 2 – Explanation of provisions:

Signage – Bus Shelter

(3) – Must not contain flashing or continuously moving electronic content

It is suggested that this control be amended:

- To exclude any non-static signs; and
- Include controls for backlit/illuminated advertising signs, including maximum luminosity

(4) – Must be integrated into the design of the bus shelter so as not to obscure pedestrian paths of travel

TfNSW suggest that further clarification may be required to indicate that the advertising should be integrated wholly within the bus shelter. No stand-alone structures or signs should be permissible under this proposal

Advertisements – signs on field fencing and amenity facilities at sports fields in Zone RE1

Advertising signs as described in this planning proposal must not:

- Distract a driver from or reduce the visibility and effectiveness of, directional signs, traffic signals, prescribed traffic control devices, regulatory signs or advisory signs
- Obstruct the driver's view of the road, particularly of other vehicles, bicycle riders, pedestrians at crossings, hazards or intersections

Further clarification may be required to indicate that the advertising is located wholly on field fencing/ wall perimeter. No stand-alone structures or signs should be permissible under this proposal

Thank you again for the opportunity of providing advice for the above Planning Proposal. If you require any further information, please don't hesitate to contact Henry Chu, Senior Transport Planner, via email at development@transport.nsw.gov.au.

I hope this has been of assistance.

Transport for NSW

477 Pitt Street, Haymarket NSW 2008 | PO Box K659, Haymarket NSW 1240
T 02 8202 2200 | F 02 8202 2209 | W transport.nsw.gov.au | ABN 18 804 239 602

Yours sincerely

24/1/2022

Mark Ozinga

Principal Manager Land Use Planning & Development
Customer Strategy & Technology

CD21/08314

**NSW RURAL FIRE SERVICE**

Campbelltown City Council
PO Box 57
CAMPBELLTOWN NSW 2560

Your reference: (REF-1087) PP-2021-6356
Our reference: SPI20211219000224

ATTENTION: Jeff Burton

Date: Friday 31 December 2021

Dear Sir/Madam,

**Strategic Planning Instrument
LEP Amendment**

The draft Planning Proposal seeks to amend the local exempt development provisions of Campbelltown Local Environmental Plan 2015 (CLEP 2015) to permit common forms of small scale advertising signs to be erected at Council sports fields and road side bus shelters without development consent.

I refer to your correspondence dated 15/12/2021 inviting the NSW Rural Fire Service (NSW RFS) to comment on the above Strategic Planning document.

The NSW RFS has considered the information submitted and subsequently raise no concerns or issues in relation to bush fire.

For any queries regarding this correspondence, please contact Bryce Pascoe on 1300 NSW RFS.

Yours sincerely,

Alastair Patton
**Supervisor Development Assessment & Plan
Built & Natural Environment**

1

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
SYDNEY OLYMPIC PARK NSW 2127

T (02) 8741 5555
F (02) 8741 5550
www.rfs.nsw.gov.au

subsidenceadvisory <subsidenceadvisory@customerservice.nsw.gov.au> | Jeff Burton
 Referral Assessment - Ref-1089
 You replied to this message on 11/03/2022 8:25 AM.

Deemed Approvals List.pdf
 .pdf File

Hi Jeff,

A referral has been assigned to Subsidence Advisory in the Planning Portal that seems to be in regards to some signage which is part of our deemed approvals list (see attached).

If this is all that you were requesting could you please withdraw the Referral as we can not reject it.

If you have any further questions please let us know.

Thank you,

Brooke | Administration Support Officer
 Subsidence Advisory NSW

Better Regulation Division | Department of Customer Service
 P: 02 4908 4300
 E: subsidenceadvisory@customerservice.nsw.gov.au | www.subsidenceadvisory.nsw.gov.au



**Subsidence
 Advisory NSW**

Please consider the environment before printing this email



To comply with the NSW Public Health Orders, Subsidence Advisory NSW's office counters are currently closed and our staff are working from home.

We are continuing to process claims and applications, however, there may be some delays to our usual processing timeframes. We thank you for your patience during this time.



**Subsidence
 Advisory NSW**

July 2017

Deemed approvals

Subsidence Advisory NSW (SA NSW) offers deemed approval for some minor construction works as listed below. Any development activity that is not explicitly listed requires SA NSW approval.

Improvement	Description	Max size	Cladding	Comments
Access ramps for disabled	Brick/masonry or timber			
Addition of rooms	Steel or timber framed	50 sqm	No masonry	Maximum 1.5m foundation brickwork. No slabs
Advertising structures and signs	Metal or timber			
Amended plans	Mirror reverse, site, window/door locations etc			Minor alterations to plans approved within last 2 years
Aviaries	Steel or timber framed	50 sqm	No masonry	
Awnings	Steel or timber framed	50 sqm	No masonry	
Barbeques		3 sqm		
Cabanas		50 sqm	No masonry	
Carports	Steel or timber framed	50 sqm		
Change of use				No major alterations required
Cubby houses	Steel or timber framed	50 sqm	No masonry	
Decks	Steel or timber framed	50 sqm	No masonry	
Demolition				All types – SA NSW approval not required
Fences	Timber and metal			Includes pool fencing
Fences	Brick/masonry	2m high		
Fowl house	Steel or timber framed	50 sqm	No masonry	
Garages	Steel or timber framed	50 sqm	No masonry	
Garden sheds	Steel or timber framed	50 sqm	No masonry	
Gazebos		50 sqm	No masonry	

8.6 Submission on A New Approach to Rezoning Discussion Paper

Reporting Officer

Executive Manager Urban Release and Engagement
City Development

Community Strategic Plan

Objective	Strategy
3 Outcome Three: A Thriving, Attractive City	3.8 - Provide strong governance for all Council activities

Officer's Recommendation

That Council endorse the submission on A New Approach to Rezoning discussion paper as provided in attachment 1 and forward the submission to both the NSW Department of Planning and Environment and The Honourable Anthony Roberts MP, Minister for Planning and Minister for Homes.

Purpose

To seek Council's endorsement of a submission made to the NSW Government relating to the New Approach to Rezoning discussion paper.

Report

In December 2021, the NSW Department of Planning and Environment (DPE) released a discussion paper on a new approach to rezoning. The paper was placed on exhibition from 15 December 2021 to 28 February 2022, with the stated aim of the discussion paper to simplify the current system and to cut timeframes and create investment certainty.

The discussion paper outlines a new approach, summarised as:

- A streamlined and efficient process for Campbelltown Local Environmental Plan 2015 (LEP) amendments that align with strategic planning objectives
- Set clear matters for consideration, timeframes and a consistent fee regime to give greater certainty to the process
- Allow councils to receive and determine private proponent initiated LEP amendments, with no or minimal DPE involvement in assessment
- Allows the Minister to receive and determine, through DPE, other LEP amendments, including those prepared by Councils and public authorities
- Bolsters DPE's role in supporting, monitoring and assisting Council's in the process

- Requires LEP amendments to go through a mandatory and upfront pre-lodgement process
- Shifts all merit assessment to after exhibition
- Gives private proponents a right of appeal against the final decision.

Councillors were provided a more detailed briefing on the discussion paper on 22 March 2022 whereby the following concerns with the discussion paper and unintended consequences were outlined:

- Incentivising spot re-zoning, leading to increased speculation by developers which would divert already limited council resources
- Reduced local autonomy, with rezoning applications placed on public exhibition prior to councillor review and endorsement
- A shift towards an adversarial approach at the expense of negotiation and collaboration, potentially placing staff at odds with elected representatives
- Potential increased timeframes and costs if a Land and Environment Court appeal process is introduced
- Undermining strategic plans, with associated reduction in community trust
- Potential for greater process delays by moving all merit assessment to the end of the process
- Contradictory requirements for infrastructure provisions.

In order to meet the submission deadline of 28 February 2022, a draft informal technical submission has already been submitted. A final draft submission is provided in attachment 1.

Conclusion

It is recommended that Council support issuing the attached submission to the NSW Department of Planning and Environment and the Honourable Anthony Roberts MP, Minister for Planning and Minister for Homes under the General Manager's signature.

Attachments

1. Campbelltown Council Submission Rezoning Process (contained within this report) [↓](#)



28 February 2022

Ms Paulina Wythes
Director, Planning Legislative Reform
Department of Planning, Industry and Environment
Locked Bag 5022 Parramatta NSW 2124

Attention: Ms Wythes

Dear Ms Wythes,

Re: A new approach to rezonings in NSW

Thank you for the opportunity to comment on the proposed reforms to the rezoning process in NSW.

Council considered a report at its Ordinary Meeting on 12 April 2022 in relation to the Discussion Paper, A New Approach to Rezoning and resolved to make the following submission:

- 1. Pre-lodgement / scoping meeting and agency comments:** Although the current rezoning system already involves pre-lodgement processes, the practice of staff is to outline the process involved in determining whether a proposal has strategic and site specific merit. This is currently achieved via early advice from the Local Planning Panel, briefing of the elected Council and then a decision of the Council whether to seek a Gateway Determination. Agency feedback is usually resolved as a condition of Gateway Determination.

The new approach appears to assume that staff are delegated to provide proponents early indications of application support. The specified one-week adequacy assessment stage is inadequate and would prevent the involvement of Councillors prior to exhibition. This is particularly concerning for very large proposals that would impact on the community and on local infrastructure provision.

In the case of obtaining Agency comments, proponents struggle to access and obtain feedback from Agencies without an active application in the system. Concern is raised that councils should not be obligated to proceed with the scoping phase if Agency feedback is not provided. In this regard, it is recommended that DPE retain a role in coordinating this process.

Concern is also raised that the scoping stage excludes the role of Planning Agreements, Contribution Plan and DCP amendments. Negotiating and drafting of these documents can be a lengthy process, often involving legal advice and other professional services. In the case of planning agreements, offers should ideally be exhibited with a rezoning application

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and would require additional upfront time to be resolved. Councils generally also require separate fees for consideration of these matters and there this must not be consolidated into the proposed fee structure.

Recommendation:

- a) The scoping stage be facilitated through the NSW Planning Portal to prompt DPE involvement, assist with State Agency submissions, ease council responsibilities for minute keeping, and ensure continuity of information and advice.
- b) Proponents should not commence the formal scoping phase with councils until all relevant Agency comments are received and consistency with relevant 9.1 directions resolved.
- c) The Department of Planning and Environment should maintain a role in mediating Agency feedback.
- d) Councillors should retain a role in the pre-lodgement process.
- e) The proposed fee structure should account for the additional level of assessment required to issue study requirements.
- f) Stop the clock provisions should be considered for this step.
- g) Clarify the role of Local Planning Panels in the process.
- h) Clarify the role of voluntary planning agreements, contributions plans and DCP amendments in the process.

2. Fee Structure

Council already has a fee structure that addresses the estimated cost recovery of low, medium and high complexity planning proposals. Councils also have the option under section 3.32 (3) of the Environmental Planning and Assessment Act 1979 to require an owner to carry out studies or pay the cost of the authority. On this basis, the Act already provides cost neutrality which is not referenced by the discussion paper.

Many councils also have policies in relation to the circumstances that refunds would be offered.

Councils do not currently recoup sufficient costs to employ staff for development applications and are stretched in resourcing existing assessments. The introduction of a fee structure within the Act and Regulations would potentially reduce the capacity of councils to assess rezoning applications and provide increased incentive for applicants to make spurious applications.

**Recommendation:**

- a) That councils maintain responsibility for the setting of fees and charges for rezoning applications under the Local Government Act 1993.

3. New Roles for Council, DPE and Proponents

Department of Planning and Environment (DPE): Concern is raised that removal of the Gateway process would potentially leave applicants with a refusal from the DPE at the final plan making stage. DPE could add value to the scoping stage by coordinating agency feedback and mediating outcomes that involve competing priorities.

Councillors: As part of the reforms to implement local planning panels, the NSW Government strengthened the role of Councillors in the strategic planning framework which Council has responded too. The proposed reforms would remove the opportunity for Councillors to be involved in the strategic merit assessment stage, and potentially result in elected councillors becoming aware of an exhibition at the same time as their constituents.

Proponent: Concern is raised with limiting rezoning applications to land owned or by consent of the owner. This has the potential to further encourage spot rezoning and would not allow Council opportunity, as it currently does, to consider expanding a rezoning proposal to a more appropriate scale to encourage orderly development.

Council staff: Concern is raised that staff would be empowered to approve justifiable inconsistencies with Section 9.1 directions in some circumstances. This role should remain with the DPE to resolve with agencies prior to lodgement and drafting of scoping advice. Rezoning does not guarantee that development consent can be issued, especially in circumstances that require concurrence from Agencies.

Recommendation:

- a) That DPE retain a role in the scoping stage to coordinate Agency responses and advice on Section 9.1 Directions.
- b) Sufficient time is required for Councillor involvement and should be a mandatory step prior to lodgement, and drafting of scoping requirements.

4. Benchmark Timeframes

The current process of lodging planning proposals on the NSW Planning Portal is generally supported.

However, 7 days is not sufficient for councils to confirm that study requirements have been met. Strategic planning staff are not usually engaged in daily portal duty due to infrequent volumes and could not be managed in the same way that development applications are lodged. Should planning proposals be treated in the same way as development applications, there is a high risk



that documentation exhibited would be inadequate and may need to substantially change after exhibition.

The discussion paper does not address the process of amendment, re-exhibition and the applicable fees should this occur.

Inadequate assessment prior to exhibition could lead to exhibited rezoning applications being refused at the assessment / finalisation stage. The airing of such proposals to the community without sufficient assessment and engagement of elected representatives may also generate unnecessary community engagement and distrust.

Following exhibition, the new approach requires the proponent to summarise and respond to submissions received, including working with Agencies to resolve objections. This role must remain the responsibility of councils to maintain a separation of roles and independence.

Recommendation:

- a) Substantially increase the time for adequacy assessment at lodgement and prior to exhibition.
- b) Similar to development applications, introduce a fee regime for modifications and re-exhibition.
- c) Introduce stop the clock provisions for Requests for Information.

5. Planning Guarantee

The proposed fee refund for rezoning applications that “take too long” is not supported and may result in undesirable outcomes. For rezoning applications that generally meet strategic and site-specific merit considerations, staff often spend significant time with applicants to resolve issues which lead to better outcomes.

Rezoning applications, unlike DAs, cannot be conditioned for matters to be resolved prior operation of the consent, or CC / SWC stages. Therefore, if councils are held to strict timeframes that don’t allow for cooperation and mediated outcomes, further time would be lost to refusals, re-lodgement and re-exhibition that lengthen the overall time and increase community dissatisfaction with the process.

Recommendation:

- a) That the planning guarantee not proceed or be further amended to account for the reasons of delay.

6. Appeal Pathways



Concern is raised that referral of matters to the Land and Environment Court (LEC) would result in gross wastage of Council resources in defending matters on the grounds of strategic and site specific merit. The role of the Court is not to draft or make recommendations on strategic land use policy or merit. This role would be better retained via the exiting Regional Planning Panels, who are already involved in this process. There may be scope for the Independent Planning Commission for matters of state significance.

Recommendation:

- a) The existing role of the Sydney Region Planning Panels remain in regards to appeals.

In summary, although some aspects of the reform have merit, concern is raised that a return to applicant driven rezoning applications would involve a return to the former system, prior to the Gateway Authorisation process (circa early 2000s), that significantly increased the upfront cost of making a rezoning application.

Should you require clarification of any aspect of this request, please do not hesitate to contact Mr Jim Baldwin, Director City Development on (02) 4645 4000.

Yours sincerely,

Lindy Deitz
General Manager

8.7 Development Application Status

Reporting Officer

Director City Development
City Development

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.8 - Enable a range of housing choices to support different lifestyles

Officer's Recommendation

That the information be noted.

Purpose

To advise Council of the status of development applications within the City Development Division.

Report

In accordance with the resolution of the Council meeting held 13 March 2018, that:

Councillors be provided with monthly information detailing the status of each report considered by the Local Planning Panel (LPP), South Western City Planning Panel and approved by the General Manager under delegation of a value of more than \$1 million, the attachment to this report provides this information as requested.

Attachments

1. List showing status of Development Applications (contained within this report) [↓](#)

Development Application Register

DAs to be considered by the Sydney Western City Planning Panel						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
434/2020/DA-C	158 Queen Street Campbelltown	Amalgamation of two allotments, demolition of structures and construction of an 11 storey building comprising of a 2 storey RSL club with 152 hotel rooms above	\$50,056,894	>\$30 million capital investment value	Assessment completed. With Panel Secretariat for determination	
906/2020/DA-SW	Gidley Crescent, Claymore	Stage 4 Claymore Renewal - Subdivision to create 179 residential lots two residual lots including associated works	\$13,940,148	>\$5 million capital investment value Crown development	Waiting on information from applicant	
3312/2021/DA-I	35 – 47 Stennett Road, Ingleburn	Construction of three warehouse buildings with ancillary offices, amenities, loading areas and car parking	\$57,876,890	>\$30 million capital investment value	Waiting on information from applicant	
3263/2021/DA-C	263 Queen Street, Campbelltown	Restoration of the existing heritage-listed building, demolition of the commercial building at the rear of the site and construction of an eight storey commercial building with basement car parking	\$32,978,000	>\$30 million capital investment value	Waiting on information from applicant	

Development Application Register

DAs to be considered by the Sydney Western City Planning Panel						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
504/2021/DA-SW	Clarendon Place, Winbourne Place, Rawdon Place, Dalkeith Place, Greengate Road, Airds	Stage 8 Airds/Bradbury Renewal - Subdivision to create 82 lots comprising of 80 residential lots and 2 lots for parks and associated works	\$6,354,141	>\$5 million capital investment value Crown development	Waiting on information from applicant	
535/2021/DA-SW	Woolwash Road, Greengate Road, Teeswater Place, Wallinga Place, Katella Place and Mamre Crescent, Airds	Stage 7 Airds/Bradbury Renewal - Subdivision of 71 existing lots to create 214 lots comprising of 207 residential lots, 2 lots for future development, 1 lot containing an existing senior housing development	\$13,914,412	>\$5 million capital investment value Crown development	Waiting on information from applicant	
1308/2021/DA-SL	Julius Road, Rosemeadow	Construction of a part two storey and three storey senior housing development comprising of 45 independent living units and car parking	\$18,460,200	>\$5 million capital investment value Crown development	Completed	Approved with conditions by Planning Panel
2635/2021/DA-SL	20 - 24 Karingal Place and 47 - 55 Creigan Road, Bradbury	Consolidation of four existing lots to create four new lots and new road, landscape and open space infrastructure embellishment works - Airds/Bradbury Renewal	\$11,929,500	>\$5 million capital investment value Crown development	Completed	Approved with conditions by Planning Panel

Development Application Register

DAs to be considered by the Sydney Western City Planning Panel						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
3944/2021/DA-CD	Goldsmith Avenue, Campbelltown	Concept master plan for a high density residential and mixed use development (to be known as Macarthur Gardens North), and construction of Stage 1 of the master plan, including roads, parks, civil works, landscaping and subdivision of the site	\$509,000,000	>\$5 million capital investment value Crown development	On public exhibition	

DAs to be considered by the Department of Planning						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
SSD-7500-MOD2	5-9 Culverston Road, Minto	Modification of existing state significant development consent for a warehousing and distribution centre	N/A	State Environmental Planning Policy (Planning Systems) 2021	Response provided to Planning Department referral of application	

Development Application Register

DAs to be considered by the Local Planning Panel						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
2675/2008/DA-S	Lot 7304 Kellerman Drive, St Helens Park	Subdivision into 355 residential lots and associated civil and road works	\$9,000,000	More than 10 unique objections	Assessment in progress	
1091/2021/DA-RA	14 – 20 Palmer Street, Ingleburn	Construction of a five storey mixed use commercial and residential building	\$17,972,417	Development standard variation >10%	Waiting on information from applicant	
1786/2020/DA-C	10 Wickfield Street, Ambarvale	Mixed use commercial, child care centre and residential development	\$12,585,013	SEPP 65 – Residential Apartment	Assessment in progress	
2687/2018/DA-SW	Appin Road, Gilead	Subdivision of land and associated civil works into 139 residential lots and 3 residue lots	\$7,972,417	More than 10 unique objections, planning agreement	Assessment in progress	
681/2018/DA-SW	Menangle and Cummins Roads, Menangle Park	Subdivision of land and associated civil works into 90 residential lots and 3 residue lots	\$6,930,000	Planning agreement	Assessment in progress	
3720/2020/DA-O	Macquarie Fields Park, Fourth Avenue, Macquarie Fields	Construction of a mobile telecommunications tower	\$250,000	Council owned land	Revised plans on exhibition	
3/2022/DA-C	64 Harold Street, Macquarie Fields	Construction of alterations and additions to the existing restaurant	\$890,000	Council owned land	Assessment in progress	

Development Application Register

DAs to be considered by the Local Planning Panel						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
3467/2021/DA-CW	Farrow Road, Campbelltown	Bulk earthworks and construction of retaining walls, drainage works and vehicular entry and exit points to Blaxland Road	\$643,500	Council owned land	On public exhibition	
3989/2019/DA-U/A	218-226 Queen Street, Campbelltown	Modification of an existing development consent for the change of use and construction of internal works for use as an entertainment facility (nightclub)	\$Nil (modification only)	Licensed premises	Completed	Approved with conditions at Panel's February meeting
1676/2021/DA-SW	Leppington House Drive, Denham Court	Subdivision of one existing allotment to create 18 Torrens title allotments for future residential and 1 residue lot for landscaping including the removal of trees and vegetation, site remediation, bulk earthworks and associated works including the construction of a new road, stormwater drainage, installation of services and access to Scenic Hills trails	\$3,552,661	Variation to development standard	Completed	Approved with conditions at Panel's March meeting
3259/2020/DA-C	66 Kittyhawk Crescent, Raby	Alterations to an existing dwelling and construction of a 72 place child care centre	\$822,900	More than 10 unique objections	Waiting on information from applicant	

Development Application Register

DAs with a value of \$1 million or more approved under delegated authority since last Council meeting,						
DA No.	Address	Description	Value	Authority Criteria	Status	Determination
1004/2021/DA-C	19-21 Surrey Street, Minto	Demolition of two existing structures, construction of a 100 place two storey child care centre including landscaping, storm water works and lot consolidation.	\$ 2,627,928	Delegated authority	Completed	Approval issued with conditions
2854/2020/DA-CW	Riverside Drive, Airds	Early works to the Airds Pond comprising of bulk earthworks, construction of retaining structures, dewatering of the dam and the removal of 28 trees	\$1,600,000	Delegated authority	Completed	Approval issued with conditions
3305/2021/DA-DW	63 Bruce Ferguson Avenue, Bardia	Construction of a two storey dwelling with basement garage and spa	\$2,083,997	Delegated authority	Completed	Approval issued with conditions
3943/2021/DA-DW	85 Bruce Ferguson Avenue, Bardia	Construction of a two storey dwelling with a basement area and swimming pool	\$2,936,400	Delegated authority	Completed	Approval issued with conditions
2484/2021/DA-I	35-47 Stennett Road, Ingleburn	Demolition of existing office and construction of a two storey office addition to the existing warehouse, car parking and civil works	\$8,099,934	Delegated authority	Completed	Approval issued with conditions
329/2021/DA-RS	24 Third Avenue, Macquarie Fields	Demolition of existing dwelling, construction of a dual occupancy and a detached dwelling and Torrens title subdivision - Staged Development	\$ 1,362,675	Delegated authority	Completed	Approval issued with conditions

8.8 Revised Asset Management Policy

Reporting Officer

Director City Delivery
City Delivery

Community Strategic Plan

Objective	Strategy
3 Outcome Three: A Thriving, Attractive City	3.8 - Provide strong governance for all Council activities

Officer's Recommendation

1. That the revised Asset Management Policy as attached to this report be adopted.
2. That the Asset Management Policy review date be set at 30 June 2024.

Purpose

To seek Council's endorsement of the revised Asset Management Policy.

History

The above mentioned policy was adopted by Council on 19 June 2012 and is now due for review in accordance with the Record Management Policy.

Report

The above mentioned policy has been reviewed in accordance with Council's Information Management Authorised Statement and the adopted procedure for Policy Development and Review.

The policy has been reviewed with minor amendments which are highlighted in the proposed Asset Management Policy attachment.

Attachments

1. Asset Management Policy - Current (contained within this report) [↓](#)
2. Asset Management Policy - Proposed (contained within this report) [↓](#)

 CAMPBELLTOWN CITY COUNCIL		POLICY
Policy Title	Asset Management Policy	
Related Documentation	Asset Management Plans Asset Management Strategy Community Strategic Plan Delivery Plan Asset Management Strategy	
Relevant Legislation/ Corporate Plan	<i>Local Government Act 1993</i> Local Government (General) Regulation 2005 <i>Local Government Amendment (Planning & Reporting) Act 2009</i> <i>Civil Liability Act 2000, AASB116, AASB13</i>	
Responsible Officer	Strategic Assets Coordinator, Infrastructure Manager Assets	

UNCONTROLLED WHEN PRINTED**Objectives**

1. To provide clear direction on the management of Council controlled assets and to ensure Council is able to deal with changes to meet community needs in accordance with relevant legislation. Together with Council's Community Strategic Plan and Resourcing Strategy, this policy details specific asset management objectives to ensure Council's asset stewardship is met by:
- i. The development and continual update of an Asset Management Strategy (minimum ten year period) as the primary framework to maintain asset services for current and future generations.
 - ii. The Management of assets through the development of Asset Management Plans in accordance with relevant legislation, community expectations and recognised best practice for each major asset class.
 - iii. The provision of funding will assist assets in meeting their defined levels of service as detailed in the Community Strategic Plan.
 - iv. Assets are being recorded in accordance with the requirements of the appropriate asset accounting standards and financial reporting requirements. ~~This includes development of an asset management information system containing comprehensive knowledge of all physical assets.~~
 - v. Asset management awareness being promoted throughout the council and supported at an organisational level.

DATA AND DOCUMENT CONTROL		
Division: City Delivery Section: Strategic Assets DocSet: 3234704	Adopted Date: 19/06/2012 Revised Date: 10/12/2019 Minute Number: 260 Review Date: 31/12/2021	Page: 1 of 4

Campbelltown City Council

- vi. Ensuring whole-of-life costs, risks, options and service delivery objectives are reviewed before making decisions on any assets creation or replacement.

Policy Statement

2. The management of Council's assets is a key function of Council. The provision of assets maintained to meet community needs and expectations is fundamental to Council's overall service delivery.
3. This policy demonstrates Council's commitment to the responsible management of Council's assets. This policy addresses relevant legislative requirements and will be revised in accordance with any future changes.

Scope

4. All physical assets under Council's control that have a life exceeding 12 months and replacement value greater than Council's minimum asset limits are recorded. This policy applies to all assets under Council's control, regardless of their source of acquisition.
5. Physical assets include, but are not limited to, roads, footpaths, cycle ways, kerbs and gutters, car parks, street furniture, significant trees, signage, bridges, land, parks, open space, buildings and facilities, structures, drainage, plant and equipment, vehicles and information technology as detailed in the Asset Management Strategy and Plans.

Definitions

Term	Definition
Lifecycle cost	The Lifecycle cost (LCC) is the average cost to provide a service over the longest asset lifecycle. It comprises annual maintenance and asset consumption expense, represented by depreciation expense. The lifecycle cost does not indicate the funds required to provide the service in a particular year.
Asset management	The combination of management, financial, economic and engineering with other practices applied to physical assets with the objective of providing the required level of service in the most cost effective manner.
Risk management	The application of a formal process to the range of possible values relating to key factors associated with a risk in order to determine the resultant ranges of outcomes and their probability of occurrence.
Asset	An asset is a resource controlled by Council which has a value and purpose as a result of past events and from which future economic benefits are expected to flow to Council.
<u>Capital renewal</u>	<u>Expenditure on an existing asset which returns the service potential or the life of the asset up to that which it had originally, including replacement of an existing asset.</u>
<u>Capital upgrade</u>	<u>Expenditure which enhances an existing asset to provide a higher level of service or extends the life beyond that which it had originally.</u>

DATA AND DOCUMENT CONTROL

DocSet: 3234704

Page: 2 of 4

Campbelltown City Council

<u>Asset Management Plan (AMP)</u>	<u>The Asset Management Plans must encompass all assets under the control of Council. An AMP includes levels of service, future demand, asset lifecycle management requirements, risk management strategies and long-term financial projections.</u>
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Legislative Context

6. This policy is a requirement under the Integrated Planning and Reporting Guidelines issued by the Division of Local Government in line with Section 406 of the *Local Government Act 1993*.

Principles

7. This policy sets the broad framework for undertaking asset management in a structured and coordinated way. Asset management improvements directly relate to accountability, risk management and service efficiency. The principles can be summarised as follows:

- i. A consistent Asset Management Strategy will be maintained that incorporates appropriate best practice systems and procedures for Council
- ii. All relevant legislative requirements together with political, social and economic requirements will be taken into account in Asset Management Planning and subsequent operational activity
- iii. Asset Management Planning will assist in the preparation of section business plans and budgets which will be considered in the annual Operation Plan
- iv. Council's Long Term Financial Plan (LTFP) will utilise expenditure projections from AMPs
- v. Asset renewals required to meet agreed service levels and adopted in the LTFP's long-term financial plans will be considered for funding in the annual budget estimates
- vi. Asset renewal plans will be prioritised and implemented progressively based on agreed service levels and the effectiveness of the current assets to provide that level of service
- vii. An inspection process will be used as part of asset management procedures to check that service levels are maintained and that asset renewal priorities are being established
- viii. Systematic and cyclic reviews will be applied to all asset classes to ensure that the assets are managed, valued and depreciated in accordance with appropriate best practice and applicable Australian Standards
- ix. Future life-cycle costs will be reported and considered in all decisions relating to new services and assets and upgrading of existing services and assets
- x. Asset management information systems will contain relevant and accurate asset information (technical, financial and operational) and work as an informed decision making tool
- xi. Asset provision will incorporate sustainability elements in their delivery and functional capability

8. Responsibility

- (a) Council's Elected Representatives
- (b) Council's General Manager and Directors

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Campbelltown City Council

9. Responsibilities of the above groups allow cross functional Council staff to address particular aspects of asset management operations and planning. Working groups may address a specific range of assets or management issues that require:


- i.** The ongoing management of Council's Asset Management Strategy
- ii.** Development of Asset Management Plans for various asset classes
- iii.** Development of revised position descriptions to include asset management accountabilities
- iv.** Periodical review of Council's Asset Management Policy
- v.** Annual review of Council's customer levels of service
- vi.** Inclusion of asset management planning in the procurement process

Effectiveness of this Policy**Policy Review**

10. This policy will be reviewed every ~~four~~ three years ~~by the Council's Asset Management~~ and endorsed within the first 12 months of the new Council term.

END OF POLICY STATEMENT

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 CAMPBELLTOWN CITY COUNCIL		POLICY
Policy Title	Asset Management Policy	
Related Documentation	Asset Management Plans Asset Management Strategy Community Strategic Plan Delivery Plan	
Relevant Legislation/ Corporate Plan	<i>Local Government Act 1993</i> Local Government (General) Regulation 2005 <i>Local Government Amendment (Planning & Reporting) Act 2009</i> <i>Civil Liability Act 2000</i> , AASB116, AASB13	
Responsible Officer	Strategic Assets Coordinator, Infrastructure	

UNCONTROLLED WHEN PRINTED**Objective**

1. To provide clear direction on the management of Council controlled assets and to ensure Council is able to deal with changes to meet community needs in accordance with relevant legislation. Together with Council's Community Strategic Plan and Resourcing Strategy, this policy details specific asset management objectives to ensure Council's asset stewardship is met by:
 - i. The development and continual update of an Asset Management Strategy (minimum ten year period) as the primary framework to maintain asset services for current and future generations.
 - ii. The Management of assets through the development of Asset Management Plans in accordance with relevant legislation, community expectations and recognised best practice for each major asset class.
 - iii. The provision of funding will assist assets in meeting their defined levels of service as detailed in the Community Strategic Plan.
 - iv. Assets are being recorded in accordance with the requirements of the appropriate asset accounting standards and financial reporting requirements.
 - v. Asset management awareness being promoted throughout the council and supported at an organisational level.
 - vi. Ensuring whole-of-life costs, risks, options and service delivery objectives are reviewed before making decisions on any assets creation or replacement.

DATA AND DOCUMENT CONTROL		
Division: City Delivery Section: Strategic Assets DocSet: 3234704	Adopted Date: 19/06/2012 Revised Date: 10/12/2019 Minute Number: 260 Review Date: 31/12/2021	Page: 1 of 4

Campbelltown City Council

Policy Statement

2. The management of Council's assets is a key function of Council. The provision of assets maintained to meet community needs and expectations is fundamental to Council's overall service delivery.
3. This policy demonstrates Council's commitment to the responsible management of Council's assets. This policy addresses relevant legislative requirements and will be revised in accordance with any future changes.

Scope

4. All physical assets under Council's control that have a life exceeding 12 months and replacement value greater than Council's minimum asset limits are recorded. This policy applies to all assets under Council's control, regardless of their source of acquisition.
5. Physical assets include, but are not limited to, roads, footpaths, cycle ways, kerbs and gutters, car parks, street furniture, significant trees, signage, bridges, land, parks, open space, buildings and facilities, structures, drainage, plant and equipment, vehicles and information technology as detailed in the Asset Management Strategy and Plans.

Definitions

Term	Definition
Lifecycle cost	The Lifecycle cost (LCC) is the average cost to provide a service over the longest asset lifecycle. It comprises annual maintenance and asset consumption expense, represented by depreciation expense. The lifecycle cost does not indicate the funds required to provide the service in a particular year.
Asset management	The combination of management, financial, economic and engineering with other practices applied to physical assets with the objective of providing the required level of service in the most cost effective manner.
Risk management	The application of a formal process to the range of possible values relating to key factors associated with a risk in order to determine the resultant ranges of outcomes and their probability of occurrence.
Asset	An asset is a resource controlled by Council which has a value and purpose as a result of past events and from which future economic benefits are expected to flow to Council.
Capital renewal	Expenditure on an existing asset which returns the service potential or the life of the asset up to that which it had originally, including replacement of an existing asset.
Capital upgrade	Expenditure which enhances an existing asset to provide a higher level of service or extends the life beyond that which it had originally.
Asset Management Plan (AMP)	The Asset Management Plans must encompass all assets under the control of Council. An AMP includes levels of service, future demand, asset lifecycle management requirements, risk management strategies and long-term financial projections.

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Campbelltown City Council

Legislative Context

6. This policy is a requirement under the Integrated Planning and Reporting Guidelines issued by the Division of Local Government in line with Section 406 of the *Local Government Act 1993*.

Principles

7. This policy sets the broad framework for undertaking asset management in a structured and coordinated way. Asset management improvements directly relate to accountability, risk management and service efficiency. The principles can be summarised as follows:
- i. A consistent Asset Management Strategy will be maintained that incorporates appropriate best practice systems and procedures for Council
 - ii. All relevant legislative requirements together with political, social and economic requirements will be taken into account in Asset Management Planning and subsequent operational activity
 - iii. Asset Management Planning will assist in the preparation of section business plans and budgets which will be considered in the annual Operation Plan
 - iv. Council's Long Term Financial Plan (LTFP) will utilise expenditure projections from AMPs
 - v. Asset renewals required to meet agreed service levels and adopted in the LTFP's will be considered for funding in the annual budget estimates
 - vi. Asset renewal plans will be prioritised and implemented progressively based on agreed service levels and the effectiveness of the current assets to provide that level of service
 - vii. An inspection process will be used as part of asset management procedures to check that service levels are maintained and that asset renewal priorities are being established
 - viii. Systematic and cyclic reviews will be applied to all asset classes to ensure that the assets are managed, valued and depreciated in accordance with appropriate best practice and applicable Australian Standards
 - ix. Future lifecycle costs will be reported and considered in all decisions relating to new services and assets and upgrading of existing services and assets
 - x. Asset management information systems will contain relevant and accurate asset information (technical, financial and operational) and work as an informed decision making tool
 - xi. Asset provision will incorporate sustainability elements in their delivery and functional capability
8. Responsibility
- (a) Council's Elected Representatives
 - (b) Council's General Manager and Directors
9. Responsibilities of the above groups allow cross functional Council staff to address particular aspects of asset management operations and planning. Working groups may address a specific range of assets or management issues that require:
- i. The ongoing management of Council's Asset Management Strategy
 - ii. Development of Asset Management Plans for various asset classes
 - iii. Development of revised position descriptions to include asset management accountabilities

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- iv. Periodical review of Council's Asset Management Policy
- v. Annual review of Council's customer levels of service
- vi. Inclusion of asset management planning in the procurement process

Effectiveness of this Policy

10. This policy will be reviewed every three years and endorsed within the first 12 months of the new Council term.

END OF POLICY STATEMENT

DATA AND DOCUMENT CONTROL		
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8.9 Investments and Revenue Report - February 2022

Reporting Officer

Executive Manager Corporate Services and Governance
City Governance

Community Strategic Plan

Objective	Strategy
3 Outcome Three: A Thriving, Attractive City	3.7 - Public funds and assets are managed strategically, transparently and efficiently

Officer's Recommendation

That the information be noted.

Purpose

To provide a report outlining activity in Council's financial services portfolio for the month of February 2022.

Report

This monthly report provides details of Council's investment and revenue portfolio.

Investments

Council's investment portfolio as at 28 February 2022 stood at approximately \$179 million. Funds are currently being managed by both Council staff and fund managers and are in accordance with the *Local Government Act 1993*, Local Government (General) Regulation 2005 and Council's Investment Policy.

All investments are placed with approved deposit taking institutions and no funds are placed with any unrated institutions.

As at 28 February, Council's return exceeded the benchmark by some 86 basis points on an annualised basis which is a positive on an absolute basis. This return excludes funds held in at call account but includes the 30 day notice saver account.

The yield on the AusBond Bank Bill Index has been very low, with the monthly annualised return being 0.035 per cent, and while Council's investment performance has fallen in recent times, it has however maintained an excellent return over the benchmark index.

The portfolio is diversified with maturities ranging up to a 5 year period in accordance with Council's Investment Policy.

Council's investment advisor, Amicus Advisory have confirmed that Council's investment portfolio is being well managed and is compliant with current policy settings, with clear buffers between exposures to individual entities and credit limits.

Council's total liquidity to meet short to medium term cash flow needs remains strong with \$25 million held in an at call account and \$10 million in a 31 day notice saver account. Although it isn't the normal approach to hold large sums of surplus cash in call accounts, the \$25 million is held with Council's banker, National Australia Bank, where it is available on a daily basis and is currently attracting a competitive interest rate of 0.50 per cent, generally higher than a standard 6 month term deposit rate; and comparable to longer dated securities that would otherwise be held to maturity.

The official cash rate is 0.10 per cent, where it has remained since the November 2020 Reserve Bank of Australia Board meeting. The Board remains optimistic that in Australia economic recovery is underway, however continues to adopt a cautious approach to the cash rate as they monitor inflation being sustained within the target range of 2-3 per cent. Whilst inflation has picked up quicker than the RBA expected, it remains lower than in many other countries. The forecast is for further inflation increases in coming quarters before stabilising within the target range. Disruptions in supply chains and uncertainties surrounding the global energy markets are significant determining factors in keeping the cash rate unchanged. The ASX200 closed at 7,049.10 at the completion of February. This represents an annualised monthly performance result of positive 13.34 per cent ex dividend; the monthly change was positive 1.11 per cent.

It is important to note that councils are restricted to conservative investments only in line with the Minister's Investment Order of 17 February 2011 and other relevant legislation including the *Local Government Act 1993* and the *Trustee Act 1925*. Investments in equities are prohibited under the legislation and therefore a benchmark such as the Bank Bill Index is used in line with Council's Investment Policy and the recommendations of the Office of Local Government Guidelines.

Rates

Rates and Charges levied for the period ending 28 February 2022 totalled \$130,128,459 representing 99.86 per cent of the current budget estimate.

The rates and charges receipts collected to the end of February totalled \$90,646,114. In percentage terms 70.5 per cent of all rates and charges due to be paid have been collected, compared to 66.9 per cent collected in the same period last year.

To mitigate the risk of debts becoming unmanageable, Council staff have been actively assisting ratepayers with their quarterly instalments and provide advice on options available such as regular weekly payments. Special consideration is given to support all ratepayers that have been affected by the COVID-19 pandemic with particular attention to the business community. Where the charging of penalty interest causes hardship, the charges are waived in accordance with Council's Hardship Policy and an application being made. An on-line application form is available on Council's website to assist ratepayers to apply and complete their request at a convenient time.

Debt management action commenced with the issue of 1,364 personalised 'time to get back on track' letters to ratepayers with 2 or more instalments outstanding and a combined balance exceeding \$1,000. These letters sought payment in full or suitable arrangements to clear their

debt in a reasonable time affordable to the ratepayer. A second letter was sent out to all ratepayers that had not reduced their balance to less than \$1,000 at the beginning of January 2022.

Debt recovery action during the month involved the issue of 47 Statements of Claim to ratepayers who were issued the abovementioned letters and had not made suitable arrangements to clear their debt or failed to maintain their agreed payments. Further recovery on accounts with previous action resulted in 21 Judgments and 35 Writs being served on land owners that have not made suitable payment arrangements or failed on multiple occasions to maintain an agreed payment schedule.

Positive feedback continues to be received from pensioners that can now make an application for a Pension Rebate Concession over the phone and via the internet. During the month, 23 applications were made over the phone and 22 online. Given the level of success, implementation for both phone and internet will continue as a permanent service to the community alongside the paper based over the counter process or by mail.

Ratepayers who purchased property since the annual rates and charges notices were issued, are provided a 'Notice to new owner' letter. During the month, 30 of these notices were sent to ratepayers advising them of the amount unpaid on their account and the amount levied in annual rates and charges.

Sundry Debtors

Debts outstanding to Council as at 28 February 2022 are \$4,382,667 reflecting an increase of \$250,719 since January 2022. During the month 436 invoices were raised totalling \$6,168,787. The majority of these are paid within a 30 day period. Those that are not paid within the 30 day period are reflected in the ageing report.

Debts exceeding 90 days of age totalled \$950,423 as at 28 February 2022. The majority of this debt relates to Corporate Governance totalling \$467,206 where \$385,000 relates to contribution fees associated with the Airds and Claymore development from Land and Housing Corporation, payment of this debt was received early March 2022. Also incorporated within the Corporate Governance group is the combined amount of \$24,287. This relates to various property related debts for clean-up orders issued and the recovery of costs associated with restoring private property to a suitable healthy status. In some cases, property owners are already in financial distress or are uncontactable. Council staff continue to reach out to the owners in the hope of a positive resolution however, debts are encumbered to the land and are often finalised with the sale of the property. Another significant amount of \$5,466 relates to bin services supplied for 'Eat, Shop, Love', Market events. The organiser has responded to our requests to bring the account up to date and has entered into a structured payment plan of \$500 per week, unfortunately due to the recent outbreak of COVID-19, the debtor has again reached out to Council requesting a hold on the arrangement until end of February 2022.

Grant items totalling \$291,629. The most significant amount of \$264,000 relates to funding for the 'Raby Indoor Cricket Centre Milestone One Payment'. This payment will not be made until final ministerial approval is granted. An amount of \$27,629 relates to the NSW Environmental Trust grant being the final payment of the 'Campbelltown Community Recycling Centre'. Payment will be made following the official facility launch.

City Standards debts totalling \$91,192 the most significant amount of \$88,201 consists of health licence inspection fees – These fees are generated for various shop premises, household pool inspections, fire safety services and wastewater management systems for the whole local government area. Council staff continue to reach out to customers experiencing difficulty in paying to offer suitable payment arrangements. A small portion of the debt is due to shop closures and the licensee is no longer contactable. If the cost of recovery is uneconomical to recover the debt is then put forward for write-off.

Community Life debts totalling \$54,849. The most significant portion of \$49,450 relates to a previous contractor for “catering sales commission” of various events at the Campbelltown Sports Stadium. The company involved has defaulted on previous arrangements and as such is now being managed by Council's debt recovery agents.

Public hall hire fees of \$29,783 are a result of debts raised in advance and in accordance with council policy do not need to be finalised until 2 weeks prior to function. This process also gives hirers an option to book in advance and then to make smaller regular payments leading up to their event.

Debts categorised within Community Businesses totalled \$13,754. The most significant amount of \$6,419 relates to the Bicycle Education Centre and as a customer service function that allows residents to pay in advance of their relevant booking.

Debt recovery action is normally undertaken in accordance with Council's Sundry Debtors Recovery Procedures Policy and commences with the issue of a tax invoice. A person or entity may be issued any number of invoices during the calendar month for any business, services or activities provided by Council. At the conclusion of each calendar month, a statement of transactions is provided with details of all invoices due and how payments or credit notes have been apportioned. Once an invoice is paid, it no longer appears on any subsequent statement.

All debts that age by 90 days or more are charged a statement administration fee of \$5.50 per statement. Debtors are contacted by telephone, email or in writing to make suitable arrangements for payment of the overdue debt. Where a suitable arrangement is not achieved or not maintained as agreed, a 7 day letter is issued referencing referral to Council's debt recovery agents.

Matters referred to Council's recovery agent are conducted in accordance with relevant legislation and the *Civil Procedures Act 2001*. Formal legal recovery commences with a Letter of Demand (or Letter of Intent) providing debtors with at least 14 days to respond. In the event that no response is received, instructions are given to proceed to Statement of Claim allowing a further 28 days to pay or defend the action. Failing this, the matter will automatically proceed to judgment and continue through the *Civil Procedures Act 2001* process.

All costs associated with formal legal recovery are payable by the debtor, and staff continue to make every effort to assist debtors to resolve their outstanding debt before escalating it through the local court.

Council officers are mindful of the ongoing impact of COVID-19 on our community and continue to provide assistance to debtors experiencing difficulties in paying their accounts. Debtors are encouraged to clear their outstanding debts through regular payments where possible to avoid any further recovery action.

Attachments

1. Summary of Council's Investment Portfolio February 2022 (contained within this report) [↓](#)
2. Rates and Charges Summary and Statistics February 2022 (contained within this report) [↓](#)
3. Debtors Summary and Ageing Report February 2022 (contained within this report) [↓](#)

Summary of Council's Investment Portfolio

Portfolio as at 28 February 2022



Product Type	Face Value	% of Total
At Call Deposits	25,258,830	14.1%
Notice Account	10,012,993	5.6%
Term Deposits - Fixed Rate	52,271,013	29.2%
Term Deposits - Floating Rate	54,000,000	30.1%
Fixed Rate Bond	21,050,000	11.8%
FRN	16,550,000	9.2%
Grand Total	179,142,837	100.0%

Total Term Deposits (Fixed and Floating Rate) by Institution's Long-Term Credit Rating

Credit Rating	Holdings	% of Total
AA+	6,900,000	6.5%
AA-	86,371,013	81.3%
A+	1,000,000	0.9%
BBB+	3,000,000	2.8%
BBB	7,000,000	6.6%
Baa2	2,000,000	1.9%
Total Term Deposits	106,271,013	100.0%

Fixed and Floating Rate Notes

ISIN	Issuer	Issuer Rating	Maturity Date	Coupon	Face Value
none	NT Treasury Corp	Aa3	15-Dec-22	0.90% Annually	\$5,000,000
none	NT Treasury Corp	Aa3	15-Dec-23	0.80% Annually	\$5,000,000
none	NT Treasury Corp	Aa3	15-Dec-24	1.00% Annually	\$5,000,000
none	NT Treasury Corp	Aa3	15-Jun-25	0.90% Annually	\$2,500,000
AU3CB0282358	ING Covered Bond	AAA	19-Aug-26	1.10% Annually	\$1,800,000
AU3FN0051165	Teachers Mutual Bank	BBB	28-Oct-22	3m BBSW + 0.90%	\$2,400,000
AU3FN0053146	RACQ Bank (prev QT Bank)	BBB+	24-Feb-23	3m BBSW + 0.93%	\$1,850,000
AU3FN0048724	NAB	AA-	19-Jun-24	3m BBSW + 0.92%	\$1,300,000
AU3FN0051561	Citibank	A+	14-Nov-24	3m BBSW + 0.88%	\$1,000,000
AU3FN0052908	Macquarie Bank	A+	12-Feb-25	3m BBSW + 0.84%	\$5,000,000
AU3FN0063103	CBA - Green Bond	AA-	23-Dec-26	3m BBSW + 0.41%	\$5,000,000

Summary of Council's Investment Portfolio – February 2021 cont'd

Long-Term Credit Rating	Exposure of Entire Portfolio			
	Actual	Minimum	Maximum	Compliant
AA+, AA, AA- and above (or MTB*)	81.4%	40%	100%	Yes
A+, A, A- and above	85.3%	60% ^	100%	Yes
BBB+, BBB, BBB- and above	100.0%	100%	100%	Yes
TCorp MTGF and LTGF	0%	0%	20%	Yes
TCorp Hour Glass Cash Fund	0%	0%	20%	Yes

Portfolio Return

Council's investment portfolio (excluding At Call Deposits but includes Notice Saver Account) provided a weighted average return (running yield) of:

28 February 2022	Monthly Return	Annual Return
Campbelltown City Council – Investment Portfolio	0.079%	0.898%
Benchmark – Bloomberg Ausbond Bank Bill Index	0.005%	0.035%
Performance Relative to Benchmark	0.074%	0.863%

Rates Summary

Statement of all Outstanding Rates and Extra Charges



Rate - Charge	Net Arrears 1/7/2021	Net Levy for Year	Pension Rebates	Extra Charges	Total Receivable	Cash Collected	Net Amount Due	Postponed Rates & Interest	Gross Amount Due
Residential	3,592,824.67	71,035,397.31	1,388,376.56	306,528.96	73,546,374.38	50,632,087.35	22,914,287.03	294,301.33	23,208,588.36
Business	601,012.56	20,642,141.73		52,503.33	21,295,657.62	15,594,359.34	5,701,298.28		5,701,298.28
Farmland	15,521.60	517,292.78	495.05	1,879.69	534,199.02	348,957.15	185,241.87	263,336.45	448,578.32
Mining	0.00	29,200.08		0.00	29,200.08	29,200.08	0.00		0.00
SR - Loan	628.02	1.26		99.05	728.33	0.00	728.33	20.29	748.62
SR - Infrastructure	400,650.65	6,963,470.99		9,721.92	7,373,843.56	5,069,392.23	2,304,451.33	55,655.07	2,360,106.40
Total	\$4,610,637.50	\$99,187,504.15	\$1,388,871.61	\$370,732.95	\$102,780,002.99	\$71,673,996.15	\$31,106,006.84	\$613,313.14	\$31,719,319.98
Garbage	1,091,384.56	25,537,156.41	858,511.50	35,096.34	25,805,125.81	17,904,644.17	7,900,481.64		7,900,481.64
Stormwater	77,891.31	1,464,599.86		839.71	1,543,330.88	1,067,473.68	475,857.20		475,857.20
Grand Total	\$5,779,913.37	\$126,189,260.42	\$2,247,383.11	\$406,669.00	\$130,128,459.68	\$90,646,114.00	\$39,482,345.68	\$613,313.14	\$40,095,658.82

Total from Rates Financial Transaction Summary	39,041,689.04
Overpayments	-1,053,969.78
Difference	0.00

Analysis of Recovery Action

Rate accounts greater than 6 months less than 12 months in arrears	1,480,648
Rate accounts greater than 12 months less than 18 months in arrears	0
Rate accounts greater than 18 months in arrears	435,676
TOTAL rates and charges under instruction with Council's agents	1,916,324



Rates Statistics

No. of documents Issued	July	August	September	October	November	December	January	February	March	April	May	June	Feb-22
Rate Notices	57,620	238	66	18	79								
Electronic - DoH	4,866												
Instalment Notices							43,256						
Electronic - DoH							4,353						
Missed Instalment Notices			10,084	43,662		8,951							
- Pensioners > \$15.00			1,074	4,691		987							
Notice to new owner	133	92	109	113	19	41	62	30					36
7-day Letters - Council issued						1,237							
- Pensioners > \$500.00						127							
7-day Letters - Agent Issued													
Statement of Claim							241	47					227
Judgments							39	21					
Writs							11	35					
Electronic - eRates & BPAYView	11,666	11,798	12,084	12,294	12,673	12,858	13,042	13,341					10,413
Pensioner applications	257	99	60	61	52	53	51	45					85
Arrangements	207	193	113	101	99	172	183	171					98

DEBTORS SUMMARY 1 February 2022 to 28 February 2022



DEBTOR TYPE/DESCRIPTION	ARREARS AT 31/01/2022	RAISED THIS PERIOD	RECEIVED THIS PERIOD	BALANCE AT 28/02/2022	% DEBT RATIO
Corporate Governance	1,161,409	913,740	747,232	1,327,917	30.30%
City Delivery	5,589	104,751	2,517	107,823	2.46%
City Standards	148,253	51,037	63,943	135,346	3.09%
Community Businesses	52,322	14,613	23,881	43,054	0.98%
Community Life	103,101	57,762	25,214	135,649	3.10%
Grants	2,311,784	3,005,109	3,210,108	2,106,785	48.07%
Hall Hire	58,230	2,035	27,427	32,838	0.75%
Property Services	291,260	2,019,740	1,817,745	493,255	11.25%
	4,131,948	6,168,787	5,918,068	4,382,667	100%

AGEING OF SUNDRY DEBTOR ACCOUNTS - 28 February 2022



	Current Charges	Total 30 Days	Total 60 Days	Total 90+ Days	Balance Due	Previous Month 90+ days
Corporate Governance	842,393	6,395	11,923	467,206	1,327,917	177,355
City Delivery	105,940	0	0	1,883	107,823	1,883
City Standards	31,260	6,662	6,231	91,192	135,346	68,117
Community Businesses	24,771	3,435	1,094	13,754	43,054	11,205
Community Life	40,239	32,824	7,737	54,849	135,649	57,708
Grants	1,402,621	297,500	115,035	291,629	2,106,785	297,954
Hall Hire	1,888	652	515	29,783	32,838	55,396
Property Services	444,571	17,885	30,672	128	493,255	9,159
	2,893,684	365,353	173,207	950,423	4,382,667	678,776

8.10 Disclosure of Interest Returns 2021-22

Reporting Officer

Manager Governance and Risk
City Governance

Community Strategic Plan

Objective	Strategy
3 Outcome Three: A Thriving, Attractive City	3.8 - Provide strong governance for all Council activities

Officer's Recommendation

That the information be noted.

Purpose

To advise Council that the Disclosure of Interest Returns have been lodged by councillors and in accordance with the post-election requirements of the Model Code of Conduct.

Report

Clause 4.21 of the Model Code of Conduct (the Code) requires a councillor or designated person to lodge with the General Manager a return in the form set out in schedule 2 of the Code, disclosing the councillor's or designated person's interest as specified in schedule 1 of the code within 3 months after:

- (a) Becoming a councillor or designated person, and
- (b) 30 June of each year, and
- (c) The councillor or designated person becoming aware of an interest they are required to disclose under schedule 1 that has not been disclosed in a return lodged under paragraphs (a) and (b).

Pursuant to clause 4.22 of the Code, a person need not make and lodge a return under clause 4.21 paragraphs (a) and (b) if:

- (a) They made and lodged a return under that clause in the preceding 3 months, or
- (b) They have ceased to be a councillor or a designated person in the preceding 3 months.

The purpose of the disclosure provisions within the Code is to ensure transparency and accountability for Council's actions. The Office of Local Government has stressed that the disclosure provisions are designed as a protection for councillors and staff members as well as an opportunity to enhance public confidence in Local Government.

Pursuant to the Code, the information contained in these returns will be made publicly available on Council's website in accordance with the requirements of the *Government Information (Public Access) Act 2009*, the Government Information (Public Access) Regulation 2009 and guidelines issued by the Information Commissioner.

Attachments

Nil

8.11 Reports and Letters Requested

Reporting Officer

Director City Governance
City Governance

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.3 - Ensure that Campbelltown is an inclusive city

Officer's Recommendation

That the comments and updates to the reports and letters requested be noted.

Report

Attached for the information of Councillors is a status list of reports and letters requested from Council as at 5 April 2022.

Attachments

1. Reports requested (contained within this report) [↓](#)
2. Letters requested (contained within this report) [↓](#)

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Delivery			
13.10.20 Lake	NM 11.1 - Charging for parking within the Campbelltown Local Government Area That a full feasibility report be presented to Council outlining the financial and non-financial implications of introducing paid parking into the Campbelltown Local Government Area.	A briefing was presented to Council in June 2021. The Integrated Movement and Place Strategy is currently in Development with Transport for NSW and expected to be completed in October. A report will be presented in July 2022.	July 2022
2.11.21 Hunt	8.7 Grey Headed Flying Fox Residential Assistance Program 3. That a report be presented to Council detailing the success of the program and the approach undertaken at the end of the trial period or as soon as the funding has been exhausted.	It is envisaged that the GHFF Residential Assistance Program will be rolled out at the end February 2022. A report presented to Council upon completion of the trial which is expected to last 6 months (from application to acquittal).	August 2022
8.2.22 Hunt	NM 11.2 Koala Virtual Fencing 1. Investigate with priority the status and effectiveness of virtual fencing as a means of protecting animals along road ways. 2. Provide a report to the Council on the findings of the investigation including recommendations as to whether virtual fencing or any similar system would be a viable interim protection measure along Appin Road until permanent fauna crossing points have been installed.	Early stages of investigation and research into effectiveness of virtual fencing underway with further detailed analysis to be undertaken to produce recommendations and report. Note that Appin Road is owned and managed by the NSW Government and Council does not own land parcels on either side of the road.	June 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Delivery			
8.3.22 Khalil	<p>NM 11.5 - Simmos Beach, Macquarie Fields</p> <p>That a report be presented to Council outlining ways to increase visitation to Simmos Beach, Macquarie Fields. The report should include:</p> <p>a) identification of any future enhancement works planned or required to improve the location.</p> <p>b) marketing opportunities to increase visitation and tourism.</p> <p>c) any environmental factors to be taken into account because of increasing visitation.</p> <p>d) any future resourcing considerations to enable an ongoing program of works and marketing activity.</p>	<p>A review of previous work undertaken has commenced including:</p> <ul style="list-style-type: none"> - 2016 study of bushwalking and associated recreational facilities - improvement works undertaken in 2018 and 2019 to upgrade Simmos beach including signage, trail upgrades, kayak ramp and picnic facilities - bushcare and bush explorers programs including the recently launched 'It's Our Backyard' program. <p>Further investigations have also commenced.</p>	December 2022
City Development			
09.04.19 Thompson	<p>ORD 8.6 - Submission Report - Amendment to Campbelltown Sustainable City Development Control Plan (Caledonia Precinct)</p> <p>5. That a further report be submitted to Council in regard to the acquisition of No. 306 Bensley Road, Ingleburn for open space purposes.</p>	To be completed as part of the next housekeeping amendment to the Contribution Plan.	August 2022
10.09.19 Hunt	<p>ORD 8.1 - Mount Gilead Planning Proposal - Relocation of Proposed Community Hub Building and Additional Permitted Use</p> <p>5. That following an exhibition, a report on submissions be presented to Council.</p>	Review of submissions nearing completion.	May 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Development			
8.12.20 Hunt	<p>ORD 8.2 - Amendments to the Mount Gilead Stage 2 Biodiversity Certification Application</p> <p>3. That a further report be provided to Council detailing the outcomes of the public exhibition process and associated amendments to the Biodiversity Certification Application.</p>	<p>Public exhibition closed on 14/2/2021 with issues and responses being investigated.</p> <p>Application requires updating to comply with NSW Chief Scientist and Engineer advice on the protection of the Campbelltown Koala Colony.</p>	August 2022
8.6.21 Oates	<p>ORD 8.6 - Planning Proposal - "Glenlee Estate" Menangle Park</p> <p>3. That following the public exhibition: (a) where submissions are received by Council during the public exhibition period, a submissions report be presented to Council</p>	<p>Gateway Determination altered by DPE as advised in Councillor Weekly Bulletin of 25 March 2022. Proponent is required to satisfy requirements of NSW Heritage prior to seeking the issuing of a new Gateway Determination.</p>	December 2022
13.7.21 Oates	<p>ORD 8.2 - Mount Gilead - Amendments to Development Control Plan</p> <p>3. That where submissions on the amendments are received during the public exhibition period, a further report on the outcome of the public exhibition be provided to the Council.</p>	<p>A report to be presented to Council at the April 2022 meeting as Item 8.2 on the agenda.</p>	April 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Development			
13.7.21 Morrison	<p>ORD 8.3 - Menangle Park - Amendments to Development Control Plan</p> <p>3. That where submissions on the amendments are received during the public exhibition period, a further report on the outcome of the public exhibition be provided to the Council.</p> <p>4. That a further report be presented to Council that includes street names, derived from Table 1.3 of the current Campbelltown (Sustainable City) Development Control Plan, Part 8 Menangle Park, for places of Non-Indigenous Heritage Significance for inclusion on the list of road names approved for Menangle Park.</p>	<p>3. A report was prepared and presented to Council at the November 2021 meeting as Item 8.2 on the agenda.</p> <p>4. Future report to be presented which includes additional street names relating to places of non-indigenous heritage for use on streets for future subdivisions in Menangle Park. Timing of report is linked to the timing of the development and the submission of relevant subdivision plans.</p>	December 2022
13.7.21 Morrison	<p>ORD 8.4 - Kellicar Road Precinct - Outcome of Public Exhibition Planning Proposal and Site Specific Development Control Plan</p> <p>4. That options for affordable housing on the Kellicar Road precinct in this planning proposal be presented as a further report to Council, or as part of a wider investigation into affordable housing across Campbelltown.</p>	An implementation plan is being prepared for the Campbelltown Local Housing Strategy and a report is anticipated to be presented to Council at the May 2022 meeting.	May 2022
3.8.21 Manoto	<p>ORD 8.5 - Ingleburn CBD - Planning Proposal and Development Control Plan</p> <p>4. That a further report be presented to Council outlining options for developer contributions planning for the Ingleburn CBD.</p>	<p>Specialist studies are in progress for the Ingleburn Planning Proposal and these will guide the content of potential amendments to the Contribution Plan.</p> <p>Outcome will be reported to Council.</p>	July 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Development			
12.10.21 Oates	<p>ORD 8.4 - Planning Proposal - Reclassification of Land - Campbelltown Sports Stadium, Leumeah</p> <p>3. That following the completion of the public exhibition, a separate public hearing be held with the outcome of both the public exhibition and the public hearing reported back to Council.</p>	A report to be presented to Council at the April 2022 meeting as Item 8.3 on the agenda.	April 2022
12.10.21 Oates	<p>ORD 8.6 - Planning Proposal - Signage as Exempt Development under Campbelltown Local Environmental Plan 2015</p> <p>3. That following the public exhibition either: a) where submissions are received a further report be presented to Council on those submissions, or b) where no submissions are received during the public exhibition period, the Planning Proposal be finalised.</p>	A report to be presented to Council at the April 2022 meeting as Item 8.5 on the agenda.	April 2022
12.10.21 Hunt	<p>ORD 8.7 - Koala Sympathetic Development - Draft Amendment to the Campbelltown (Sustainable City) Development Control Plan 2015</p> <p>That where submissions are received through the exhibition period, a further report be provided to Council tabling the issues raised in those submissions.</p>	A report to be presented to Council at the April 2022 meeting as Item 8.1 on the agenda.	April 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Development			
2.11.21 Brticevic	<p>ORD 8.1 - Planning Proposal (Mount Gilead Urban Release Area) - Outcome of Public Exhibition</p> <p>3. That a report be prepared for Council, that investigates rezoning of land identified by Condition 22A of DA2984/2020/DA-CW, to a land use zone suitable for a koala strategic linkage corridor, consistent with the recommendations of the NSW Chief Scientist and Engineer report – Advice on the protection of the Campbelltown Koala Population.</p>	Report to be integrated with Stage 2 Biodiversity Certification Application which relates to most of Menangle Creek.	August 2022
8.3.22 Brticevic	<p>ORD 8.3 - Proposed Housekeeping Amendments to Campbelltown (Sustainable City) Development Control Plan 2015</p> <p>2. That should Council receive any submissions during the public exhibition of draft Amendment No. 13, a further report be provided to Council following the completion of the public exhibition period.</p>	No submissions were received therefore no report required.	April 2022
8.3.22 Oates	<p>NM 11.3 - Illegal Rubbish Dumping</p> <p>1. That Council investigate ways to combat the increasing levels of illegal kerbside rubbish dumping across the city.</p> <p>2. That a report be presented as soon as possible on the outcome of the investigation.</p>	Investigation is underway with an expected reporting timeframe being June 2022, subject to the findings of the investigation.	June 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Growth			
10.03.20 Morrison	<p>ORD 8.12 - Latest Findings on Climate Change</p> <p>1. That a further report be provided outlining the emission reduction pathways required for Council and the community to transition towards net zero emissions.</p>	<p>This project has been divided into 2 main stages. Council continues to embed improvements as part of its existing commitments including increasing the provision of solar systems and renewable electricity, investigating low emission fleet opportunities and working in partnership with developers to deliver low emission communities.</p> <p>Stage 1: Council has developed an online dashboard that captures and presents sustainability performance information. Council is continuing to work in partnership with a number of its suppliers to refine the information, as well as confirm the processes relating to the sharing of information.</p> <p>Stage 2: This component includes staged investigations that seek to define the actions required to achieve net zero within each of the sustainability performance areas defined in stage 1. Council is currently reviewing the impact of its greenhouse gas emissions resulting from the following activities - energy and water consumption, vehicle fleet and waste. The review will provide a baseline from which potential pathways and actions to achieve Net Zero will be identified.</p>	June 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Growth			
3.8.21 Manoto	<p>ORD 8.5 - Ingleburn CBD - Planning Proposal and Development Control Plan</p> <p>3. That a further report be presented to Council outlining options for a design excellence process for the development of the future car park site for a mixed use building and a public park. This report is to consider the appropriateness of this site for a possible iconic building.</p>	<p>A Project Definition Plan (PDP) is in preparation. This will include an outline of costs required to undertake a feasibility study to determine the sites viability from a triple bottom line perspective (ie financial, social and environmental). The required funding will be considered as part of Council's annual budget planning process for 2022-23. The project feasibility will take approximately 3 months to complete once funding has been made available.</p>	March 2023
14.9.21 Oates	<p>NM 11.2 - Creative Arts Fund</p> <p>1. That a report be presented investigating the establishment/trial of a local creative arts fund with the purpose of providing opportunities to improve the wellbeing, resilience and social cohesion of our community through creative expression and social connection.</p> <p>2. That the report also include the current and past, small and localised art funding initiatives undertaken by Campbelltown City Council including the cost associated with these initiatives.</p>	<p>A report is currently being drafted that investigates the opportunity of a local creative arts fund to improve our community's well-being, resilience, and social cohesion through creative expression and social connection. The report will include the current and past, small and localised art funding initiatives undertaken by Campbelltown City Council.</p>	July 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Growth			
8.3.22 Brticevic	<p>ORD 8.13 - Draft Community Strategic Plan: Public Exhibition</p> <p>1. That the draft Community Strategic Plan - Campbelltown 2032 – be placed on public exhibition for a period of 28 days (9 March 2022 and 6 April 2022).</p> <p>2. That, following public exhibition, a further report is submitted to Council seeking formal endorsement of the revised Community Strategic Plan - Campbelltown 2032.</p>	A report is expected to be prepared once the exhibition period concludes and submitted for a June Council meeting.	June 2022
8.3.22 Lound	<p>NM 11.4 - Business Parking in the Campbelltown CBD</p> <p>1. That Council undertake further engagement with Campbelltown CBD Businesses to understand their concerns regarding parking.</p> <p>2. That a report be presented to Council for discussion and consideration of appropriate potential solutions.</p> <p>3. Develop an appropriate data strategy to ensure that recommendations regarding parking are based on evidence.</p>	Council regularly engages with businesses in the Campbelltown CBD on a range of topics and has commenced a targeted discussion about car parking. Council has access to a number of data sources including a recent travel survey, Place Intelligence pedestrian movement data and anecdotal feedback from CBD businesses. TNSW is also leading a kerbside data project currently being presented to Council for consideration. This data will allow Council to make some educated assessment of vehicle and pedestrian movement in relation to car parking. Once the collection and analysis of data is collated, a report will be presented to Council to consider options moving forward.	July 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Lifestyles			
13.7.21 Oates	<p>NM 11.1 - Glenalvon House</p> <p>That a report be presented to Council investigating the potential to provide for a small restaurant/café with industry standard cooking facilities and associated rest rooms in the grounds of Glenalvon House.</p>	The Executive Team are in discussion to determine the best approach to providing this report, using a cross-functional approach.	May 2022
14.9.21 Morrison	<p>NM 11.1 - Support for the Homeless in Campbelltown</p> <p>1. That a report be presented detailing the initiatives, services and strategies that Council has implemented, and is continuing to implement, during [and before] the COVID-19 crisis, to assist local community organisations and NGOs, working to support homeless people in our LGA.</p> <p>2. That Council investigate future opportunities to reduce/eliminate homelessness in the Campbelltown LGA and include these initiatives in the report.</p>	In February 2022, Council rolled-out an organisation-wide Homelessness Response Procedure. The data and service response information gathered for the Procedure will be used in the report to Council.	May 2022

Reports requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates	Expected completion date
City Lifestyles			
12.10.21 Oates	<p>NM 11.2 - Local Community Fresh Produce Market</p> <p>That a report be presented on the opportunity for Council to facilitate the development of a Local Community Fresh Produce Market to support our local small businesses, community groups, small farmers and bakers, post COVID-19.</p>	<p>An outdoor fresh produce market 'Home Grown and Home Made' will be piloted as part of On Q activations in March - April 2022. Pilot will test community interest in a fresh produce market and inform a feasibility analysis of best site, size and frequency. Stallholder / vendor EOI is currently active.</p> <p>The markets are scheduled for 20 March, 10 April and 15 May and a report will produced after the last occurrence in May for June's Ordinary Council Meeting.</p>	June 2022

Letters requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates
City Delivery		
8.3.22 Hunt	<p>NM 11.1 - Koala Care and Treatment Facilities</p> <p>1. That Council write to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP, Shadow Minister for the Environment Penny Sharpe MLC, Federal Member for Macarthur, Dr Mike Freelander MP, Federal Member for Werriwa Anne Stanley MP seeking their support for Council to obtain funding from the Federal Government under the recently announced \$50 million grants package to boost the long-term protection and recovery efforts of Australia's koalas in line with the NSW Government's commitment to double Australia's koala population by 2050.</p> <p>2. That Council write to the Federal Minister for the Environment, the Hon. Sussan Ley MP, highlighting the uniqueness of the Campbelltown Koala colony being the only disease-free colony in the Sydney Basin and seeking funding from the January announcement of the \$50 million koala protection grants package to:</p> <ul style="list-style-type: none"> a) provide koala health and care facilities b) deliver all care, treatment and triage to improve koala health outcomes c) assist with on-ground actions that will restore and enhance priority koala habitat and safety d) implement key training in koala treatment and care and e) expand community-led initiatives. <p>3. That Council write to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP, requesting funding under the State Government support package.</p>	<p>1. Letters sent to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP, Shadow Minister for the Environment Penny Sharpe MLC, Federal Member for Macarthur, Dr Mike Freelander MP, Federal Member for Werriwa Anne Stanley MP.</p> <p>2. Letter sent to the Federal Minister for the Environment, the Hon. Sussan Ley MP.</p> <p>3. Letter sent to the NSW Minister for Environment and Heritage, the Hon. James Griffin MP.</p>

Letters requested effective 5 April 2022

*Date of Decision *Mover	Action Item	Comments / updates
City Delivery		
8.3.22 Oates	<p>NM 11.2 - Queen's Walk</p> <p>That Council write to the Federal Member for Macarthur, Dr Mike Freelander MP, and the Federal Member for Werriwa, Ms Anne Stanley MP, requesting their consideration of Council's proposal to create a "Queen's Walk" of large canopy shade trees in line with the Federal Government's Queen's Jubilee Funding announcement and to provide appropriate support and assistance for such proposal.</p>	<p>Letters sent 1/04/2022 to the Federal Member for Macarthur, Dr Mike Freelander MP and the Federal Member for Werriwa, Ms Anne Stanley MP.</p>
City Development		
8.2.22 Stellino	<p>NM 11.3 - Koala Plan of Management</p> <p>2. That Council invite the Chief Scientist and Engineer to provide a briefing to the Council on their findings as it relates to the Campbelltown koala colony.</p>	<p>Letter sent 22/02/2022 to the NSW Chief Scientist and Engineer requesting a briefing.</p> <p>Chief Scientist booked for Council Briefing night of 3 May 2022.</p>

8.12 Licence on Community Land

Reporting Officer

Property Coordinator
City Governance

Community Strategic Plan

Objective	Strategy
3 Outcome Three: A Thriving, Attractive City	3.7 - Public funds and assets are managed strategically, transparently and efficiently

Officer's Recommendation

That Council approve the following in relation to the creation of a proposed new Telecommunications Facility at Jaycees Reserve, 22 Hume Street, Campbelltown:

1. That Council endorse an EOI for tender for the Licence of a Telecommunications Facility on Community Land.
2. That Council approve a public consultation process is undertaken in relation to Licensing on Community Land under the terms of the *Local Government Act 1993* and if required that Ministerial approval is sought to proceed with the Licence.
3. That Council endorse that the terms set out in the successful tender submission form the basis for the Licence between parties.
4. That Council endorse the Licence Agreement is executed by way of delegated authority under Section 377 of the *Local Government Act 1993*.

Purpose

1. To seek Council approval to conduct an EOI for tender for the Licence of a Telecommunications Facility on Community Land.
2. To seek Council approval for the establishment of a Licence Agreement on Community Land in line with the requirements for Licencing on Community Land set out in the *Local Government Act 1993*.

History

Council has been approached by various Telecommunication Providers confirming their interest in the establishment of a new Telecommunications facility in a specific area within the Local Government area (LGA). To ensure they provide coverage in response to changing market expectations they are seeking to enter into a Licence over Council land to install a new Telecommunications Facility.

Council have undertaken a review of council owned land suitable for such use in conjunction with stakeholders from our Open Space and Planning teams. The result being a site has been identified deemed suitable for this particular use.

As there is demand from more than one Telecommunications Provider and the land identified as being suitable is designated Community Land the decision was made to seek expressions of interest to enter into a Licence agreement to afford the provider the right to install a Telecommunications facility on Council land giving consideration to the provisions for licencing of Community Land set out in the *Local Government Act 1993*.

Report

The subject land is located at Jaycees Reserve, 22 Hume Street, Campbelltown (Lot 29 DP 240171) and has an approximate land size of 1,979.2 m².

The subject land is classified as Community Land and is currently zoned RE1 Public Recreation under the Local Environmental Plan 2015 (LEP 2015). A plan detailing the location of the subject land is attached to this Council paper.


It is recommended that Council provide its approval for Property Services to seek expressions of interest from Telecommunications Providers to enter into a Licence Agreement for the installation of a Macrocell Telecommunications facility. The subject land was selected for this usage as the presence of Telecommunications equipment does not detract from the current use of the land. The installation provides vital infrastructure to the Community in which it exists and derives a commercial benefit for Council.

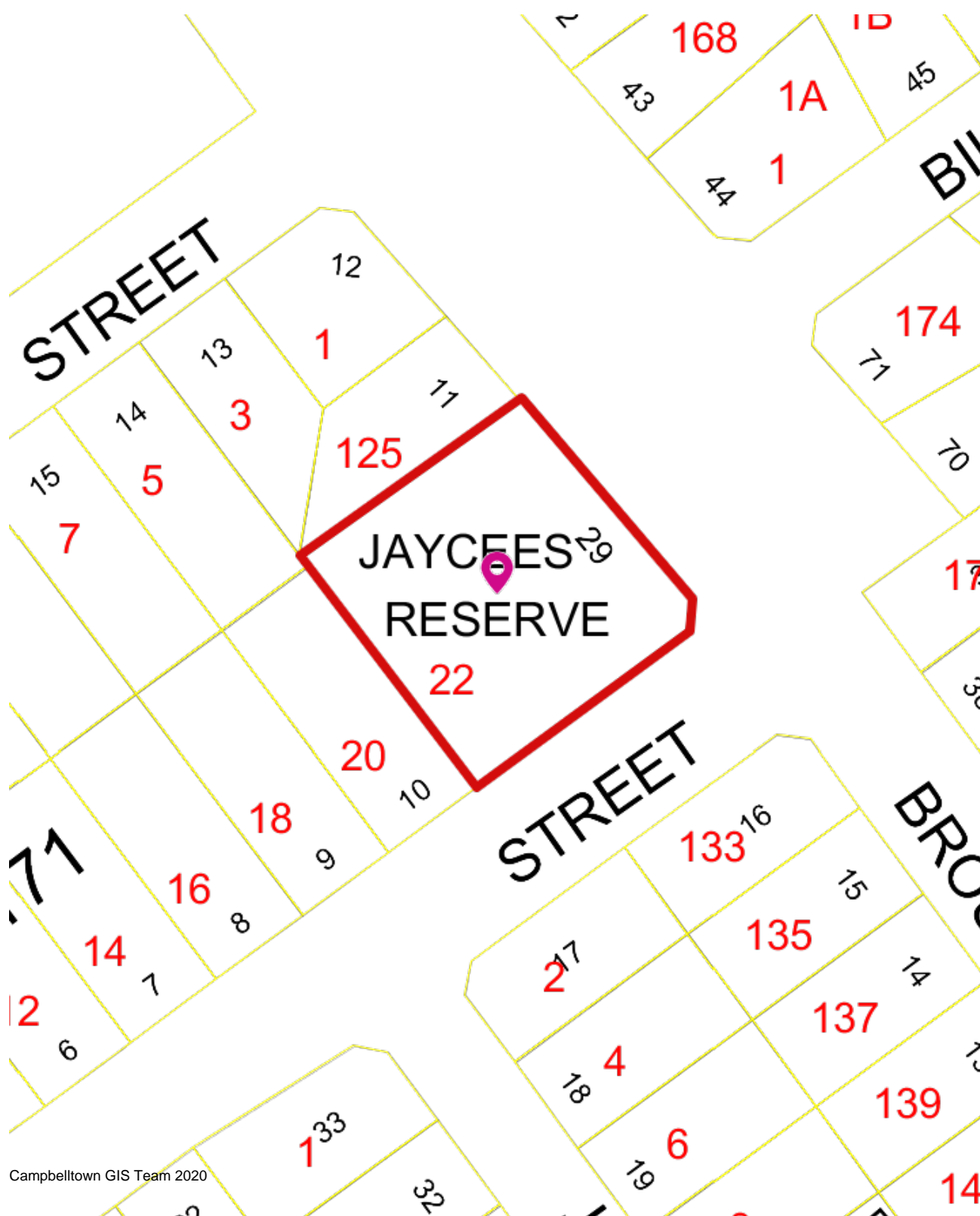
The following commercial terms will form part of the Expression of Interest document.

Licencee:	To be determined by the EOI process
Premises:	Jaycees Reserve, 22 Hume Street, Campbelltown (Lot 29 DP 240171)
Commencement Date:	To be determined by the tender timeframe and selection process
Licence term:	5 years
Option:	3x 5 year options
Rental (excluding GST):	To be determined by the EOI process
Permitted Use:	Telecommunications Facilities
Rent review:	Annual CPI increases on each anniversary of the Commencement Date

Based on the information contained in this report it is recommended that Council approve the EOI for Licence of a Telecommunications Facility on Community Land.

Attachments

1. Locality Plan Telecommunications Facility Jaycees Reserve (contained within this report)




Campbelltown GIS Team 2020



Jaycees Reserve, 22 Hume Street,
CAMPBELLTOWN NSW 2560



20 m

Scale =

5-April-2022

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8.13 Campbelltown City Council Collection - New Acquisitions

Reporting Officer

Executive Manager Creative Life
City Growth

Community Strategic Plan

Objective	Strategy
1 Outcome One: A Vibrant, Liveable City	1.6 - Foster a creative community that celebrates arts and culture

Officer's Recommendation

That Council accept the following proposed donations for acquisition as a part of the Campbelltown City Council collection:

- direct donation by Helene Buckman - 'Morning mist at Tumit' by Ted Lewis
- donations by Michelle Cawthorn - 'Sprinkler on a hot summer's day' 2019 and 'The Bubbler - Jackpot' 2018 as a proposed donation through the Cultural Gifts Program.

Purpose

To seek Council's endorsement for the acquisition of donated works to the Campbelltown City Collection.

Report

Campbelltown City Council's Collection Policy provides a framework for the management of Council's permanent collection by Campbelltown Arts Centre. Listed below are the proposed donated works to be acquired for Council's collection in line with the policy objectives.

Donation 1

Ted Lewis
Morning mist at Tumit
120 x 150cm
Oil on board

Biography

Ted Lewis has been painting for over 30 years. He held his first solo exhibition at the Hesley Gallery in Orange, NSW, in 1976 at the age of 18. Since then he has exhibited in Orange, Bathurst, Sydney, Peak Hill, South Port (Queensland), Canberra and Canowindra.

Lewis explores a variety of landscapes in his paintings, capturing colour, light, scenes of mist and the changing environments.

Artist Statement

'I am most recently inspired by the beautiful country around Ophir where I live, tree lined dirt lanes and roads, creeks with river oaks, waterfalls, blue hills and rugged natural beauty that inspires me every day. Gum trees and saplings with wild flowers scattered among them make wonderful subjects. By living in, absorbing and being a part of my natural surroundings every day, I feel I am able to convey my feelings of peace, beauty and my love of nature and Australian bush into my paintings'.

This work was presented to Helene Buckman from the Campbelltown City Council collection following her retirement by Mayor of the time, Cr RG Matheson.



Ted Lewis *Morning mist at Tumit*

Donation 2

Michelle Cawthorn

Sprinkler on a hot summer's day 2019

Oil and archival pen on polyester

84 x 204 cm

Michelle Cawthorn

The Bubbler – Jackpot 2018

Pen, watercolour, white gouache, graphite, liquid graphite, Indian ink and acrylic on Hahnemühle paper

158 x 216 cm

Biography

Michelle Cawthorn is a multidisciplinary artist who invokes memory and personal experience through her unique visual language of repetitive mark making. Exploring themes related to childhood and place, sexuality and identity, she creates intricate and enigmatic works that hover between abstraction and figuration. Though grounded in drawing, her practice intersects with painting, sculpture, and installation.

Throughout her career, Cawthorn has exhibited in a range of contexts including by selection, curation, and invitation. She has staged 12 solo exhibitions and participated in over 60 national group exhibitions since 2003. Her work has been exhibited in public galleries and museums, including her 2015 solo exhibition *Bittersweet* at Hazelhurst Regional Gallery, and *Songbird* at Shoalhaven Regional Gallery in 2021.

Cawthorn has been a finalist in a number of national prizes including, the Splash McClelland Contemporary Watercolour Award, the Ravenswood Australian Women's Art Prize and the Fisher's Ghost Art Award, one of Australia's longest continuous art prizes. She has twice been winner of the Hazelhurst Art on Paper, Friends of Hazelhurst Local Artist Award (2017 and 2013) and twice received Highly Commended in the Tim Olsen Drawing Prize (2018 and 2014), the premier prize for drawing at UNSW. In 2017 she was a finalist in the prestigious Sulman Prize at the Art Gallery of NSW.

Artist Statement

'I have wanted to donate a work to the Campbelltown Arts Centre for some time, as it was while living in Cobbitty (near Camden) from the late 90's through to the mid 2000's that I began my art studies (and thereafter career) in the Visual Arts and so the area has always held a special significance to me'.

As a way of giving back and having an enduring connection with the gallery, the artist is offering 2 works; each work has been selected as a finalist in the Fisher's Ghost Art Award.



Michelle Cawthorn, *Sprinkler on a hot summer's day* 2019



Michelle Cawthorn, *The Bubbler - Jackpot* 2018

Attachments

Nil

8.14 Submission on the Draft Western Parkland City Blueprint and Economic Development Roadmap (Phase 1)

Reporting Officer

Executive Manager Economic Investment and Growth
City Growth

Community Strategic Plan

Objective	Strategy
4 Outcome Four: A Successful City	4.5 - Work in partnership with the State Government to achieve positive planning outcomes

Officer's Recommendation

That Council endorse the attached submission on the draft Western Parkland City Blueprint and Economic Development Roadmap (Phase 1).

Purpose

The purpose of this report is to:

1. Provide Council with an overview of the draft Western Parkland City Blueprint and Economic Development Roadmap (Phase 1).
2. Discuss the aspects of the draft documents of most relevance to Campbelltown LGA.
3. Seek Council's consideration and endorsement of the draft submission that has been prepared.

History

The Western Parkland City Authority (WPCA) has prepared a Draft Blueprint and Economic Development Roadmap (Phase 1) to assist in guiding infrastructure investment decisions and economic development across the Western Parkland City.

The Western Parkland City comprises the following local government areas:

- Blue Mountains
- Camden
- Campbelltown
- Fairfield
- Hawkesbury
- Liverpool
- Penrith
- Wollondilly.

The Draft Blueprint and Roadmap set a framework for future growth and development of the Western Parkland City (WPC). The Draft Blueprint sets out the immediate, short and medium term priorities for Government investment required to deliver the vision for a green, connected and advanced Parkland City.

The Roadmap (Phase 1) provides an overarching strategy outlining how economic growth opportunities for the WPC can be maximised. It is anticipated that further phases will focus on key industry sectors.

These draft documents are on public exhibition with Council submissions due by 29 April 2022. Further information is available at the following website: [Home - Western Parkland City Authority\(wpca.sydney\)](https://www.wpca.sydney.gov.au)

In order to respond to the draft documents, an internal cross-organisational working group was established to review the information and prepare a draft submission.

On 22 February 2022, Councillors received a high-level briefing from the Western Parkland City Authority (WPCA) about the framework for, and intent of, the Draft Blueprint and Roadmap. Councillors also received a further briefing from Council officers to assist in consideration of the draft submission.

This report provides high-level comments on both draft documents and a copy of the more detailed submission is provided at attachment 1.

It is noted that the WPC Councils have also commissioned the preparation of a joint submission to address matters of concern across the District.

Report

1. The Draft Blueprint

The Draft Blueprint is an ambitious initiative that seeks to set infrastructure priorities for the WPC. It identifies 47 Priorities across the 3 strategic themes of 'green', 'connected' and 'advanced', with some identified as being critical.

The key priorities that are relevant to Campbelltown relate to the following areas:

- integrated transport and connectivity planning for the WPC
- Rapid Bus corridor protection and provision
- rail connectivity – from Leppington/Glenfield to Bradfield and from Bradfield south to Campbelltown Macarthur
- road activation packages for growth areas
- corridor protection for major movement routes
- regional connectivity and movement networks esp. to the Illawarra
- green infrastructure networks
- enhance destination and visitor opportunities
- maximise place making opportunities
- responding to climate change, increasing heat and extreme weather events
- building the circular economy across the WPC
- increased economic participation for Aboriginal people

- greater acknowledgement and reflection of Country in city shaping and place design
- additional opportunities for arts, culture, sport, recreation and the creative community
- integration of land use and transport and more diverse and connected local areas
- coordinated and timely provision of infrastructure, facilities, services and utilities
- urban renewal in key centres, including the Community and Justice Precinct and the Campbelltown Health and Education Precinct
- skills development and industry and talent attraction.

The priorities are broad-ranging and present a holistic view of matters that require consideration when shaping, planning and servicing a city. The following section outlines key concerns with the Draft Blueprint and includes some suggestions for amendments and additional priorities.

Key Concerns with the Draft Blueprint

Key concerns with the Draft Blueprint and suggested amendments, identified by Council's internal cross-organisational working group, include the following:

Commitment, funding and enforceability

There is currently no commitment to government funding. A cross-government agreement and commitment to funding is required to deliver the vision and priorities.

The document has no clear statutory weight or enforceability.

The role of Blueprint is not clearly distinguished from that of the District Plan. It is understood that the Blueprint and Economic Development Roadmap will inform the review of the Western City District Plan and relevant Local Strategic Planning Statements.

It is unclear how the vision, priorities and initiatives will be embedded and supported by the broader NSW Planning Framework.

It is necessary to ensure that strategic alignment is achieved between the draft Blueprint and Economic Development Roadmap and existing strategic plans for the WPC.

Vision

It is suggested that the vision be expanded to be a "green and healthy, connected and advanced Parkland City".

Priorities

It is not completely clear how and why the priorities were chosen and particularly how and why critical priorities have been differentiated from supporting priorities. In addition, the priorities outline the 'what' and the 'who' but there is limited detail about the 'how'.

There is a significant focus on Bradfield City Centre and the Aerotropolis, and insufficient relative focus on the Metropolitan Centres.

From a Campbelltown perspective, the green grid and open space link between the Western Sydney Parklands and the Australian Botanic Garden at Mount Annan, via the Scenic Hills, should be identified as a green priority. In addition, the green grid and place potential of Bow Bowing Creek should also be identified as a green priority.

In terms of connectivity, commitment to delivering the metro rail link from Bradfield to Campbelltown-Macarthur should reflect the commitment in the Western Sydney City Deal. The priority in the Draft Blueprint currently describes the link coming 'towards' Campbelltown rather than 'to' Campbelltown-Macarthur. In addition, active transport links and the creation of a comprehensive cycling network for the WPC should be prioritised.

The priorities in the Blueprint mention a number of trials and place-specific projects and it would be beneficial for councils across the WPC to be invited to be part of these projects to enable collaboration and skills and information sharing across the District. In particular, test and trial initiatives for the circular economy should be shared more broadly across the WPC and not just be focused on the Bradfield City Centre.

Land Use

The Blueprint needs to emphasise the Glenfield to Macarthur Renewal Corridor and the important part it plays.

The Blueprint needs to provide clear direction for development in greenfield areas, renewal areas and existing areas to ensure a mix of land uses is achieved and to address the resident/job imbalance and provide a wide range of investment and employment opportunities.

A centres hierarchy also needs to be established and enforced across the WPC, not just for the main centres, but for all existing and new centres to support broader city shaping initiatives.

Greenfields Committee

Establishment of a Greenfields Committee to coordinate infrastructure, services and utilities is commended, however, this should be extended or replicated for renewal and redevelopment areas. There also needs to be clarity around the membership of, and involvement of Councils in, the proposed Greenfields Committee and potentially its equivalent is needed.

30 minute city

It is unclear how the 30 minute city can be achieved, particularly given the largely low-density existing urban form of the WPC.

Aboriginal Opportunities, Culture and consideration of Country

Consideration of Country should be embedded further in the Blueprint and Economic Development Roadmap and further opportunities to embed Aboriginal culture and values into the WPC as it grows and develops should be explored.

The potential loss of Aboriginal places and cultural values should be considered a risk to the WPC's future resilience.

Monitoring and Reporting

The particular measures identified for monitoring and reporting progress should be further justified.

2. The Economic Development Roadmap

The Economic Development Roadmap has been prepared to provide direction on the economic priorities required to deliver the WPC. It is an overarching strategy that is aimed at maximising these economic opportunities and attract business, investment and talent into the WPC.

The Economic Development Roadmap builds on a number of related strategies including the Greater Sydney Region Plan, Western City District Plan, NSW 2040 Economic Blueprint, Future Transport 2056, NSW Climate Change Policy Framework, State Infrastructure Strategy, and Global NSW.

It also highlights the importance of the WPC to deliver the jobs of the future, with a significant population growth rate of 2.4 per cent per year and the commitment of investment worth more than \$26 billion.

Similar to the Blueprint, the vision of the Economic Development Roadmap is to create a green, connected and advanced city, with open space, green infrastructure, a range of physical and digital connections, and a diversity of job opportunities for its communities.

The Economic Development Roadmap aligns well with our own Campbelltown Economic Development Strategy which has a focus on:

- better cluster and connect businesses to achieve economic benefits
- intensify land use to promote a more efficient and productive economy that optimises infrastructure investment
- increase local job opportunities by attracting more knowledge and high skilled jobs
- build on our educational, health and industry strengths to upskill the local resident workforce.

The Economic Development Roadmap also highlights the importance of amenity and liveability, which allows for a strong connection to our Reimagining master plan and the key projects currently being progressed such as the Billabong, Community and Justice Precinct, Revitalising Queen Street.

The Economic Development Roadmap recognises the existing strengths of the WPC, including Campbelltown, such as its strong manufacturing sector and culturally diverse population, and seeks to leverage them through three focused economic directions:

1. foster innovation and build global competitiveness
2. leverage city strengths
3. develop 22nd century workforce skills.

Under each of these directions are a list of priorities which provide guidance on where to target future investment. The Economic Development Roadmap also highlights priority industry sectors that the WPC should be focused on. These have been identified as:

- freight and logistics
- agribusiness
- visitor economy
- advanced manufacturing
- aerospace and defence
- construction
- circular economy
- health and education.

Campbelltown's specialisations have been acknowledged in the Campbelltown Economic Development Roadmap which notes we should focus on freight and logistics; advanced manufacturing including aerospace and defence; circular economy; health and education and that construction is also a growing sector.

It must be noted that this is only phase 1 of this Economic Development Roadmap and that the future phases will focus more on specific industry sectors that are mentioned at high level in this document. It is also recognised that there will need to be further planning and consultation done across the 3 levels of government before implementation plans will be recommended and resources committed.

Challenges

For Campbelltown, the challenges include:

- leveraging new and improved transport infrastructure to support economic opportunities – commitment and funding are required to ensure this can occur
- industry specialisation, however, opportunities need to be shared across the WPC, not just focused on Bradfield
- availability of industrial/employment lands – Campbelltown is constrained by its limited remaining industrial land availability.

Opportunities for Campbelltown

Similar to comments related to the draft Blueprint, there are concerns about the lack of commitment to resourcing the Economic Development Roadmap. While acknowledging this is phase 1, this document does not have an implementation plan or resource strategy in place; it is not clear which priority should be tackled first or who is charged with leading this work. The lack of direction could place additional pressures on Council to participate in activities which we are not resourced for, nor align with our own city priorities. The priorities outline the 'what', but there is limited detail on the 'who' and the 'how'.

However, there are priorities linked to the 3 economic directions in the Economic Development Roadmap that give Council the opportunity to focus on actions that play to Campbelltown's strengths, and allow us to continue the work that we've already begun, while ensuring that we are actively connected to the regional plan for the WPC. These areas include:

a. Foster innovation and build global competitiveness

Priorities in this area include attracting inbound investment, exploring existing industry ecosystems, expanding the Western Sydney Investment Attraction Office concierge service, leveraging the circular economy and growing space manufacturing industries.

These priorities align with the focus areas in our own Economic Development Strategy, particularly in relation to industry development. To achieve success in these priorities, Campbelltown needs to develop its own investment attraction strategy so there is clear direction on who and what we are trying to attract to our city, and we need to continue to focus on deepening industry connections through programs and partnerships with various industry bodies.

The WPCA needs to provide further detail on how they will ensure all councils have equitable access to investment concierge services.

b. Leverage city strengths

Priorities in this area include maximising agri-business opportunities, using WestInvest funding to improve amenity, supporting health and education precincts, growing home based businesses, support of transport and liveability outcomes, delivering internationally recognised cultural and sporting facilities.

These priorities mostly align with the direction of our own Economic Development Strategy, particularly around development and support of the health and education precinct. They also provide opportunities for Council to leverage grant funding like WestInvest, to pursue relevant projects that will lead to improved liveability and amenity outcomes for the broader community.

c. Develop 22nd century workforce skills

Priorities in this area include establishing the New Education Training Model (NETM), delivering the Smart Western City program and promotion of education and employment pathways.

These priorities could provide us an opportunity to leverage a regional framework to focus attention on an area that is critical to the future success of the WPC and our local economy. The importance of education and employment pathways for both the Parkland City and Campbelltown itself can't be underestimated, and we need to ensure that industry are getting the support they need now – particularly when it comes to current and future skill gaps.

WPCA needs to ensure that the benefits of NETM are spread equally across the Parkland City, not just in Bradfield.

Key concerns with the Economic Development Roadmap

Key concerns raised internally about the Economic Development Roadmap include:

- there is no implementation plan nor resourcing strategy associated with this document. There also appears to be no commitment to ensuring that this document has any weighting at either a regional or local level, which raises concerns about its impact
- the need for clarity about how the Economic Development Roadmap will align with the local economic development strategies that have already been prepared by a number of Councils
- there is no guidance regarding which of the economic development priorities Councils should focus on in the first instance, if resources do not allow all priorities to be addressed simultaneously
- the Economic Development Roadmap does not provide clarity regarding whether or not mechanisms will be in place to ensure that investment opportunities and investment will be equitably shared across the WPC
- the continuing role of the existing economic concierge in facilitating equitable investment opportunities needs to be clarified.

Conclusion

The Draft Blueprint and Roadmap propose a framework to guide future growth and development of the Western Parkland City, including prioritised infrastructure investments by Government to deliver a green, connected and advanced Parkland City. However, commitment and funding to deliver these ambitious goals have not yet been determined.

An internal cross-organisational working group has considered and reviewed the draft documents and it is recommended that a submission be made, focusing on the key matters of concern outlined in this report.

Attachments

1. Draft Submission comprising a covering letter and attachment (contained within this report) [↓](#)



[Insert Date]

Stephanie Barker
Chief City Planner
Western Parkland City Authority
blueprint@wpc.a.sydne.y

Dear Ms Barker

Submission on Draft Western Parkland City Blueprint and Economic Development Roadmap (Phase 1)

Thank you for the opportunity to make a submission on the Western Parkland City Authority's (WPCA) draft Blueprint and draft Economic Development Roadmap. Thank you also for taking the time to brief Council on the draft documents and for continuing our valued collaborative working relationship.

This submission has been endorsed by Campbelltown City Council at its meeting on 12 April 2022.

We commend the WPCA on undertaking this ambitious initiative. We are generally supportive of the intention of the NSW Government to provide overarching frameworks that seek to guide the future growth and development of the Western Parkland City.

Whilst we acknowledge the desire to establish Bradfield as 'Australia's first 22nd Century City Centre' as part of the development of the entire Aerotropolis, this should not be done at the expense of the existing metropolitan centres, including Campbelltown-Macarthur. There is a significant focus on Bradfield City Centre and the Aerotropolis in both draft documents. However, it is imperative that the existing communities that surround the future Aerotropolis are provided with the same opportunities that will enrich the lives of their people and bring economic opportunities to life.

Our submission raises a number of key matters that need to be further addressed prior to the finalisation of both the Blueprint and Economic Development Roadmap. These matters are outlined below, and more detailed comments on each of the priorities and on the draft documents generally, are attached.

Key concerns – Blueprint

Commitment, funding and enforceability

There is as yet no commitment of cross-government funding to deliver the vision and priorities. The document has no clear statutory weight or enforceability.

The role of Blueprint is not clearly distinguished from that of the District Plan - It is understood that the Blueprint and ED Roadmap will inform the review of the Western City District Plan and relevant Local Strategic Planning Statements.

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It is unclear how the vision, priorities and initiatives will be embedded and supported by the broader NSW Planning Framework.

There is also the need to ensure that the strategic alignment is achieved between the draft Blueprint and ED Roadmap and existing strategic plans for the WPC.

Other Key Points – Blueprint

Vision

It is suggested that the vision be expanded to be a “green and healthy, connected and advanced Parkland City”.

For Campbelltown, providing our community with opportunities to embrace healthy lifestyles is paramount to improving liveability.

Priorities

It is not completely clear how and why the priorities were chosen and particularly how and why critical priorities have been differentiated from supporting priorities. In addition, the priorities outline the ‘what’ and the ‘who’ but there is limited detail about the ‘how’.

There is a significant focus on Bradfield City Centre and the Aerotropolis, and insufficient relative focus on the other Metropolitan Centres. If the WPC is to be successful and provide equity for its residents, then the Blueprint needs to place equal focus on each metropolitan centre and address infrastructure prioritisation for each centre in a balanced way.

From a Campbelltown perspective, the green grid and open space link between the Western Sydney Parklands and the Australian Botanic Garden at Mount Annan, via the Scenic Hills, should be identified as a green priority. In addition, the green grid and place potential of Bow Bowing Creek should also be identified as a green priority.

In terms of connectivity, commitment to delivering the metro rail link from Bradfield to Campbelltown-Macarthur should reflect the commitment in the Western Sydney City Deal. The priority in the Draft Blueprint currently describes the link coming ‘towards’ Campbelltown rather than ‘to’ Campbelltown-Macarthur. In addition, active transport links and the creation of a comprehensive cycling network for the WPC should be prioritised.

A critically important aspect of connectivity for Campbelltown is providing our community with an integrated network of transport connections to enable efficient and safe movement to, from, across and within our City. Our community needs access to choices of transport nodes and modes rather than needing to rely on private cars. In particular, delivery of safe and efficient active and public transport networks should be prioritised. In addition, an integrated approach to State level transport infrastructure is required to support Campbelltown City's growth and economic development. This will assist in unlocking opportunities to renew and revitalise our centres. It is noted that major proposals for renewal and development within our City Centre have recently been hampered due to concerns regarding access, transport impacts and traffic generation.

The priorities in the Blueprint mention a number of trials and place-specific projects and it would be beneficial for councils across the WPC to be invited to be part of these projects to enable collaboration and skills and information sharing across the District. In particular, test and trial initiatives for the circular economy should be shared more broadly across the WPC and not just be focused on the Bradfield City Centre. Campbelltown has already established a local materials recycling facility for its residents and is keen to embrace further opportunities to transform our City and local economy by leveraging this

economic sector. Urban waste needs to be seen as an opportunity, particularly as our City and population continue to grow.

Land Use

The Blueprint needs to emphasise the Glenfield to Macarthur Renewal Corridor and the important part it plays.

The Blueprint needs to provide clear direction for development in greenfield areas, renewal areas and existing areas to ensure a mix of land uses is achieved and to address the resident/job imbalance and provide a wide range of investment and employment opportunities.

A centres hierarchy also needs to be established and enforced across the WPC, not just for the main centres, but for all existing and new centres to support broader city shaping initiatives. This will assist in ensuring that all centres can determine a unique role and position themselves to thrive. In the Campbelltown context, this is particularly important for our City Centre (Leumeah, Campbelltown and Macarthur) and for Glenfield and Ingleburn. Ideally, Glenfield and Ingleburn should be identified as strategic centres. Furthermore, COVID-19 has refocused the way we live to embrace the importance of local. In Campbelltown LGA, all centres provide importance places and functions for local communities and support everyday needs. The important role of centres of all sizes and scales should also be reflected in the Blueprint.

Greenfields Committee

Establishment of a Greenfields Committee to coordinate infrastructure, services and utilities is commended, however, this should be extended or replicated for renewal and redevelopment areas. There also needs to be clarity around the membership of, and involvement of Councils in, the proposed Greenfields Committee and potentially its equivalent is needed.

A committee to address growth in both greenfields and renewal areas would be of significant benefit to Campbelltown as we are a key location for greenfields growth and are working towards renewing and revitalising our City Centre.

30 minute city

It is unclear how the 30 minute city can be achieved, particularly given the largely low-density existing urban form of the WPC.

Whilst Campbelltown's spine of electrified rail with seven key stations provides opportunities for achieving 30 minute connectivity, the existing limited infrastructure (referred to above) has prevented opportunities for major in-centre development being agreed across Government. This has reduced our ability to revitalise and grow our City, and to provide choice and opportunities for our existing community and future residents.

Aboriginal Opportunities, Culture and consideration of Country

Consideration of Country should be embedded further in the Blueprint and ED Roadmap and further opportunities to embed Aboriginal culture and values into the WPC as it grows and develops should be explored. Additionally, the potential loss of Aboriginal places and cultural values should be considered a risk to the WPC's future resilience.

Campbelltown is home to a significantly large Aboriginal community. While we work proactively at the local level to embrace our Aboriginal heritage and culture, State-led initiatives are also required to ensure this occurs across the WPC. In addition, educational and economic opportunities for Indigenous communities needs to be provided equitably across the District.

Monitoring and Reporting

The particular measures identified for monitoring and reporting progress should be further justified.

Key concerns – Economic Development Roadmap**Transport infrastructure**

It is critical that existing metropolitan centres such as Campbelltown–Macarthur can leverage new and improved transport infrastructure to support economic opportunities. However, commitment and funding are required to ensure this can occur, and occur equitably across the Western Parkland City. This document does not outline how this will take place.

Industry specialisations ‘deep dives’

A number of the sector specialisations outlined in the Roadmap are well suited to Campbelltown and align with sector priorities outlined in our own Economic Development Strategy. However, there is no indication of the order in which sector priorities should be delivered. These industry ‘deep dives’, currently slated for future phases of the Roadmap, need to be brought forward now so there is a clear understanding of the opportunities that existing centers should be addressing. Again, these opportunities need to be shared equally across the WPC, and not just focused on Bradfield and its development.

Employment lands

The Roadmap acknowledges the employment lands opportunity in the Parkland City, with cheaper land and larger lots suitable for industries which need larger footprints. However, a number of the existing metropolitan centres, including Campbelltown, are constrained by their limited remaining availability of industrial land. The Roadmap is not clear in how these centres can take advantage of the opportunity to grow its industrial footprint; there needs to be reference to working with councils to unlock and rezone government owned land to provide opportunities to grow our existing industries, as well as attract new ones.

Circular economy

It is widely acknowledged that NSW has some catching up to do when it comes to the implementation of circular economy initiatives. More broadly, the circular economy delivers the opportunity for innovation and jobs growth into the future. Both the Blueprint and Roadmap acknowledge the opportunities for the circular economy in the Parkland City, but any test and trial initiatives should be shared more broadly across the WPC and not just be focused on the Bradfield City Centre – particularly as centres like Campbelltown already have industries who are working in this space.

Implementation plan

The lack of an implementation plan with clearly identified actions and responsibilities across all relevant government organisations means there is a level of uncertainty on the impact this Roadmap will have, particularly with councils who have existing economic development strategies – do the actions/projects take priority over the projects that councils are working on individually for their own LGAs.

We need to be able to transition from strategy to action, yet this document does not do this. Acknowledging this is a fluid document, to be effective, there needs to be:

- clear direction on how we are implementing this plan
- what resources are being allocated to the implementation of the Roadmap, including identified funding and staffing
- a clear way forward for how the eight councils will either work separately, together or with WPCA on the implementation of the priorities.

Thank you for taking the time to consider this submission. If you would like to discuss anything further, please contact Rebecca Grasso, Director City Growth on 4645 4333.

Yours sincerely

Rebecca Grasso

Director City Growth

Attachment – Detailed Comments

Campbelltown City Council – Submission

April 2022

Draft Western Parkland City Blueprint – Response to Priorities & General Comments

Delivering a Green City

CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
G1	Establish a network of green infrastructure in greenfield areas by delivering new parks in the Aerotropolis and Growth Areas including a new regional park at Thompsons Creek to provide open space in new urban areas.	Priority as currently described does not apply to Campbelltown.	Open space and green infrastructure needs to be equitably prioritised for all growth areas. Request that this also be broadened beyond greenfield areas and include more initiatives. For Campbelltown this would include capturing Bow Bowing Creek and the Scenic Hills as important contributions to the WPC's green grid. A link between the Western Sydney Parklands and the Australian Botanic Garden, Mount Annan, via the Scenic Hills, would be a significant asset for the Parkland City. Further, could the concept of green infrastructure be expanded to include private property as part of urban greening initiatives?
G2	Improve integrated water cycle management capability including the delivery of the Upper South Creek Advanced Water Facility, to increase the availability and efficiency of water in the Parkland City.	Priority as currently described does not apply to Campbelltown.	Request that Bow Bowing Creek be considered as a potential additional opportunity.
G3	Deliver the Cumberland Plain Conservation Plan, including actions to protect koalas.	Yes.	The Plan itself isn't really a tangible outcome for biodiversity. Suggest adding protecting high value existing bushland and threatened species, support/encourage Biodiversity Stewardship and/or conservation activities. Establishing the Georges River Koala Reserve should also be included (which is a well-known commitment under the CPCP).
G4	Develop and finalise the Regional Land Use Planning Framework for the Hawkesbury-Nepean valley.	No	N/A

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CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
G5	Promote pathways to deliver net zero emissions before 2050, including carbon neutral buildings in Bradfield City Centre.	Yes	This should be done in collaboration with councils, rather than just in consultation with them.

SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
G6	Continue to protect the Metropolitan Rural Area from urban development. This includes existing towns and villages where developments must be on a scale that enhances local character and amenity.	Yes	It would be useful for the MRA to be clearly mapped as part of the Blueprint and/or in the review of the District Plan.
G7	Enhance tourism and recreation precincts, including Penrith Lakes, Lake Burragorang, and Mt Annan Botanic Gardens.	Yes	This priority should be expanded to include a much wider range of tourism opportunities across the District such as Western Sydney Parklands, Aboriginal Cultural Centres and related opportunities, the Billabong, and the like. It is noted that Destination NSW is currently preparing a Request for Tender for a Destination Management Plan for the entire Western Parkland City. The botanic garden should be referred to as The Australian Botanic Garden, Mount Annan. Enhancing tourism to the garden should also support southern access from Spring Farm Parkway Stage 2.
G8	Develop renewal projects to enhance the networks of green infrastructure blue-green grid with place-making opportunities to improve public domain outcomes and to support growing communities.	Yes	Suggest that Bow Bowing Creek and the Scenic Hills Green Grid project could be specifically mentioned as part of this priority.

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
G9	Leverage and maximise place-making programs and funds, including City Deal Liveability Fund, Metropolitan Greenspace Program and the WestInvest \$5 billion program.	Yes	This priority is a significant opportunity to enhance and revitalise existing places and to create great new places to benefit our existing and growing community. However, no timeframe for delivery is specified in the Blueprint.
G10	Plan and respond to climate change – including increased frequency and severity of bushfires, extreme heat, hot days, severe storms and flooding events.	Yes	This is an immediate to short-term priority, but there is limited detail about how this can or will be achieved. Drought should also be considered.
G11	Support the ongoing bushfire recovery in the Blue Mountains, Hawkesbury and Wollondilly LGAs.	No	Suggest that this priority also be expanded so that it responds to future bushfires which could occur in many parts of the District.
G12	Plan and implement urban heat island mitigation measures, particularly by incorporating green infrastructure in the landscape through design measures in new developments.	Yes	The NSW Government's Greener Neighbourhoods Program and Greening Our City are relevant considerations here. Time frame specified is immediate to short-term but this also needs to be ongoing as the issue will continue to be a concern for the WPC.
G13	Design circular economy pathways and systems that are resilient to climate change and promote energy efficiency.	Yes	<p>The focus of initial test and trial programs for the circular economy is Bradfield. However, this is an important opportunity for the entire WPC. The Blueprint should encourage infrastructure development within the region that facilitates the conversion of waste into resources for the benefit of the region.</p> <p>Resources harvested from residents and business should be retained for the benefit of the region, thus providing the foundations of a true circular economy. For example:</p> <ol style="list-style-type: none"> 1. Energy generated from waste is used to power homes and business;

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
			<p>2. Recycled organics are deployed to strengthen our soils to improve productivity, using less water and chemicals, and deliver greater yields;</p> <p>3. Recycling glass into crushed glass sand for use in civil applications such as road and public domain construction programs.</p> <p>Along with the infrastructure component is a huge community education platform by the leadership shown through the local application of regenerative technologies.</p> <p>It would be most advantageous for the WPC to consider adopting a head contractor model to stream away from landfill the recycling of materials such as textiles and e-waste, which are growing at incredible speed.</p>

Delivering a Connected City

CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C1	Prepare a Western Parkland City transport structure plan increasing north-south and east-west links across the City.	Yes	This is essential. Support the immediate status of this priority. However, this should be done in collaboration with councils, rather than just in consultation with them.
C2	Complete investigations to prioritise rail connection between Bradfield City Centre and Leppington, linking Bradfield City Centre to Glenfield and Liverpool by 2031.	Yes	This is critical and very significant for Campbelltown LGA. Support this being identified as an immediate priority. However, this should be done in collaboration with councils, rather than just in consultation with them.

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CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C3	Deliver Bradfield City Centre as a digitally enabled smart city and cyber-secure location, to enable growth in advanced industries. Pilot the delivery of 5G and address digital blackspots across the Parkland City.	In some ways	This needs to include consultation/collaboration with councils in the implementation of Smart City related initiatives.
C4	Complete investigations and staging for North-South extension of Sydney Metro-Western Sydney Airport connecting Bradfield City Centre and Western Sydney Airport south towards Campbelltown-Macarthur and north towards Schofields/Tallawong and the East-West link connecting Westmead to Bradfield City Centre via the Airport.	Yes	This is critical for Campbelltown LGA and the Macarthur councils. Agree that this is an immediate priority. However, the wording "south towards Campbelltown-Macarthur" is concerning. Request that the wording be changed to reflect the commitment in the Western Sydney City Deal.
C5	Investigate potential for additional transit orientated nodes to optimise rail investments.	Yes	<p>This needs to be an integrated commitment by DPE and TfNSW to ensure consistent and integrated planning in the rail corridor and for associated infrastructure.</p> <p>There is an interesting study in the Netherlands on TOD and transit nodes which criticises what's written in C5. The authors argue that TOD level value is not sufficient to understand the role each transit node plays within a TOD network (e.g. a feeder node may have a low performance when evaluating its individual TOD level, but may serve an important role within the TOD network). Thus, TOD should be assessed and planned in a network system perspective, with the understanding that the nodes are pieces that contribute to the performance of the network rather than just adding additional nodes to the network.</p>

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CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C6	Develop the Mamre Road logistics hub and progress the delivery of the Western Sydney Freight Line (2036) to connect the Parkland City to Port Botany.	Yes	<p>The freight line is important for the Campbelltown LGA to support businesses and logistics. Agree that corridor identification and preservation is an immediate priority.</p> <p>Should there be additional priorities to mention the connections to Port Kembla? See proposed rail freight network in Draft Illawarra-Shoalhaven Regional Transport Plan.</p> <p>Are there plans to link the Western Sydney Freight Line with the intermodel at Minto?</p>
C7	Deliver road activation packages in the Aerotropolis, South West, Greater Macarthur and Wilton Growth Areas and support delivery of rapid, frequent and local bus connections.	Yes	This priority is supported. It requires early delivery to assist in embedding public transport use in new development areas. Early delivery of the Outer Sydney Orbital 2 (or at least part of it) is required to free up road capacity in Campbelltown/Macarthur.
C8	Pilot a multi-utilities approach and investigate renewable energy opportunities to support early and efficient activation of the Aerotropolis.	No	The acquisition of land for multi-utilities corridors as part of major road corridors is strongly supported. However, It is concerning that this is focused only on the Aerotropolis. Will councils have access to this project so they can learn and benefit from the findings? Ideally, this approach should be investigated right across the WPC.
C9	Give a stronger voice to the Aboriginal people of the region by growing economic participation and supporting Connection to Country outcomes.	Yes	<p>Agree that is identified as an immediate priority, and that a stronger voice and cross-government coordination are required. Consideration should be given to different Aboriginal communities across the WPC.</p> <p>Suggested that this may need further detail - it is not clear if particular forms of connection are being proposed or if this generally captures the scope of Connection to Country.</p>

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CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C10	Plan and deliver regional-scale arts, cultural and community facilities, and foster growth in creative industries.	Yes	Agree with this as a priority and with its immediate status. Expansion of existing regional arts and community facilities, including C-A-C and Campbelltown Sports Stadium, would derive greatest utility on investment.

SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C11	Complete the Western Sydney Infrastructure Plan including Bringelly Road, The Northern Road and M12.	Indirect	Agree.
C12	Protect the land corridor for the M9 Outer Sydney Orbital (freight/motorway links) from Macarthur to Penrith.	Yes	This should be a priority for the immediate term. Early delivery of the Outer Sydney Orbital 2 (or at least part of it) is required to free up road capacity in Campbelltown/Macarthur.
C13	Protect and plan the Fifteenth Avenue corridor and rapid bus services between Bradfield City Centre and Western Sydney International Airport to Campbelltown-Macarthur, Penrith and Parramatta.	Yes	Rapid Bus is critically important. It must be rapid with frequent services. Councils need assurance that this will be in place when WSA opens in 2026.
C14	Upgrade the Great Western Highway between Katoomba and Lithgow including dual carriageways and tunnel investigations.	No	N/A
C15	Improve regional connections to Illawarra, including upgrades to Picton Road.	Yes	This is critically important for Campbelltown LGA. It will also support the move towards defining Greater Sydney not as a metropolis of three cities but as a city region of six cities.

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
C16	Deliver the new Richmond Bridge as a key regional link connecting Hawkesbury with the Blue Mountains.	No	N/A
C17	Promote the delivery of urban forms and public domain networks that enhance physical activity and increase the economic value of places by providing: <ul style="list-style-type: none"> – a greater number of destinations within walking and cycling distance – a greater diversity of land uses – shorter distances and safe access to transit options – developments that promote inclusivity and universal design – creative activation of the public domain including public art. 	Yes	COVID has highlighted the importance of local places, accessibility and easy connections between places. It has also highlighted the important role of the built environment in supporting physical and mental well-being. This priority is therefore critically important. It should also include enhanced connections with existing and new open spaces. For Campbelltown this applies across the LGA and includes Bow Bowing and the Scenic Hills.
C18	Support the conservation and enhancement of heritage including through applying adaptive reuse and protecting and enhancing heritage to foster distinctive local places.	Yes	This is important, but not sure how this differs from traditional planning considerations. Will funding mechanisms be provided to support heritage?
C19	Deliver community and social facilities and services that foster social inclusion, diversity and equity.	Yes	This is important, but not sure how this differs from traditional planning considerations. Will funding mechanisms be provided to support delivery of these facilities and services?

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Delivering an Advanced City

CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A1	Deliver on the outcomes of the <i>Economic Development Roadmap – Phase 1</i> and Smart Western City Program.	Yes	It is not clear how the priorities in the Roadmap will be progressed. As yet, there is no clear government commitment or resourcing/funding required for detailed investigation and implementation of all of the priorities.
A2	Deliver urban renewal in centres including Penrith-St Marys, Campbelltown-Macarthur, and Liverpool, to deliver housing diversity and to improve education, health and employment outcomes.	Yes	<p>The immediate focus for Campbelltown LGA is identified as the Community and Justice Precinct, and the Campbelltown Health and Education Precinct. Considerations should also be given to a broader renewal focus. Delivering renewal is a macro and micro level process. In addition to focusing on large centres and employment, there needs to be an acknowledgement of the role that smaller centres play, and as demonstrated by COVID, the importance of residential areas that no longer operate only as dormitories, but have a broader mix of uses and potentially (where appropriate) 24-hour populations. Opportunities for smaller place-based pilot projects that are outcomes based and acknowledge local character, need to run in parallel to larger programs.</p> <p>Coordinated servicing for redevelopment/renewal areas also needs to be a critical consideration.</p> <p>Note: Reimagining is spelled and referenced incorrectly.</p>
A3	Deliver skills and drive talent attraction through the establishment of the New Education and Training Model (NETM), a program that will provide industry-led skills training through micro-credentials, and increase university opportunities.	Yes	There has been some engagement with councils to date. The focus needs to be on industry engagement. NETM are currently seeking to engage with industry with workshops being planned for early 2022 focusing on a first group of micro-credentials.

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CRITICAL PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A4	Deliver the Advanced Manufacturing Research Facility, a future hub for advanced manufacturing, metal science and semi-conductor innovation	Not directly	This facility will be located at Bradfield. The delivery of this facility needs to also look at how it links to other facilities, infrastructure and opportunities across the WPC. A key question is – how can existing industries access/leverage what is happening in the AMRF?
A5	Investigate the options to attract more migrants and grow local talent with skills for high tech industries	Yes	It is considered that this priority should be broadened and not just focus on migrants. It should also be targeting relocation of people already in Australia/NSW to move to and/or work within the WPC.

SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A6	Attract Australian space and defence manufacturing industries and capabilities.	Yes	Applies to Defence facilities at Richmond, Glenbrook and Holsworthy but limited detail is provided.
A7	Support expanding markets in the agriculture sector through improved access to international markets via Western Sydney International Airport, and growing existing agricultural industries and enhanced role of research institutions.	Yes	Campbelltown LGA's most significant contribution to the agriculture sector will be through value-add businesses and freight and logistics, and also through connections to the Elizabeth Macarthur Agricultural Institute and the Agri-Business Strategy (2019). There may also be potential for indoor agriculture and cultural produce export over time.
A8	Develop and implement a rural lands strategy which supports agricultural production.	To a minor extent	This is not really a major concern for the Campbelltown LGA, as we have very little remaining rural lands that support agricultural production.
A9	Prepare a Western Parkland City Destination Management Plan to support growth in the visitor economy.	Yes	Support and resources from Destination NSW would be required to lead and deliver a regional DMP. DNSW are preparing a Request for Quotation for a Western Parkland City DMP. It is assumed that councils will be consulted as part of this project.

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A10	Support the circular economy and enhance specialisations in sustainability.	Yes	<p>The focus is on Bradfield in the first instance. This is a broader opportunity and it should be considered as such. The Blueprint should encourage infrastructure development within the region that facilitates the conversion of waste into resources for the benefit of the region.</p> <p>Resources harvested from residents and business should be retained for the benefit of the region, thus providing the foundations of a true circular economy. For example:</p> <ol style="list-style-type: none"> 1. Energy generated from waste is used to power homes and business; 2. Recycled organics are deployed to strengthen our soils to improve productivity, using less water and chemicals, and deliver greater yields; 3. Recycling glass into crushed glass sand for use in civil applications such as road and public domain construction programs. <p>Along with the infrastructure component is a huge community education platform by the leadership shown through the local application of regenerative technologies.</p> <p>There is also an economic and employment benefit as well with 9.2 people / 10,000 tonnes recycling employed. In order to demonstrate the potential opportunity the Western Parklands Councils alone generate approx. 80,000 tonnes/annum = 70 potential jobs.</p> <p>Growth provides the stimulus for resource and waste recovery and it never stops being generated, it only ever increases in volume and type.</p>

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A11	Target construction industry strengths and specialisations including the NSW Institute of Applied Technology for Construction (Penrith).	Not directly	Campbelltown LGA may experience flow-on benefits including training for local residents and more workers available for local construction projects.
A12	Target transport infrastructure investments to support and expand global and national trade gateways.	Yes	Campbelltown is identified as a key stakeholder to be consulted in the immediate to short term but details about this priority are limited.
A13	Support opportunities for new centres, the expansion of existing centres and new local industrial areas to match the significant projected population growth.	Yes	<p>It is proposed that this will be achieved in the short time by local councils preparing local economic development strategies. It is unclear how this relates to existing EDS's that have been prepared recently or how this delivers funded and supported outcomes on the ground.</p> <p>The Blueprint needs to emphasise the Glenfield to Macarthur Renewal Corridor and the important part it plays.</p> <p>In addition, there needs to be a clear hierarchy of centres and a determination on where the focus should be. There is a need to strengthen existing centres and to also guide shaping of new centres in greenfield areas beyond servicing of population.</p> <p>Suggest there should also be some reference to cultural diversity and the link to global trade.</p>
A14	Leverage assets to support arts, culture and community interests including Campbelltown and Penrith Sports Stadiums and Arts and Entertainment Centres in Campbelltown, Penrith and Liverpool.	Yes	The ED Roadmap mentions a WestInvest funding allocation of \$3 billion towards revitalising high streets, creating and enhancing arts and cultural facilities, urban spaces and various other initiatives. This funding should be mentioned and referenced against this priority.

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SUPPORTING PRIORITIES			
No.	Priority	Specific/applicable to Campbelltown? (Y/N)	Comment
A15	Targeted employment and skills initiatives to support Settlement City role of Fairfield Council.	No	Suggest that this should be broadened to include other LGAs in the WPC as other areas are also home to large groups of migrants.

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Additional Comments on the Draft Blueprint

Page/s	Reference	Comment
General	Line of sight/Connection	There needs to be a greater connection between this document and the visions/priorities/actions of the District Plan. The District Plan does not mention the WPCA in any form for the delivery of priorities and actions.
2	Parks and Open Spaces	There is an opportunity to include Aboriginal cultural values in the Thompsons Creek and South Creek initiative. Suggest that Bow Bowling Creek should also be mentioned here.
2	Thompsons Creek	Could this say Thompsons Creek, Bringelly? There is also a Thompsons Creek in Eaglevale in Campbelltown LGA, which could be confusing.
4	Improve the City's amenity	This is another opportunity to highlight the importance of Country and protection Aboriginal places that could be referenced as part of this.
4	Strengthen resilience to climate change and natural hazards	Drought should also be included here.
5 and others	Figure 1 – Delivering a Green City (and other maps generally)	Glenfield and Ingleburn, and other stations along the T8 Line through Campbelltown LGA should be shown on all maps where possible, not just on some maps.
5	Figure 1 – Delivering a Green City	This map doesn't appear to match fully with the Cumberland Conservation Plan. Should these be consistent?
6	Directions – Improve transport links	Given that the document talks about a green city and links to green areas, suggest including recreational and open and green spaces to this definition.
6	Directions – Plan the City as a smart city	Smart city considerations are not limited to digital connections and 5G. Suggest adding MaaS, smart parking, and the like, to the definition.
9	Figure 3 – Delivering an Advanced City	Glenlee and Menangle Park industrial areas are missing from the map. The potential/possible Glenlee future intermodal is not shown.
10	Coordinated Planning and Delivery	This is somewhat managed by controlling utility servicing.
13	Community is central to planning and delivery	Request that the importance of Aboriginal community and places be included as part of this dot point.
13	Recognise the Parkland City as...	Request that the importance of Aboriginal community and places be included as part of this dot point.

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Page/s	Reference	Comment
14	Figure 6 – Blueprint and Economic Development Roadmap Framework	Suggest changing 'green' to 'green and healthy' city here and throughout the document (including in the vision). In Figure 6, suggest green also acknowledges 'bushland' or maybe 'unique flora and fauna' in addition to open space and waterways.
16	Role of the Blueprint	There is no mention of how Country from an Aboriginal perspective looks and what may be protected and/or represented. Request that the importance of Aboriginal community and places be included as part of this section.
16	Snapshot	Notes more than 38,000 homes will be delivered by 2026 – this will add approx. 20,000 additional tonnes of waste and recycling generated which existing infrastructure simply doesn't have the capacity to cope with. This will be further exacerbated as the 1.68 million residents expected by 2036 will grow to >2 million by 2056. This issue needs to be addressed before/as growth occurs.
17-24	Overview of opportunities and challenges in the WPC	The opportunities of large greenfield development sites are not fully explored. The advantage of large greenfield developments is the ability to appropriately masterplan to balance social, environmental and economic returns. This is a huge opportunity that is not currently noted as such in the draft document. From a liveability perspective, this can have significant benefits over brownfields and renewal sites. The large level of greenfield development also allows for appropriate land use planning to balance the mix between residential land, employment land and natural/open space areas. This level of upfront planning also enables the opportunity for proactive mitigation of potential (predictable) risks of shocks and stressors in new development areas.
18	Enterprise and Employment Lands	This should state "Glenlee and Menangle Park".
18	Centres and communities	Greater Macarthur Growth Area mentions Menangle Park and Appin but should also list Gilead and other areas south towards Appin (South Campbelltown). Glenfield and Ingleburn should also be identified as strategic centres in the Blueprint, the ED Roadmap and the Region and District Plans.
19	Figure 9 – Metropolitan Urban Area and Greenfields Areas	The shape of the growth areas south of Campbelltown may not accurately reflect the actual development footprint.

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Page/s	Reference	Comment
20	Liveability	Should this paragraph be referring to liveability being under pressure or to increasing vulnerability to shocks and stressors?
20	Liveability	Heat and drought, and changing climatic patterns should also be mentioned in addition to flooding and bushfires.
20	Liveability	This paragraph should also mention threats/destruction of Aboriginal sites or places of significance for Aboriginal people as a shock and stressor, as these events affect Aboriginal Traditional Custodians and the broader Aboriginal community.
21	Services and Infrastructure	Paragraph 3 discusses a younger and older population and consequent smaller working population. However, this will change over time as the younger cohorts enter the workforce – this should be noted.
21	Figure 10 – Active Transport – Centres within 5 and 10 minute walking catchment	Menangle Park industrial land is shown on the map but Glenlee is missing. Not really clear how Figure 10 shows the need to improve opportunities for walking – more clarity required.
22	Transport – 30 minute city concept	This can be done in greenfield and renewal areas but there are still low-density existing suburbs in the WPC that must also be included as we move forward even though retrofitting these areas will be extremely challenging. For Campbelltown, one of the biggest challenges will be delivering a 30-minute city for the whole LGA including the low density areas that are not subject to significant change.
22	Figures 11 and 12 – Percentage of dwellings within 30 mins of metro centres or strategic centres by public transport	Need to have the context of distance to work or leisure locales to be meaningful. Self-sufficiency in these areas will impact mode shift.
23	Improving resilience and sustainability	There should be recognition, alongside or with the statement about important ecological communities, that natural places are places of significance for Aboriginal people.
25	Delivering a green City	Alongside unique natural landscape there should be an inclusion of Aboriginal cultural values.
25	Delivering a green City	It would be useful to favour the use of non-deciduous trees in public places/footpath areas to reduce leaf litter/maintenance and fire load on the ground. The introduction of a shade policy to guide the strategic placement of trees to support sun protection as a public health benefit, not just pretty streetscape is suggested.
27	Four city environments	There is an opportunity to add Aboriginal cultural values or sites of significance in this section, rather than to refer more generally to cultural heritage and values.

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Page/s	Reference	Comment
		Anything relating to natural places, existing natural environment, and the like, should include cultural values or sites of significance. 'Natural' spaces have been part of Aboriginal life for thousands of years – the two are intrinsically connected. This should also be reflected in the 'Green Priorities' wherever relevant.
27	Existing urban areas - greening	It can be difficult to retrofit trees, stormwater and flood management and more natural values into existing road corridors and open space allocations.
35	Transport – 30 minute City	Needs to include the fringe areas already developed with low-density housing.
35	Transport networks	E-cars and charging locations also need to be included.
35	Transport networks	Really need to reinforce the point that is made about "Transport networks must be designed for both movement and places"
35	Utilities	Also need utility consolidation so that they do not have so large a footprint. This applies mainly in relation to trunk services.
35	Digital Infrastructure	Blackspots occur in many places across the WPC not just in the MRA.
36	Figure 18- Delivering a connected city	Ingleburn should be shown on this map.
42	Integrated land use and infrastructure planning	Infrastructure provision needs to also account for secondary dwellings, dual occupancies, multiple dwellings and land subdivision potential.
42	Infrastructure contributions planning	If there is commitment to coordinated, efficient and timely utilities and services provision in renewal and redevelopment areas, there needs to be a suitable funding and cost recovery system separate to the existing legislative framework.
42	Monitoring to inform decision making	Agree that universal access to common datasets is critical to ensure growth is successfully managed. Councils also need access to State level modelling, especially for roads.
43	Case Studies – Edmondson Park	The outlined area for Edmondson Park appears to also fall into the Campbelltown LGA.
45-46	Advanced City Vision	Suggest the vision should be expanded to include the importance of not leaving anyone behind. Whilst it is great to have these aspirations, we need to ensure community members are able to access digital infrastructure for really basic day-to-day activities as well i.e. we need to address the digital divide.
46	Advanced City Directions	These align with the ED Roadmap. However, there is little direction on the 'how' – what actions, as a WPC, should we be tackling first? Should each council focus on those that align more with our own strategies first, given that there is no clarity around commitment or funding across State Government?
51	Implementation and Governance	The list of funded and unfunded infrastructure should include utility upgrades, specifically in renewal and redevelopment areas, and utility relocation and consolidation in greenfield areas.

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Page/s	Reference	Comment
51	WPCA responsibilities	Is the WPCA also responsible for securing commitment and funding to enable the Parkland City Vision and priorities to be delivered? If not, then should it be?
51	Smart Western City Program	Other councils, not just Liverpool, are involved in the Smart Kerbs Pilot and they should also be mentioned here when TfNSW indicates the timing for the announcement is appropriate.
51	Greenfields Committee	<p>This is a great initiative, but the same committee or another like it, needs to be established to deal with the same/similar issues in renewal and redevelopment areas and brownfield areas. For these areas, the committee/arrangement would need to include a mechanism that recognises local input and the evolution of existing places and neighbourhoods. This should also be supported by funds to enable interactive place-based planning.</p> <p>The Minister's Foreword cites the "historical incrementalism of planning and investment in Greater Sydney". While his comment is directed at the delayed delivery of jobs, transport and services, this should also be expanded to include utilities. We would not consider selling unserviced lots in a greenfield development area, but we routinely see properties in brownfield redevelopment areas being sold where no development is possible until the utilities are upgraded.</p> <p>The current approach in brownfield redevelopment areas (which encompass all of Campbelltown's Corridor development areas) is that each developer looks at what utility adjustments they need, if there is available capacity, it seems to be allocated on a first in –best served approach. Where utility upgrades are required, they are sized only for the current development. Delivery is piecemeal depending on the development timing for each developer. Disruption to the community is extensive and often the same area of verge or road is dug up multiple times as the utility providers cannot be coordinated to undertake works at the same time.</p> <p>A coordinated approach to utility upgrades in brownfield areas would deliver:</p> <ul style="list-style-type: none"> • Lower total cost – which should reflect in lower development costs and lower property prices • Shorter total processing times with each utility provider as the whole precinct is looked at one time • Significant economies of scale for utility providers with the need to assess much fewer individual applications • Significant time savings for utility providers with consolidated applications providing a more structured approach • Less impact on utilities as construction will impact these utilities minimal times.

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Page/s	Reference	Comment
		<ul style="list-style-type: none"> • Less impact on the areas being developed in terms of traffic and pedestrian inconvenience during construction • Early delivery of uplift as utility servicing is fit for future purpose • Coordinated delivery of multiple utilities utilising shared trenching where possible to reduce utility footprint freeing up more land in the road corridor for landscaping. <p>Beneficiaries of such a change in delivery mode would be the developers, utility providers and the community. The community would have direct benefits for new residents with reduced utility costs hopefully being reflected in reduced property prices and indirect benefits for visitors to the commercial centres in terms of reduced disruption and improved amenity.</p> <p>Such an approach is not supported under existing funding models and a different way of funding the design and construction of such upgrades would need to be found.</p> <p>This would be a truly catalytic initiative to stimulate growth in the areas where we want to encourage uplift.</p> <p>Brownfield utility upgrades aligns with the stated 'Shifting the Fundamentals' goals of building for the long term, unlocking the economic potential and aligning and increasing investment in infrastructure.</p>
51	General	Need to establish mechanisms to ensure that delivery of the detail is not top-down and is adequately resourced to ensure local identity and input.
52	Measures	<p>Some of the measures don't clearly indicate exactly how progress will be measured. More clarification is required. How does the WPCA plan on measuring these areas? Will current state (baseline data) as at today be used as the starting point? Who will be responsible for ensuring the KPIs are met? What will be the role of councils in responding to these?</p> <p>Suggest there are better measures for a green city than the number of homes within 10 minutes of parks and net zero. Suggest considering urban canopy cover, bushland under conservation agreements or potentially something about waterways/waterway quality?</p>

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Page/s	Reference	Comment
		Suggest the need to add current and aspirational data on human behaviour? For example, percentage of trips taken within 1km radius of home by foot or by bike vs by car. The same could be explored for travel mode used for journey to work.
53	Next Steps	<p>The document has great aspirations and there is an admirable approach put forward to achieve better coordination. However, there is a lack of clarity regarding 'how' this can be achieved.</p> <p>It is concerning that the government has not yet committed to the priorities (and that they may not). Also of concern is that there is no guarantee that funding will be available when needed to ensure infrastructure aligns with and supports growth.</p>
62	Greater Macarthur Growth Area	In terms of the Spring Farm Parkway Stage 1, funding is committed for construction, and the project is due to commence shortly. An update on the status of the Menangle Park-Appin Link Road is required – route option consideration has been completed, but what is the current status?
64-65	Preliminary inputs by councils	The first paragraph refers to parts of the LGAs of Liverpool, Penrith and Fairfield. However, some of the initiatives listed are also in the Campbelltown LGA.

Campbelltown City Council – Submission**April 2022****Draft Western Parkland City Economic Development Roadmap (Phase 1)****– Response to Priorities****Innovation and global competitiveness**

No.	PRIORITIES	Specific/applicable to Campbelltown (Y/N)	Comment
1	Attracting and coordinating inbound investment.	Yes	<p>Are we ready for each priority? We need to work on our internal capacity to know what to do with investment leads when they come in.</p> <p>In Campbelltown, where can we put interested investors - especially industrial? Is there Govt/Council owned land that can be reallocated for investment attraction purposes?</p> <p>Commercial/office space investor attraction to Campbelltown also requires an extensive project plan - much existing vacant space needs to be improved. Lacking large floor plate areas to attract bigger commercial businesses.</p>
2	Establish and deliver the Western Sydney Investment Attraction Fund to attract new industry activity.	Yes	Indications through this document are that the focus will initially be on Bradfield. We need to confirm who/what industry we are wanting to target, and where we could put them to be able to take advantage of this initiative.
3	Building on the Draft Roadmap's target industry sectors, undertake further industry deep dives to highlight opportunities to build on existing ecosystem.	Yes	Does this mean precincts are going to be categorised by specialisation with investment leads dispersed according to specialisations? With all metropolitan centres seeming to specialise in manufacturing, logistics, health and education and with state government actively funding and promoting the growth of Bradfield, how do we ensure equity of investment leads across the parkland city?

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No.	PRIORITIES	Specific/applicable to Campbelltown (Y/N)	Comment
			This can't wait. We need to do this for Campbelltown now – identify and drive opportunities for private investment in our target sectors, including research and best practice examples. We need to build on existing precincts and play host to some companies before they go for larger floor plates.
4	Establishing an expanded concierge function through the Western Sydney Investment Attraction Office to attract and support inbound investment into the Parkland City.	Yes	Focus is on Bradfield. How do/will councils take advantage of this service, especially if the leads come direct to them? We need a formal concierge service/process for leads in Campbelltown.
5	Leveraging the circular economy by targeting the Parkland City's existing waste, resource recovery, and manufacturing industries, including integration of advanced, sustainable and resilient food production.	Yes	<p>The EDR states the CE focus will be on Bradfield initially. We need to focus on what we can do from a Campbelltown perspective now.</p> <p>This does seem the most scalable and will create the most jobs. It may also employ a lot more unskilled people that will still live here in 20 years' time. It can also be the most affordable for investors. It may also be an important consideration for the survival of neighbourhoods like Western Sydney if there is further heat and bushfire related events.</p> <p>Our focus should be to retain resources harvested from residents and business for the benefit of the region, thus providing the foundations of a true circular economy. For example:</p> <ol style="list-style-type: none"> 1. Energy generated from waste is used to power homes and business 2. Recycled organics are deployed to strengthen our soils to improve productivity, using less water and chemicals, and deliver greater yields 3. Recycling glass into crushed glass sand for use in civil applications such as road and public domain construction programs. <p>Along with the infrastructure component is a huge community education platform by the leadership shown through the local application of regenerative technologies. The Blueprint and the EDR should encourage infrastructure development within the region that facilitates the conversion of waste into resources for the benefit of the region.</p>

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No.	PRIORITIES	Specific/applicable to Campbelltown (Y/N)	Comment
			To demonstrate the potential opportunity, the Western Parklands Councils alone generate approx. 80,000 tonnes/annum = 70 potential jobs.
	Attracting defence investment by implementing programs and building the industry ecosystems needed to improve aerospace and defence industry competitiveness.	Yes	Continue to work with the Southern Strength network to identify relevant local industries and ensure they are made aware of opportunities (support, grants) for this.
7	Attracting aerospace investment by growing space manufacturing industries and capabilities.	Yes	Similar to above comment – work with existing industries to ensure they are aware of opportunities in this space.
8	Delivering the Bradfield City Centre: Australia's first 22 nd century city centre.	No	N/A
9	Establishing the Advanced Manufacturing Research Facility (AMRF): a future hub for next generation fabrication and advanced electronics.	Yes	Need to understand how we loop our industry into this (what's in it for them?). Work to identify opportunities for growth/support to manufacturers through Southern Strength, WSU, etc. Manufacturers are having trouble attracting staff, perhaps incentives for productivity improvement processes might be beneficial?

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City strengths

No.	PRIORITIES	Specific/applicable to Campbelltown (Y/N)	Comment
10	Maximising agribusiness opportunities through a 36 hour farm gate to plate supply chain.	No	Campbelltown isn't identified as an agri-business precinct/opportunity in this document. We need to understand how we can link our existing F&B suppliers into this supply chain (and tell the story about the opportunities that are here now?)
11	Delivering a high quality parkland city by supporting the effective rollout of the WestInvest initiative to improve amenity.	Yes	Looking at projects that have impact across the LGA.
12	Supporting tourism by focusing on expanding visitor markets and enabling infrastructure, supported by a Destination Management Plan.	Yes	Outside of locals and their visitors, the destination market is not something we are ready for. We need to focus on improving the experiences for our local population initially, get them onboard as ambassadors, then focus on product development in the future.
13	Growing the metropolitan centres of Campbelltown, Liverpool and Penrith, including initiatives to support health and education precincts.	Yes	CHEP working group is progressing with the Macarthur Medical Research Centre.
14	Growing strategic and local centres through strategies that address growth barriers in local centres, enable development of new centres and grow home-based businesses across the Parkland City.	Yes	This is something we can get behind. Most of our businesses are micro and non-employing, and this sector is only growing! With programs such as Campbelltown Spaces and other creative industry opportunities with CAC, this is a good opportunity for Campbelltown.
15	Delivering economic enabling infrastructure investments by supporting transport and liveability outcomes.	Yes	See Blueprint comments.
16	Improving liveability through strategies to deliver national and internationally recognised arts and cultural, recreational and sporting facilities.	Yes	What are the opportunities to advocate for redevelopment of CAC and the stadium?

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22nd century workforce skills

No.	PRIORITIES	Specific/applicable to Campbelltown (Y/N)	Comment
17	Establishing the New Education and Training Model (NETM) by developing and delivering flexible and responsive industry-led skills training through the piloting of 100 micro-credentials through 7000 courses.	Yes	Connect local industry into NETM opportunities to identify skills gaps that these courses could help close, and provide opportunities for local skilling/re-skilling.
18	Delivering the Smart Western City program through the rollout of digitally enable places across the Parkland City.	Yes	<p>The Sensor Network Project will be used to enhance place-based planning, support more effective infrastructure planning and investment and communicate better with the community. The project includes monitoring of heat and travel patterns during extreme heat events, smart lighting and monitoring of traffic congestion.</p> <p>The Western Parkland Councils are also making common data sets available to the public in real time. The portal is currently home to more than 150 datasets across the eight councils and provide a snapshot of pedestrian and vehicle movements, weather conditions, air and water quality collected through a sensor network of more than 100 locations across the Parkland City.</p>
19	Growing cyber security capability by developing and progressing strategies to achieve a mature cyber security capability across the Parkland City.	Yes	Promote business development opportunities for local businesses in this space as they are made available.
20	Focussing on workforce skills by planning and delivering programs that promote education and employment pathways, including exploring options to attract more migrants and grow local talent with skills for high tech industries.	Yes	Locally, we can continue to explore partnership opportunities to connect industry to education providers (eg Southern Strength, Generation STEM, careers expo). Investigate additional opportunities with WSU (Enterprise XChange), TAFE, RTOs, etc.

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Additional Comments on the Draft ED Roadmap

Pages	Reference	Comment
1	Executive summary	<p>I know it's only 'phase 1', but what was always missing from previous drafts was the implementation part of the plan – how are we doing this? With what resources? And which priority is first? Are we doing this as a collective as the 8 WPCs? Or individually depending on how it aligns with our own EDS? We need to be able to transition from strategy to action.</p> <p>Implementation plan also needs to identify staffing and budget resources (and where these will come from).</p> <p>Discussion / question – would these actions/projects take priority over the projects that Councils are working on individually for their own LGAs?</p> <p>Not sure where this fits into the table, but DPE are undertaking major reforms to the economic zones under the SILEP governing employment generating land uses. I thought this would have earned a mention somewhere given these are major reforms and all about economic stimulus and removing barriers in the NSW Planning system to investment and economic development – and will have implications for the CCC Economic Development Strategy.</p> <p>May be this fits elsewhere. Focus three should not only be about supply of skills and employment, but also incubation – not all new industry comes from traditional pathways – but grows organically – especially when you have a diverse community as we do.</p>
5	Priorities on a page	I also think there should be a much higher priority given to latent or unrealised local investment – especially with the cultural diversity and the high aspirations of many 1st generation families who may have export opportunities or access to smaller international seeding investment?
7	Role of Roadmap	The document should include references to how these commitments have made an impact across City Deals, the ED Roadmap, the Blueprint.
8	Delivery context	Who is leading this – WPCA? It's not enough to just say there's a problem that needs resolving – what's the solution? Is it the City Deals lead officers/GM group/WSIAO? Needs clarification.
9	Opportunities and challenges	Needs affordable as well accessible housing – and culturally relevant housing as the population diversifies – there is an overlap here with the construction industry and innovation that could counter climate change.

Campbelltown City Council – Submission

April 2022

Pages	Reference	Comment
11	Competitive employment lands	Employment land is such a broad definition. Would be much useful to have average retail/commercial prices and then industrial land prices on a separate map. As well as rent prices
18	Priority industry sectors	Are the Western Sydney Investment Attraction Office going to dictate Campbelltown's specialisations? How do we make sure Campbelltown is getting appropriate investment leads?
21-23	Ecosystems, assets, supply chain	<p>In Campbelltown, where can we put interested investors - especially industrial? Is there Govt/Council owned land that can be reallocated for investment attraction purposes?</p> <p>Commercial/office space investor attraction to Campbelltown also requires an extensive project plan - much existing vacant space needs to be improved. Lacking large floor plate areas to attract bigger commercial businesses. Need to have REA, landlords working with Council on the same vision.</p> <p>Do we need a database of vacant commercial and industrial space and vacant lots to maximise investment leads?</p> <p>Not sure about how the vision reads as the 'most' green, would suggest the 'greenest', most connected and advanced...</p> <p>Are these two documents supposed to talk to each other? The wording is slightly different but referring to the same thing in these spaces?</p>
27	Advanced Manufacturing Research Facility (AMRF)	Manufacturers are having trouble attracting staff, perhaps incentives for productivity improvement processes might be beneficial?
28	Bradfield	How is this leveraging existing industry, if the focus is just on Bradfield to start? How do we encourage existing businesses to get on the CE journey?
29	Globally connected – new market opportunities	There may be some opportunities for Campbelltown through medical research and industry events and links. We know that we aren't a destination compared to other LGAs, so need to consider what we get involved in (and what we can truly offer).
31	Maximising agri-biz opps and tourism	Is there an opportunity for Campbelltown to position itself in the next stage of the supply chain for agribusiness given the specialisation in food and beverage manufacturing? We really should

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		nail down and advocate for the focus industries/sub-industries/specialisations we envision for Campbelltown so we can leverage the investment attraction office.
32	Metro centres - health and education	Under Campbelltown/education, it's missing the Macarthur Clinical School. Needs to be added.
33	Campbelltown	Penrith and Liverpool have an intro blurb, we have a sentence. We need one too, which highlights Reimagining is driving the change and there are tangible outcomes. The CHEP stuff needs reworking.
34	Infrastructure and amenities	What is missing, is the how – how is this being actioned? Implemented? Resourced? Prioritised?
36	Growing strategic and local centres	Is there an action in the City Deals Smart Cities Digital Strategy to assist with this? But how to connect to WestInvest? Lacking detail/clarity Under 'Improve Liveability' is 'Deliver national and international arts and sporting facilities'. What will this be? We have the CAC expansion and the Stadium/Arena identified in Reimagining - does this paragraph refer to infrastructure programs such as this? One tiny paragraph - lacks detail.
38	30 min city systems - specialist growth areas	Is hospitality really a specialist growth area for Campbelltown? It's not mentioned anywhere else in this doc, nor as a focus in our own EDS. Could this sentence be reframed to be broader (eg creating increased business opportunities across the centres)?
42	Delivering the Smart Western City program	Does this include upgrades of digital infrastructure for existing communities?
42	Building workforce skills	Notes NETM with targeted talent attraction initiatives. What are these? And how do we access them?
47	Implementation	This part says nothing about implementation! - What are the actions to achieve the three directions? - Who's paying? - What priority is first? Based off the collective need of the WPC councils? Bradfield? Each LGA for themselves?

9. QUESTIONS WITH NOTICE

Nil

10. RESCISSION MOTION

Nil

11. NOTICE OF MOTION**11.1 Women's Shed**

Notice of Motion

Councillor Meg Oates has given Notice in writing of her intention to move the following Motion at the next meeting of Council on 12 April 2022.

That Council present a report on the feasibility of developing a Women's Shed Pilot Program to complement Council's focus on community resilience and sustainability.

11.2 Scenic Hills Walking / Cycling Trail

Notice of Motion

Councillor Meg Oates has given Notice in writing of her intention to move the following Motion at the next meeting of Council on 12 April 2022.

That Council present a report on the potential to create a Scenic Hills Walking / Cycling Trail to connect Campbelltown's Scenic Hills to the existing walking/cycling networks in the adjacent Western Sydney Parklands.

11.3 Cost of Living Assistance for Local Residents

Notice of Motion

Councillor Darcy Lound has given Notice in writing of his intention to move the following Motion at the next meeting of Council on 12 April 2022.

That Council:

1. Notes that local residents are facing significant pressures in terms of the rising cost of living.
 2. Further notes that household budgets are under significant strain, with real wages going backwards compared to inflation.
 3. Investigates these issues and provide a report to Council on:
 - a. What steps Council is presently taking to mitigate pressures on local residents and ratepayers.
 - b. Further actions that Council can take to assist ratepayers in dealing with the rising cost of living.
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12. URGENT GENERAL BUSINESS

13. PRESENTATIONS BY COUNCILLORS

14. CONFIDENTIAL REPORTS FROM OFFICERS

Nil

